



CONSTRUCTION PERMIT

COUNTY OF FRESNO
 DEVELOPMENT SERVICES DIVISION
 MAILING ADDRESS: 2220 TULARE STREET, 6th FLOOR FRESNO, CA 93721
 OFFICE LOCATION: SOUTHWEST CORNER OF TULARE
 & 'M' STREETS, SUITE A

ACTIVE PERMITS YES NO

PHONE NUMBERS
 24-HR REQUEST LINE
 600-4131
 LOCAL: 600-4560
 TOLL FREE: 800-742-1011
 FAX: 600-4201

Ref #:OTC

| | | |
|--|---|--|
| Project Address 9314 S CHERRY AVE FRESNO CA 93725 | Cross Street E. SPRINGFIELD AVE | Project Description INSTALL MOBILE HOME WITH TIE-DOWN SYSTEM [2nd RESIDENCE, SEE DRA 4611] |
|--|---|--|

Permit #: 20-107795-FC Issued on: June 03, 2021 APN: 33803239S

| | | |
|---|--|---|
| Owner: Address: Phone: | Applicant: Address: Phone: License #: | Contractor: Address: Phone: License #: |
|---|--|---|

| | | |
|--------------------------|--------------------|----------------|
| Approvals | Approved By | Date |
| Application Requirements | Rafael Sanchez | 6/3/21 10:03AM |
| Zoning Review | Rafael Sanchez | 6/3/21 10:03AM |

| Zoning District | Required Setbacks: | Front | | Side | Rear |
|-----------------|--------------------|-------|-----|----------|--------|
| | | Min | Max | Interior | Street |
| AE20 | | | | | |

PROJECT INFORMATION

: Big Dry Creek Basin: **No** : FMFCD Rural Streams: **No**
 : Occupancy Pending RTMF: **Yes** : Roof Classification: **Class C or better**
 : School Fees Due?: **Yes** : Soil Bearing Capacity(psf): **1000**
 : Submittal Method: **Walk-in**

MECHANICAL

ELECTRICAL

PLUMBING

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code, and my license is in full force and effect. Lic.

Number _____ Class _____ Contractor: AKS ENTERPRISES (PARAMJIT PAMA) FOR OWNER BUILDER SEE FORM F174 ATTACHE

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury on of the following declarations:

I have and will maintain a certificate on consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor code, for the performance of the work for which this permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code for the performance of the work for which this permit is issued.
 My workers' compensation insurance carrier and policy number :
 Carrier _____ Policy # _____ (This section does not need to be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California and agree that if I should become subject to the workers compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Div. C).

Lenders Name _____ Address _____
 City _____ State _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above mentioned property for inspection purposes.

Applicant Or Agent: [Signature]
 Date: 06-03-21

THIS PERMIT SHALL EXPIRE BY LIMITATION AND BECOME NULL AND VOID IF THE WORK IS NOT COMMENCED OR IF NO INSPECTIONS ARE COMPLETED WITHIN 180 DAYS.

9314 S CHERRY AVE FRESNO CA 93725

POST THIS CARD IN A CONSPICUOUS PLACE
 DEPARTMENT OF PUBLIC WORKS AND PLANNING
 DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION
 2220 Tulare Street, Suite A, Fresno, CA 93721
 Office: (559) 600-4560 or 1 (800) 742-1011 FAX: (559) 600-4201



24 HOUR INSPECTION REQUEST
 (559) 600-4131
 Before 2:30 p.m. for next-day inspection
 This is your record of field inspection

JOB ADDRESS: _____ PERMIT NUMBER: _____

| BUILDING | | CORRECTIONS | | | REMARKS |
|-----------------------------|-------------|-------------|-----------|---------|--|
| TYPE OF INSPECTION | APPROVED BY | DATE | INSPECTOR | DATE | |
| Flood Prone-Elevation | | | AJ | 9/14/21 | NOTE? verify structure is mobile home not commercial coach prior to further inspection of 8/12/21 by owner AJ 10/18/21 |
| Foundation: Forms & Setback | | | | | |
| Foundation / Pello Piers | | | | | |
| Floor Girders & Joists | | | | | |
| Shear Panel Nailing | | | | | |
| Pre-Roof | | | | | |
| Roof Sheathing | | | | | |
| Roof Batten/Felt | | | | | |
| Roof Covering | | | | | |
| Exterior Lath/Sliding | | | | | |
| Fireplace Damper | | | | | |
| Fireplace: Roof | | | | | |
| Frame | | | | | |
| Insulation | | | | | |
| Shower Wall Over Tub | | | | | CASH DEPOSIT |
| Shower Pan & Walls | | | | | Temporary Power |
| Bond Beam & Steel | | | | | Occupancy |
| | | | | | APPROVED TO POST |
| | | | | | BY: |
| | | | | | DATE |
| | | | | | APPROVED FOR REFUND |
| | | | | | BY: |
| | | | | | DATE |
| | | | | | REFUNDED |
| | | | | | BY: |
| | | | | | DATE |
| FINAL INSPECTION | | | | | |
| CERTIFICATE OF OCCUPANCY | | | | | |
| ELECTRICAL | | CORRECTIONS | | | |
| TYPE OF INSPECTION | APPROVED BY | DATE | INSPECTOR | DATE | |
| Conduit: PVC/Galv. Interior | | | AJ | 9/14/21 | |
| Conduit: PVC/Galv. Exterior | | | | | |
| Rough Wiring | | | | | |
| Elec. Main Panel _____ Amps | | | | | |
| Temporary Meter | | | | | |
| Temporary Power Pole | | | | | |
| Ufer Location/Driven Ground | | | | | |
| Water Pipe Bond Location | | | | | |
| Wiring To Well | | | | | |
| Pool Equipment Bonding | | | | | |
| FINAL INSPECTION | | | | | |
| PLUMBING | | CORRECTIONS | | | |
| TYPE OF INSPECTION | APPROVED BY | DATE | INSPECTOR | DATE | |
| Ground Plumbing: Soil | | | | | |
| Water Pipe - Under Floor | | | | | |
| Water Pipe - Above Floor | | | | | |
| Vents & Top Out | | | | | |
| Gas Pipe - Interior | | | | | |
| Gas Test - Interior | | | | | |
| Gas Test - Exterior | | | | | |
| Second Floor Tub Test | | | | | |
| Septic System | | | | | |
| House Sewer | | | | | |
| Water Service PVC/Galv. | | | | | |
| Well Seal Pad | | | | | |
| FINAL INSPECTION | | | | | |
| MECHANICAL | | CORRECTIONS | | | |
| TYPE OF INSPECTION | APPROVED BY | DATE | INSPECTOR | DATE | |
| Ducts Underfloor | | | | | |
| Ducts Overhead | | | | | |
| Wood Burning Appliance | | | | | |
| Refrigeration Unit/Furnace | | | | | |
| Evaporative Cooler | | | | | |
| Gas Pipe | | | | | |
| Gas Test | | | | | |
| FINAL INSPECTION | | | | | |
| | | | | | MOBILE HOME |
| | | | | | TYPE OF INSPECTION |
| | | | | | APPROVED BY |
| | | | | | DATE |
| | | | | | Perm Foundation/Tie-down |
| | | | | | Flood Prone-Elevation |
| | | | | | Forms & Setbacks |
| | | | | | Piers/Anchors |
| | | | | | Steps/Landings |
| | | | | | Elec. Service 50 Amps X2 |
| | | | | | Grounding Electrode |
| | | | | | Wiring To Well |
| | | | | | Continuity Test |
| | | | | | Conduit/Feeders |
| | | | | | Gas Test - Exterior |
| | | | | | Gas Test Monometer |
| | | | | | Sewer |
| | | | | | Waste Piping |
| | | | | | Septic System |
| | | | | | Interior Water Pipe |
| | | | | | Water Service |
| | | | | | Well Seal Pad |
| | | | | | FINAL INSPECTION |
| | | | | | Certificate of Occupancy |
| | | | | | OTHER DEPARTMENT CONDITIONS |
| | | | | | GRADING |
| | | | | | G.V. # |
| | | | | | G.P. # |
| | | | | | FIRE DEPARTMENT |
| | | | | | ENVIRONMENTAL HEALTH |
| | | | | | ROADS |
| | | | | | DRA # 4611 |
| | | | | | C.U.P. # |
| | | | | | S.P.R. # |
| | | | | | ALL CONDITIONS MET FOR PROJECT (BUILDING INSPECTOR INITIAL) |

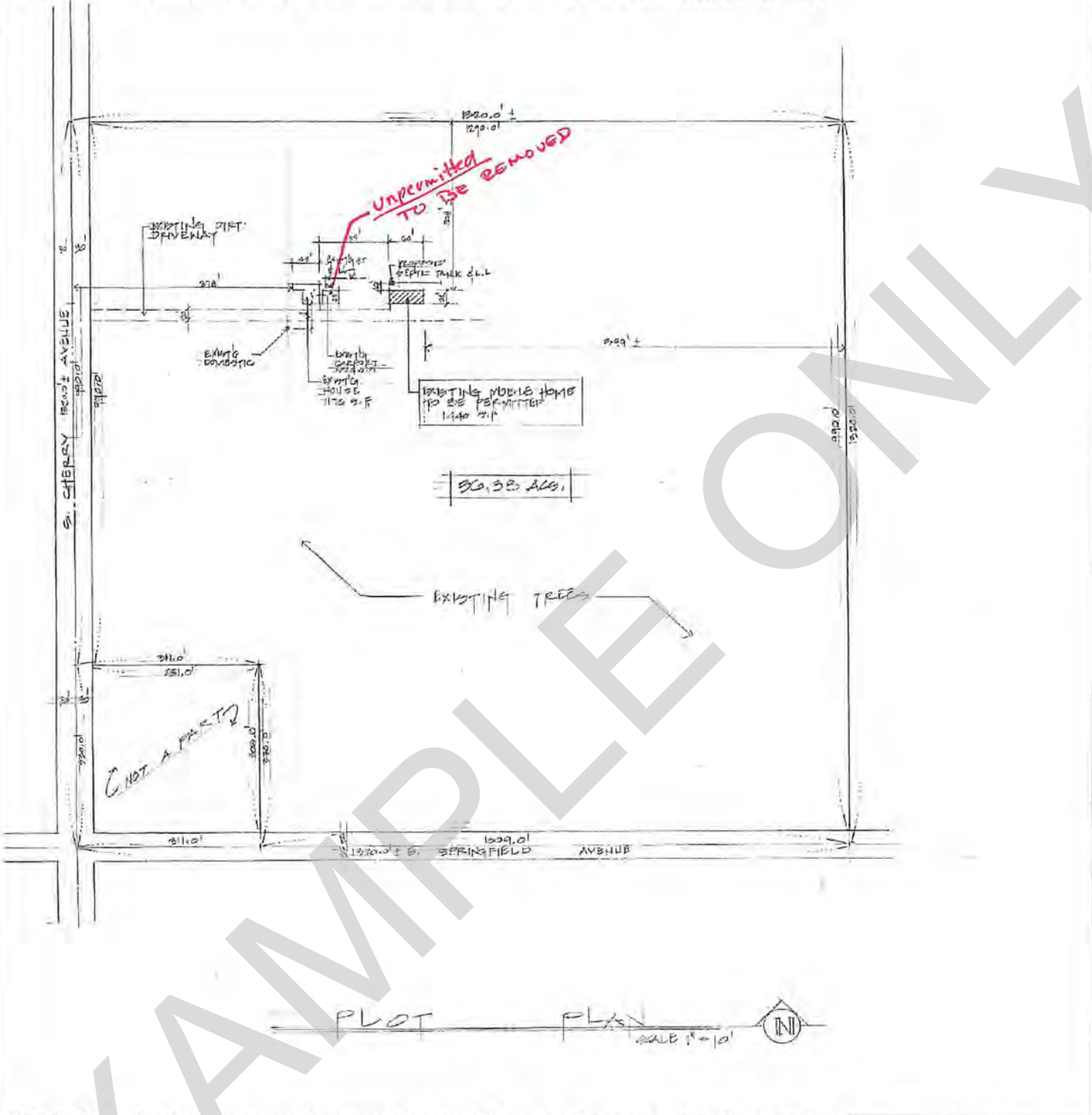
THIS FORM IS TO BE SCANNED
 COUNTY OF FRESNO
 DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION

2220 TULARE ST., SIXTH FLOOR
 FRESNO, CA 93721
 LOCATION:
 SOUTHWEST CORNER OF TULARE &
 "M" STREET - SUITE A

24 HOUR INSPECTION REQUEST
 ANSWERING SERVICE
 (559) 600-4131
 TOLL FREE: 1 (800) 742-1011

PLOT PLAN

NOTE: Please show the entire parcel of land with all existing and proposed structures.



PC # OTC ADDRESS: 9314 S CHERRY AVE

NOTE: All setbacks are measured from the property lines unless otherwise indicated. APN: 338-032-39S

Approved By: [Signature] Date: 6/3/21 Bldg. Permit # 20-107795

PROJECT ADDRESS: 9314 S CHERRY AVE

OWNER: _____ MAIL ADDRESS: _____

CITY: KINGSBURG STATE: CA ZIP: 93631 TEL NO: _____

SEWAGE DISPOSAL SPECIFICATIONS: () Community Sewer () Engineered System () Septic
 TYPE OF USE TO BE SERVED: M/H NO. BEDROOMS 2 OR NO. FIXTURE UNITS _____
 MIN. SEPTIC TANK 1500 GAL LAMP FACTOR _____ NO. TEST HOLES INSPECTED _____ DRY WELL LIMIT _____

COMMENTS: _____

ON SITE INSPECTION BY: _____ DATE: _____

This plot plan accurately shows all existing and proposed structures buildings and mobile units on the property and their relationship to property lines and each other. I hereby state that the information above is correct. I understand that a permit must be obtained before any construction is started and that an inspection of all work is required, including underground work prior to backfilling.

Signature [Signature] Date 6/3/21



Invoice
 County of Fresno
 Department of Public Works & Planning

Mailing Address: 2220 Tulare Street, 6th Floor Fresno, CA 93721
 24-HR REQUEST LINE: 600-4131 LOCAL: 600-4560
 TOLL FREE: 800742-1011 FAX: 600-4201

Fresno County

REG-RECEIPT: 11540-21893174

CASHIER ID: CTUPPER

Date Printed: Jun 03, 2021 10:54:17

INVOICE TO:

| | |
|--------------|--------|
| 21 005395 GR | 83.00 |
| 20 107797 FC | 252.50 |
| 20 107795 FC | 619.50 |

INVOICE NO: 142196

INVOICE DATE: June 03, 2021

PERMIT #: Folder 2020 107795 000 00 FC

REFERENCE #: OTC

Sub Total 955.00

GST 0.00

PST 0.00

TOTAL DUE

PROJECT LOCATION: 9314 CHERRY FRESNO CA

PROJECT DESCRIPTION: INSTALL MOBILE HOME WITH TIE-DOWN SYSTEM [2nd RESIDENCE, SEE DRA 4611]

RECEIVED FROM :
 AKS ENTERPRISES (PARAMJIT PAMA)
 Check

FEE DESCRIPTION

AMOUNT COMMENT

| | |
|---------------------------------------|----------|
| CA Bldg Standards Comm. Fee (SB-1473) | \$1.00 |
| Workers Comp. | \$7.50 |
| Building Permit Issuance | \$38.00 |
| Building Construction Permit | \$148.00 |
| MH Installation Permit | \$187.50 |
| MH Lot Preparation Permit | \$237.50 |

TOTAL TENDERED

CHANGE DUE

TOTAL \$619.50

SUMMARY

| | |
|--------------------------|-----------------|
| BUILDING PERMIT | <u>\$148.00</u> |
| BUILDING PERMIT ISSUANCE | <u>\$38.00</u> |
| MOBILEHOME LOT PREP | <u>\$237.50</u> |
| MOBILHOME INSTALLATIONS | <u>\$187.50</u> |
| OTHER | <u>\$8.50</u> |
| TOTAL | \$619.50 |

EXAMPLE

| | |
|--------------------------|-----------------|
| Total Billed: | \$619.50 |
| Payment Received: | \$0.00 |
| <hr/> | |
| Balance Due: | \$619.50 |

FORM OF PAYMENT:

Check

Credit Card

Cash

Roads Charge-Acct#

DrawDown-Acct#

Submitted by: _____ Ext: _____



Invoice
 County of Fresno
 Department of Public Works & Planning

Mailing Address: 2220 Tulare Street, 6th Floor Fresno, CA 93721
 24-HR REQUEST LINE: 600-4131 LOCAL: 600-4560
 TOLL FREE: 800742-1011 FAX: 600-4201

Fresno County

REG-RECEIPT: 11540-21893174

CASHIER ID: CTUPPER

06-03-2021

Date Printed: Jun 03, 2021 10:54:17

INVOICE TO:

| | |
|--------------|--------|
| 21 005395 GR | 83.00 |
| 20 107797 FC | 252.50 |
| 20 107795 FC | 619.50 |
| Sub Total | 955.00 |
| GST | 0.00 |
| PST | 0.00 |
| TOTAL DUE | 955.00 |

INVOICE NO: 142199

INVOICE DATE: June 03, 2021

PERMIT #: Folder 2021 005395 000 00 GR

REFERENCE #: GV# 16072

PROJECT LOCATION: 9314 CHERRY FRESNO CA

PROJECT DESCRIPTION: MOBILE HOME

RECEIVED FROM:
 AKS ENTERPRISES (PARAMJIT
 PAMA)
 Check

FEE DESCRIPTION

AMOUNT COMMENT

Grading Voucher
 955.00

\$83.00

TOTAL \$83.00

TOTAL TENDERED

SUMMARY

CHANGE DUE

OTHER
 0.00

\$83.00

TOTAL \$83.00

Total Billed: \$83.00

Payment Received: \$0.00

Balance Due: \$83.00

FORM OF PAYMENT:

- Check
- Credit Card
- Cash
- Roads Charge-Acct#
- DrawDown-Acct#

Submitted by: _____ Ext: _____

Permit Application Checklist

PLAN CHECK NO. OTC PERMIT NO. 20-107795

JOB ADDRESS: 9314 S. Cherry Ave

PROJECT: M/H install on Tie-Down system

1) Is there a jacket for this address?
() Yes; () No () Notified Cashier

12) Is a Well Log required? Test Hole
() Yes () No #20-107796

2) Are there existing septic records?
() No () Yes
If yes, do they need to be attached?
() Yes; () No

13) Does this require a septic review? Septic
() No () Yes, date logged: #20-107797
Why? () Test hole () Small lot
() Engr. Report () Other _____

3) Is a Grading Permit required? GN 16072 - ST
() No () Yes; () Unknown
Has one been issued? () Yes () No

14) Does the Site Plan include:
A. () All property lines
B. () Adjacent streets & closest cross-street
C. () Parcel size
D. () Easements
E. () North arrow
F. () Accurate property dimensions

4) Does the permit form include:
A. () Address
B. () Nearest town
C. () Cross street
D. () Owner's name/address/phone
E. () Contractor's name/address/phone
F. () Designer's name/address/phone
G. () Exact project
H. () Legal description
I. () APN (Assessor's Parcel Number)
J. () Zone District
K. () Minimum & maximum setbacks
L. () Flood map & zone
M. () Building height

AE-20
F/S/R
35'/20'/20'

G. () Existing & proposed buildings - Google Earth
H. () Well & septic location
I. () Driveway location
J. () Proposed setbacks
K. () Width of road
L. () C.P.S.H. (if applicable)
M. () Turn-around area
N. () Overhangs into required yards
O. () LPG tank / water tank
P. () Reduced Site Plan Included

L unpermitted carport

L Advertisment letter Received 9/14/20

N. () School district
O. () Grading Permit
P. () Land Use Permit
Q. () SRA requirements & fee

15) Does the Plot Plan form include:
A. () A vicinity (location) map
B. () APN (Assessor's Parcel Number)
C. () Address
D. () Owner's name and address
E. () Septic size
F. () Leaching factor
G. () Dry-well limitations
H. () Water well information
I. () Signature

5) Must an Owner/Bldr. Verification be mailed?
() No, why? () Completed () Contractor
() Yes/Unknown - Date mailed _____

16) Special requirements:
A. () Lot Coverage, N/A % allowed
B. () Setbacks for major streets (RA District)
C. () Street sides for garages
D. () Accessory bldg. in req. yards
E. () Space between buildings
F. () CNEL for FAT
g. () Westland's Water District
h. () Alta Irrigation District
I. () Water filtration H.D. clearance
J. () Pull Land Use/SPR envelope DRA 4611
K. () WWD/CSA

6) Is a Certificate of Insurance required?
() No () Yes, Is it on file? () Yes () No ()
Expiration date: _____

7) Does the permit form include:
A. () Owner-Bldr/Cont. declaration
B. () Contractor's license class
C. () Worker's Comp. declaration
D. () Lender's name/address
E. () Certification signature

17) () ABCC clearance
18) Zoning, Plot Plan & Plan Check letter signed?
() Yes () No Other _____

8) Is this a legal lot? PCOC 3189
Mapping: () Yes () Unknown
Zoning: () Yes () Unknown
Merger: () Yes () No

9) Is the proposed use allowed?
() Yes () Need Operational Statement

19) Resubmittal Required () Yes () No

10) Has a special zoning clearance been submitted to allow this use?
() No () Yes # DRA 4611

20) Other Advisement letter
Processed by: [Signature] Date: 9/14/2020

11) Are Development Fees due?
A. Sewer: () Yes () No
B. Water: () Yes () No
C. School District: () Yes () No
D. Other: RTMF

NOTE: The following items must be cleared before permits are issued:



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
BUILDING & SAFETY

Disclosures for Owner-Builders Applying for Construction Permits

IMPORTANT! NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at 9314 S Cherry Ave Fresno CA 93725.

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder. **We will NOT issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. A copy of the property owner's identification is required to verify the owner's signature.**

Read and initial each statement below to signify you understand or verify this information.

PS 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

PS 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

PK 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

PK 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

PK 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

PK 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

PS 7. I understand under California Contractors' State license Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

PK 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

PK 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal

Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

PSB 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity.

PSB 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

PSB 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage.

Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit. Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Property Owner Name (Printed) _____

Phone: _____

Property Owner Signature _____

Date: 0726.20

Authorization Form is required to be completed by the property owner only when designating an agent of the property owner to apply for a construction permit for the Owner-Builder.

AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project.

Scope of Work: _____

Project Location or Address: _____

Name of Authorized Agent: _____ Phone: _____

Address of Authorized Agent: _____

I declare under penalty of perjury that I am the property owner for the address listed above and I personally filled out the above information and certify its accuracy. **Note: A copy of the owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature. I have read and initialed items 1 thru 12 above.**

Property Owner's Signature: _____ Date: 7.26.20



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
BUILDING & SAFETY

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sole within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent:  Date: 06.03.11

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

Note: The following Authorization is required to be completed by the property owner only when designating an agent of the property owner to apply for a construction permit for the Owner-Builder.

G:\4360Devs&Pin\FORMS\F174 Owner Builder Form ltr size_rev8-2015.doc

Washington Unified School District

Receipt

No. 220195

From: AKS Enterprises, INC

Date: 03/31/2022

For: Developer Mitigation Fees

Amount : 5,875.20

Details

| | | |
|-----|---------------------------|----------|
| RCT | Developer Mitigation Fees | 5,875.20 |
|-----|---------------------------|----------|

Checks 4225

Receipt Site: District Office

By: matrevino

Washington Unified School District

Receipt

No. 220195

From: AKS Enterprises, INC

Date: 03/31/2022

For: Developer Mitigation Fees

Amount : 5,875.20

Details

| | | |
|-----|---------------------------|----------|
| RCT | Developer Mitigation Fees | 5,875.20 |
|-----|---------------------------|----------|

Checks 4225

Receipt Site: District Office

By: matrevino



WASHINGTON UNIFIED SCHOOL DISTRICT

7950 S. Elm Ave.
Fresno, CA 93706
559-495-5600

DEVELOPER FEE CERTIFICATION

SUBDIVISION/APN NO. _____

LOT NO/P.C. NO. _____

OWNER/DEVELOPER:

Name: _____
Home _____

Address: _____

Contact Person: _____
(temporary)

Telephone: _____

RESIDENTIAL DATA:

SFR, DUPLEX, TRIPLEX, PUD
Apartment, Complex, Mobile

COMMERCIAL/INDUSTRIAL DATA:

Shopping Center/Retail, Office, Warehouse,
Mobile Office Trailer (Not

Other: _____

DEVELOPMENT INFORMATION / PROPOSED PROJECT:

Address: _____

Residential Development:

1440 square feet @ \$4.08 per sq. ft. = 5875.20

Commercial/Industrial:

_____ square feet @ \$.66 per sq. ft. = _____

NOTICE: Pursuant to Assembly Bill 3081 (CHAP 549, STATS. 1996) this will serve to notify you that the 90-day approval period in which you may protest the fees or other payment identified above will begin to run from the date on which the building or installation permit for this project is issued or date on which the fees are paid to the District, whichever is earlier.

Signature of Owner/Authorized Representatives

Date 03-31-22

[X] Washington Unified School District certifies that the above fees have been PAID IN FULL

Washington Unified School District certifies that the above project is EXEMPT from the above fees because, _____

Date Paid: 3/31/22

Receipt No.: 220195

Signature of District Official: [Signature]

Date: 3/31/22

Washington Unified School District
District Office
7950 South Elm Avenue
Fresno, CA 93706

W.U.S.D. Contact Person: Keith Loewen, 7950 S Elm Ave, Fresno, CA 93706 (559) 495-5600

Once signed by the District, take this form to: Fresno County, 2220 Tulare, 6th Floor, Fresno, CA 93721 (559) 262-4029

Unless an even shorter time is specified herein, this certificate is valid only if the permit to which it applies is actually issued no more than 180 days after its date.

WUS.D



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

SCHOOL DISTRICT CERTIFICATION

ASSESSOR'S PARCEL NUMBER: 338-032-39S

PROJECT ADDRESS: 9314 S CHERRY AVE CITY FRESNO

USE: MOBILE HOME ON TIE-DOWN SYSTEM AS 2ND RES P.C. NUMBER: 20-107795

OWNER: _____ PHONE: _____

SQUARE FOOTAGE OF LIVING AREA SHOWN ON BUILDING PERMITS: 1440 S.F.

BY: JAMES COUSART DATE: 3/21/2021

SCHOOL DISTRICT: Washington Unified School District

ADDRESS: 7950 S. Elm Avenue

CITY: Fresno, CA 93706-9283

PHONE NUMBER: (559) 495-5600

SQUARE FOOTAGE OF BUILDING

PROPOSED PROJECT

SUBJECT TO FEES

EXEMPT FROM FEES

RESIDENTIAL

1440

COMM./INDUST.

CERTIFIED BY: [Signature]

DATE: 3/31/22

TITLE: Dist. Services Technician

PHONE: 559-495-5618

DATE PAID: 3/31/22

RECEIPT NUMBER: 220195

Washington Unified School District
District Office
7950 South Elm Avenue
Fresno, CA 93706

Note: If building permits are not issued within 90 days after the School District has signed this certificate, a new certificate will be required.

DEPARTMENT OF PUBLIC WORKS & DEVELOPMENT SERVICES
2220 TULARE STREET, FRESNO, CALIFORNIA 93721

INSTALLATION PERMIT NO.: 20-107795

PROPERTY ADDRESS: 9314 S. Cherry Ave, Fresno, CA 93725

PROPERTY OWNER(S): Fresno, CA 93725

PROPERTY OWNER(S)
MAILING ADDRESS: 12475 E. Magnolia Ave, Kingsburg, CA, 93631

INSTALLATION IS APPROVED FOR OCCUPANCY

BY Armando Uribe 2/15/23
Inspector's Signature Date

Armando Uribe
Inspector's Name (Printed)

MOBILE HOME INFORMATION

INSIGNIA NO. 16212/16211 MODEL NO. —

MANUFACTURER — MODEL —

DATE OF MANUFACTURE 1972

MOBILE HOME SIZE: 60' FEET X 12' FEET AREA 1400 SQ. FT.

POWER SUPPLY ASSEMBLY: CORD PLEX UNDERGROUND WIRE SIZE #4

ELECTRICAL SERVICE: 100 AMPS ELECTRICAL RATING OF MOBILE HOME: 100 AMPS

GAS SUPPLY: LPG NATURAL NONE

SCHOOL FEES PAID YES, AMOUNT \$ 5,825.20 NOT REQUIRED

County of Fresno

Department of Public Works and Planning • Development Services Division

2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 262-4029 / Fax (559) 262-4893

MOBILE HOME INSTALLATION CERTIFICATE

PROPERTY OWNER(S) _____

PERMIT NO: ^{INC} 20-107795

ADDRESS: 9314 S Cherry Ave
Fresno, CA 93725

MOBILE HOME INSTALLER SAME —

ADDRESS _____

INSIGNIA/HUD NO. 16212 / 16211

MANUFACTURER —

SERIAL NO.(S) 50535X / 50535XU

YEAR OF MANUFACTURE 1972

THE PURPOSE OF THIS CERTIFICATE IS **ONLY** TO ACKNOWLEDGE THAT A MOBILE HOME UNIT HAS BEEN SATISFACTORILY INSTALLED AT THE ADDRESS INDICATED ABOVE. IT IS **NOT** A CERTIFICATE OF OCCUPANCY AND **DOES NOT** AUTHORIZE OR APPROVE ANY PERSON OR PERSONS TO OCCUPY SUBJECT MOBILE HOME.

There may be a substantial amount of work remaining before the unit(s) are approved for occupancy. Such work may include — but is not necessarily limited to — the following items:

Grading or Drainage

Driveway/Parking Pavement

Landscaping

Installation of Septic System

Installation/Connection of Utilities

School Fees

Connection of Septic/Utilities

Skirting

Porches/Awnings

Landings

Address Numerals

Inspector Arnoldo Ulf Date 2/15/23

WHITE FACE COPY – OFFICE CANARY – INSTALLER COPY

STATE OF CALIFORNIA - DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
REGISTRATION CARD

Manufactured Home

Decal: LBI3963

| Manufacturer ID/Name SPA | Trade Name SPA | Model | DOM | | DFS 03/01/1972 | RY | Exp. Date |
|------------------------------------|---|--------|----------------------|---------------------|------------------------|----|-----------|
| Serial Number S0535X S0535XU | Label/Insignia Number 16212 16211 | Weight | Length 60' 60' | Width 12' 12' | Issued Nov 09, 2022 | | |

Addressee



Registered Owner(s)

Situs Address
 14825 E LINCOLN
 SANGER, CA 93657

ATTENTION OWNER:

THIS IS THE REGISTRATION CARD FOR THE UNIT DESCRIBED ABOVE. PLEASE KEEP THIS CARD IN A SAFE PLACE WITHIN THE UNIT.

INSTRUCTIONS FOR RENEWAL:

REGISTRATION FOR THIS UNIT EXPIRES ON THE DATE INDICATED ABOVE IN THE BOX LABELED "Exp. Date". THERE ARE SUBSTANTIAL PENALTIES FOR DELINQUENCY. IF YOU DO NOT RECEIVE A RENEWAL NOTICE WITHIN 10 DAYS PRIOR TO THE EXPIRATION DATE, CONTACT H.C.D. FOR RENEWAL INSTRUCTIONS.

IMPORTANT

THE OWNER INFORMATION SHOWN ABOVE MAY NOT REFLECT ALL LIENS RECORDED WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT AGAINST THE DESCRIBED UNIT. THE CURRENT TITLE STATUS OF THE UNIT MAY BE CONFIRMED THROUGH THE DEPARTMENT.

STATE OF CALIFORNIA - DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
CERTIFICATE OF TITLE

Manufactured Home

Decal: LBI3963

| Manufacturer ID/Name SPA | Trade Name SPA | Model | | DOM | DFS 03/01/1972 | RY |
|------------------------------------|---|--------|----------------------|---------------------|------------------------|----|
| Serial Number S0535X S0535XU | Label/Insignia Number 16212 16211 | Weight | Length 60' 60' | Width 12' 12' | Issued Nov 09, 2022 | |

Addressee

Registered Owner(s)

Situs Address

14825 E LINCOLN
SANGER, CA 93657

IMPORTANT

THE OWNER INFORMATION SHOWN ABOVE MAY NOT REFLECT ALL LIENS RECORDED WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT AGAINST THE DESCRIBED UNIT. THE CURRENT TITLE STATUS OF THE UNIT MAY BE CONFIRMED THROUGH THE DEPARTMENT.

Dra 4611

9309 S. Cherry

EO

| BLDG. PERMIT | OCCUP. PERMIT | DEVELOPMENT CLEARANCE | COMPLETED | DATE |
|--------------|---------------|---|--------------------|---------|
| X | X | DEDICATION Covenant | 6/18 | 6/18 |
| X | X | SEWER FEES School Fees ^{receipt # 220195} | 6/18 | 3/31/22 |
| X | X | WATER FEES Plan Conformance | | |
| X | X | FLOOD DRAINAGE FEES Time Limit 2 yrs | | |
| | | ON-SITE Improvement Plans | | |
| | | ON-SITE Improvement Fees | | |
| | | GRADING/DRAINAGE PLANS | | |
| | | GRADING PERMIT FEE | | |
| | | FLOOD PLANS | | |
| | | D.O.T. LETTER | | |
| | | FIRE PROTECTION LETTER | | |
| | | LANDSCAPE & IRRIGATION PLAN | | |
| | | DRAINAGE CERTIFICATION | | |
| | | OFF-SITE IMPROVEMENT PLANS | | |
| | | DEFERMENT AGREEMENT | | |
| BOND DATE | | | DATE OF INSPECTION | |
| | | CURBS & GUTTERS | | |
| | | DRIVEWAY APPROACH - CONCRETE/ASPHALT | | |
| | | PAVEMENT TIE | | |
| | | PARKING, CIRCULATION & LOADING AREA | | |
| | | WHEEL BARRIERS | | |
| | | LANDSCAPING | | |
| | | MASONRY WALL - FENCING | | |
| | | OUTDOOR LIGHTING | | |
| | | OUTDOOR ADVERTISING | | |
| | | CORNER CUT-OFF | | |
| | | RELOCATE UTILITIES WITHIN R/W | | |
| | | FIRE PROTECTION IMPROVEMENTS | | |

GENERAL NOTES:

REFERENCE: CALIFORNIA CODE OF REGULATIONS, TITLE 25 AND ^Δ2019

C.R.C./C.B.C. THESE PLANS MEET THE INTENT OF ^Δ2019 C.R.C. 301.1.3.

1. DESIGN LOADS SHALL BE CONSISTENT WITH LOCAL REQUIREMENTS WHERE INSTALLED. THE FOLLOWING DESIGN LOADS ARE INCORPORATED HEREIN:
FLOOR LIVE LOAD: 40 PSF ROOF LIVE LOAD: 30 PSF - 100 PSF
BASIC WIND SPEED & EXPOSURE: ^Δ95-130 MPH AS LISTED IN TABLE
SEISMIC DESIGN CATEGORY: E
SITE CLASS D $S_s=1.5^*$ $S_d=1.4$ $F_a=1.4$ $V=0.215W$

^Δ*(PER ASCE 7-16, SECTION 12.14.8.1 S_s NEED NOT EXCEED 1.5. SITE VALUE MAY BE HIGHER)

THIS DESIGN IS NOT INTENDED FOR USE IN FLOOD HAZARD AREAS UNLESS A SEPARATE DESIGN ADDRESSING THE FLOOD HAZARD IS SUBMITTED FOR APPROVAL BY THE LOCAL JURISDICTION.

2. FOOTINGS ARE TO BE SUPPORTED BY EITHER FIRM, UNSATURATED, UNDISTURBED SOIL OR COMPACTED FILL, ASPHALT OR CONCRETE. FOOTINGS ARE DESIGNED FOR 1500 PSF BEARING CAPACITY AND SHALL BE COMPATIBLE WITH LOCAL SOIL CONDITIONS. ALL FOOTINGS SHALL BE FOUNDED IN ACCORDANCE WITH H.C.D. GUIDELINES AND TITLE 25 OR PREPARE SUBGRADE PER SOIL REPORT, WHEN AVAILABLE.
3. STRUCTURAL STEEL:
a. SHALL CONFORM TO ASTM A36 $F_y = 36$ KSI MINIMUM.
b. SHALL BE FABRICATED ACCORDING TO AISC SPECIFICATIONS.
c. SHALL BE WELDED ACCORDING TO AWS SPECIFICATIONS:
i. ELECTRODES: E70
ii. PLATES: ASTM A36
iii. BOLTS: STANDARD ASTM A307
iv. THREADED ROD: COLD DRAWN LOW CARBON WELDABLE
d. ALL METAL COMPONENTS INCLUDING NAILS & SCREWS ETC. ARE TO BE PROTECTIVE COATED.
4. THE C.P. SEISMIC PIER SHALL BE LISTED & LABELED BY BSK ASSOCIATES FOR THESE ULTIMATE LOADS:
7" THRU 18 INCH PIERS: 3203 LBS. (STRONG DIR), 2273 (WEAK DIR), 16,000 VERTICAL
5. THIS FOUNDATION SYSTEM IS FOR PLACING MANUFACTURED HOMES CONSTRUCTED WITH LONGITUDINAL OR CROSS JOISTS.
6. THIS FOUNDATION SYSTEM IS DESIGNED TO BE CONSTRUCTED ON A FAIRLY LEVEL SITE WITH NO EXISTING SOIL PROBLEMS. SEE NOTE 2 AND TITLE 25, SECTION 1334(b).
7. THE SIZE, TYPE & LOCATION OF STANDARD VERTICAL SUPPORT PIERS & FOOTINGS MUST BE INSTALLED PER THE HOME MANUFACTURER'S INSTALLATION MANUAL. WITHOUT MANUAL, SPACING OF STANDARD PIERS TO BE DETERMINED BY TITLE 25, SECTION 1335.5.

FOUNDATION PAD NOTES:

1. TWO FOUNDATION PADS ARE AVAILABLE FOR USE WITH THIS SYSTEM. THE CUSTOMER MAY CHOOSE ONE OF THE PADS FOR THEIR HOME. SEE SHEET F6, FOUNDATION PADS.
2. FOUNDATION PADS SHALL BE PLACED ON FIRM, LEVEL UNDISTURBED SOIL (SEE GEN. NOTE 2)

3. THE FOUNDATION PADS SHALL BE ORIENTED AS SHOWN ON THE PLAN VIEW DRAWING WITH THE BOLT HOLES PERPENDICULAR TO THE CHASSIS BEAM. SEE PLAN VIEWS, SHEETS F3 AND F4.

CONCRETE FOUNDATION PADS

2500 PSI AT 28 DAYS AS TESTED AND MANUFACTURED BY STARLITE WEIGHT CONCRETE.

PRESSURE TREATED FOUNDATION PAD

3/4 INCH A.P.A. 48/24 EXTERIOR P.S.I.-83 CC. PLUGGED, NER-QA397,PRP-108.

ATTACHMENT TO EXISTING CONCRETE SLAB

THE C.P. SEISMIC PIER MAY BE ATTACHED TO AN EXISTING COMPETENT CONCRETE SLAB OR CONCRETE FOOTING ACCORDING TO THE FOLLOWING CRITERIA:

1. ATTACH WITH TWO 5/8" DIAM. REDHEAD WEDGE ANCHORS, ^ΔOR EQUIV.
2. MINIMUM EMBEDMENT = 2.5"
3. MINIMUM CONCRETE THICKNESS = 3 3/4"
4. MINIMUM EDGE DISTANCE = 2"

COACH SIZE NOTES:

1. UNLESS APPROVED BY ROCK SOLID ENGINEERING, INC., THE ROOF PITCH SHOULD NOT EXCEED:

A. SINGLE WIDES: 4:12

B. DOUBLE AND TRIPLE WIDES: 3:12 or 4:12
AS LISTED IN TABLE



2. FOR ANY HOME SIZE OTHER THAN AS SHOWN ON THIS PLAN OR REFERENCED IN THE TABLE, THE LAYOUT SHALL BE REVIEWED & APPROVED BY ROCK SOLID ENGINEERING, INC.

INSPECTION REQUIREMENTS:

1. THE DESIGN OF THIS SYSTEM IS BASED ON STANDARD MANUFACTURED HOMES AS BUILT BY THE MANUFACTURER. SITE BUILT ADDITIONS SUCH AS GARAGES AND SECONDARY ROOFS HAVE NOT BEEN INCLUDED IN THIS DESIGN.
2. ALL DIMENSIONS INCLUDED ON THIS PLAN, INCLUDING COACH SIZE, ROOF HEIGHT AND PIER HEIGHT, SHOULD BE FIELD VERIFIED BY THE LOCAL BUILDING OFFICIAL. ANY DISCREPANCIES SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION.
3. THE BUILDING PAD SHOULD BE INSPECTED TO ENSURE THAT PROPER SOIL CONDITIONS AND DRAINAGE PATTERNS HAVE BEEN ESTABLISHED IN ACCORDANCE WITH TITLE 25 & THE HOME INSTALLATION MANUAL.

ROCK SOLID ENGINEERING, INC.

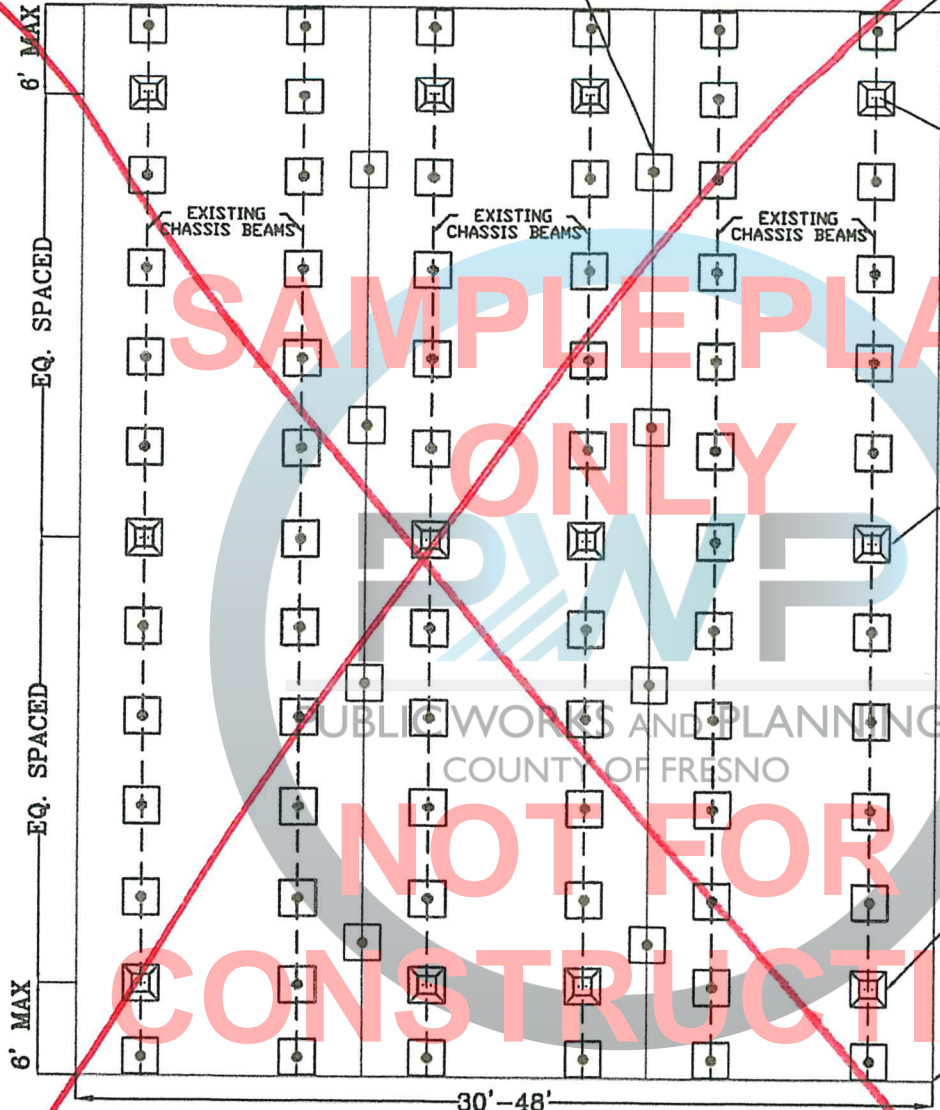
ENGINEERED FOUNDATION PLAN
CENTRAL PIERS - SPA 30-5F

^Δ10/02/20

SHEET F2
OF 6

SIZE TYPE & LOCATION OF MARRIAGE LINE SUPPORTS MUST BE INSTALLED AS SPECIFIED IN THE HOME'S INSTALLATION MANUAL.

STANDARD CHASSIS PIER SUPPORT. TYPE, SIZE & LOCATION MUST BE INSTALLED AS SPECIFIED IN HOME'S INSTALLATION MANUAL



PAD ORIENTATION
PAD MUST BE PLACED AS SHOWN WITH BOLT HOLES PERPENDICULAR TO CHASSIS BEAM

PLACE C.P. SEISMIC PIERS IN ROWS OF 4
PER TABLE, SHEET F6
OF ROWS PER TABLE
EACH SEISMIC PIER MAY REPLACE 1 STANDARD PIER

WHEN TIEDOWNS ARE REQUIRED: PLACE C.P. ANCHOR PIER ON OUTER CHASSIS BEAM IN PLACE OF SEISMIC PIER.
TIEDOWNS PER TABLE, SHEET F5
(Ult. Capacity=2840 Lat & 3170 Uplift)

OUTLINE OF HOME

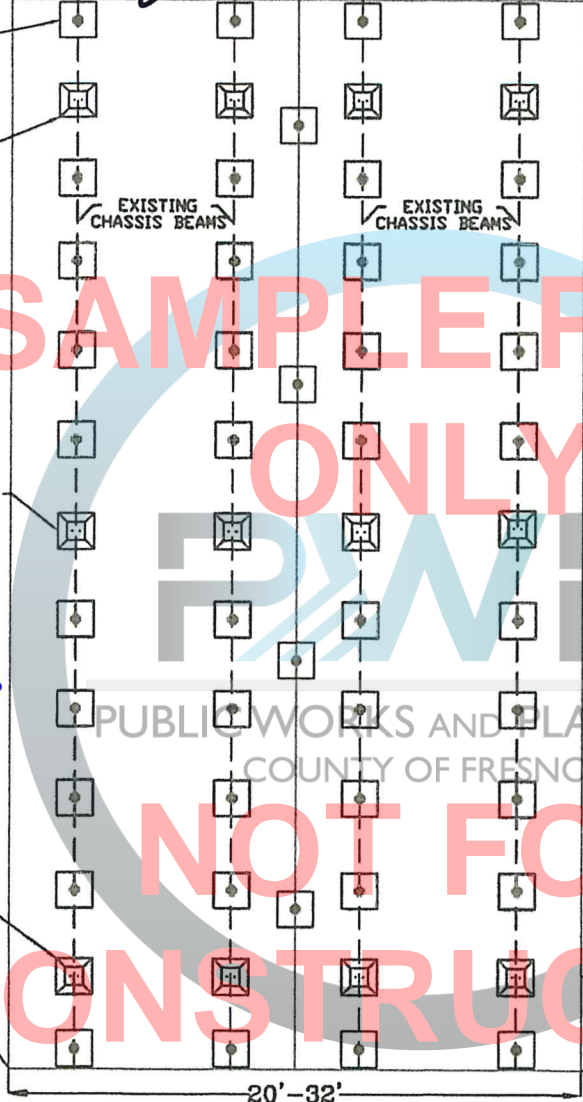
PLAN Not to Scale
TRIPLE WIDE HOME

STANDARD CHASSIS PIER SUPPORT.
TYPE, SIZE & LOCATION MUST BE
INSTALLED AS SPECIFIED IN HOME'S
INSTALLATION MANUAL

PAD ORIENTATION
PAD MUST BE
PLACED AS SHOWN
WITH BOLT HOLES
PERPENDICULAR TO
CHASSIS BEAM

2344

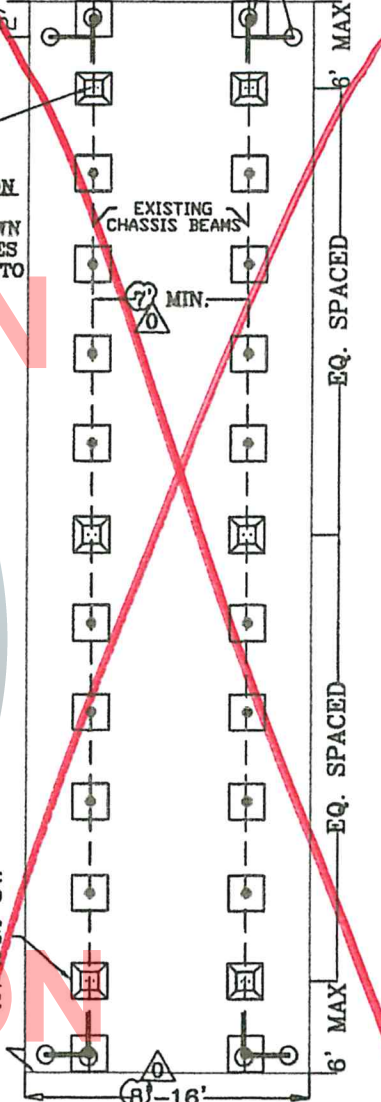
INSTALL HOME PRIDE EARTH ANCHORS, (OR EQUIVALENT) A
2900 lbs CAPACITY. NUMBER PER TABLE.
SPACE 1ST ROW 2 FT FROM END THEN SPACE EVENLY.
INSTALL END WALL TIEDOWNS, WHERE REQUIRED. SEE TABLE.



PLAN Not to Scale
DOUBLE WIDE HOME

PAD ORIENTATION
PAD MUST BE
PLACED AS SHOWN
WITH BOLT HOLES
PERPENDICULAR TO
CHASSIS BEAM

40



PLAN Not to Scale
SINGLE WIDE HOME

OUTER CHASSIS BEAM
IN PLACE OF SEISMIC
PIER. # TIEDOWNS PER
TABLE, SHEET F5
Ult. Capacity=2840 Lat
& 3170 Uplift

OUTLINE OF
HOME

C.P. SEISMIC PIER &
FOUNDATION PAD
PER TABLE,
SHEET F5
EACH SEISMIC PIER
MAY REPLACE A
STANDARD PIER

OUTLINE OF
HOME

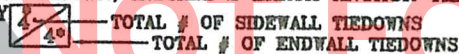
| | | | MAX. ROOF LIVE LOAD (PSF) | | | 30 PSF | | | 30 PSF | | | 30 PSF | | | 30 PSF | | | 100 PSF | | |
|---------------|-----------|-----------|---------------------------|-----------|----------------|--------------------|-----------|----------------|--------------------|-----------|----------------|--------------------|-----------|----------------|--------------------|-----------|----------------|---------|--|--|
| | | | MAX. WIND LOAD(MPH,EXP) | | | 95B & 95C | | | 100C | | | 120B | | | 120C | | | 130C | | |
| HOME SIZE | | | # OF SEISMIC PIERS | # OF ROWS | # OF TIE DOWNS | # OF SEISMIC PIERS | # OF ROWS | # OF TIE DOWNS | # OF SEISMIC PIERS | # OF ROWS | # OF TIE DOWNS | # OF SEISMIC PIERS | # OF ROWS | # OF TIE DOWNS | # OF SEISMIC PIERS | # OF ROWS | # OF TIE DOWNS | | | |
| ROOF PITCH | WIDTH | LENGTH | | | | | | | | | | | | | | | | | | |
| SINGLES | 4:12 | 8'-16' | UP TO 48' | 4 | 2 ROWS | 4 | 4 | 2 ROWS | 4 | 4 | 2 ROWS | 4 | 4 | 2 ROWS | 4 | 4 | 2 ROWS | 4/4* | | |
| | | | 48.5'-60' | 6 | 3 ROWS | 4 | 6 | 3 ROWS | 4 | 6 | 3 ROWS | 4 | 6 | 3 ROWS | 4 | 6 | 3 ROWS | 6/4* | | |
| | | | 60.5'-78' | 8 | 4 ROWS | 4 | 8 | 4 ROWS | 4 | 8 | 4 ROWS | 4 | 8 | 4 ROWS | 4 | 8 | 4 ROWS | 6/4* | | |
| DOUBLE WIDES | 3:12 | 20'-32' | UP TO 56' | 8 | 2 ROWS | 0 | 8 | 2 ROWS | 0 | 8 | 2 ROWS | 0 | 8 | 3 ROWS | 4 | 6 | 3 ROWS | 6 | | |
| | | | 56.5'-66' | 8 | 2 ROWS | 0 | 4 | 2 ROWS | 4 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 6 | 3 ROWS | 6 | | |
| | | | 66.5'-78' | 12 | 3 ROWS | 0 | 12 | 3 ROWS | 0 | 12 | 3 ROWS | 0 | 12 | 4 ROWS | 4 | 10 | 4 ROWS | 6 | | |
| DOUBLE WIDES | 4:12 | 20'-32' | UP TO 58' | 8 | 2 ROWS | 0 | 12 | 3 ROWS | 0 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 6 | 3 ROWS | 6 | | |
| | | | 58.5'-66' | 8 | 2 ROWS | 0 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 8 | 3 ROWS | 4 | 6 | 3 ROWS | 6 | | |
| | | | 66.5'-78' | 12 | 3 ROWS | 0 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 12 | 4 ROWS | 4 | 10 | 4 ROWS | 6 | | |
| TRIPLES WIDES | 4:12 | 30'-43' | UP TO 48' | 8 | 2 ROWS | 0 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 8 | 3 ROWS | 4 | 6 | 3 ROWS | 6 | | |
| | | | 48.5'-60' | 12 | 3 ROWS | 0 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 12 | 4 ROWS | 4 | 10 | 4 ROWS | 6 | | |
| | | | 60.5'-66' | 12 | 3 ROWS | 0 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 12 | 4 ROWS | 4 | 14 | 5 ROWS | 6 | | |
| | | | 66.5'-78' | 16 | 4 ROWS | 0 | 16 | 4 ROWS | 0 | 12 | 4 ROWS | 4 | 16 | 5 ROWS | 4 | 14 | 5 ROWS | 6 | | |
| | 43.5'-48' | UP TO 48' | 12 | 3 ROWS | 0 | 12 | 3 ROWS | 0 | 8 | 3 ROWS | 4 | 12 | 4 ROWS | 4 | 10 | 4 ROWS | 6 | | | |
| | | 48.5'-56' | 12 | 3 ROWS | 0 | 16 | 4 ROWS | 0 | 12 | 4 ROWS | 4 | 12 | 4 ROWS | 4 | 10 | 4 ROWS | 6 | | | |
| | | 56.5'-66' | 12 | 3 ROWS | 0 | 16 | 4 ROWS | 0 | 12 | 4 ROWS | 4 | 16 | 5 ROWS | 4 | 14 | 5 ROWS | 6 | | | |
| | | 66.5'-78' | 16 | 4 ROWS | 0 | 16 | 4 ROWS | 0 | 12 | 4 ROWS | 4 | 16 | 5 ROWS | 4 | 14 | 5 ROWS | 6 | | | |
| | | 66.5'-78' | 16 | 4 ROWS | 0 | 16 | 4 ROWS | 0 | 12 | 4 ROWS | 4 | 16 | 5 ROWS | 4 | 14 | 5 ROWS | 6 | | | |

TABLE NOTES

TO USE TABLE, FIND HOME SIZE (SINGLE, DOUBLE OR TRIPLE), THEN FIND ROOF PITCH, WIDTH AND LENGTH. FOLLOW ROW ACROSS TO DESIGN ROOF LOAD THEN DESIGN WIND LOAD. READ TOTAL NUMBER OF C.P. SEISMIC PIERS, # OF ROWS & TIEDOWNS REQUIRED. SEE PLAN, SHEETS F3 & F4, FOR PLACEMENT OF C.P. SEISMIC PIERS AND TIEDOWN SPECIFICATIONS.

FOR EXAMPLE, FOR A 24'x70' HOME WITH A 3:12 ROOF PITCH, DESIGN SNOW LOAD OF 30 PSF & 100 MPH, EXPOSURE C WIND LOAD, READ 12 C.P. SEISMIC PIERS, PLACED IN 3 ROWS, WITH 0 C.P. ANCHOR PIER TIEDOWNS. LAYOUT SHOWN IN DOUBLE WIDE PLAN VIEW, SHEET F4

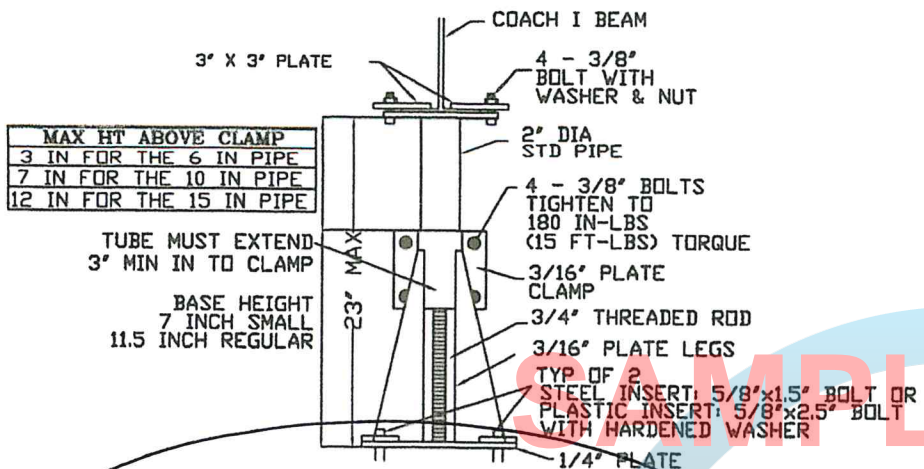
*FOR SINGLE WIDES, WHERE TIEDOWN COLUMN IS SPLIT AS SHOWN, INSTALL 2 EARTH ANCHOR TIEDOWNS AT EACH ENDWALL, TOTAL # OF ENDWALL TIEDOWNS PER HOME IS INDICATED IN TABLE BY



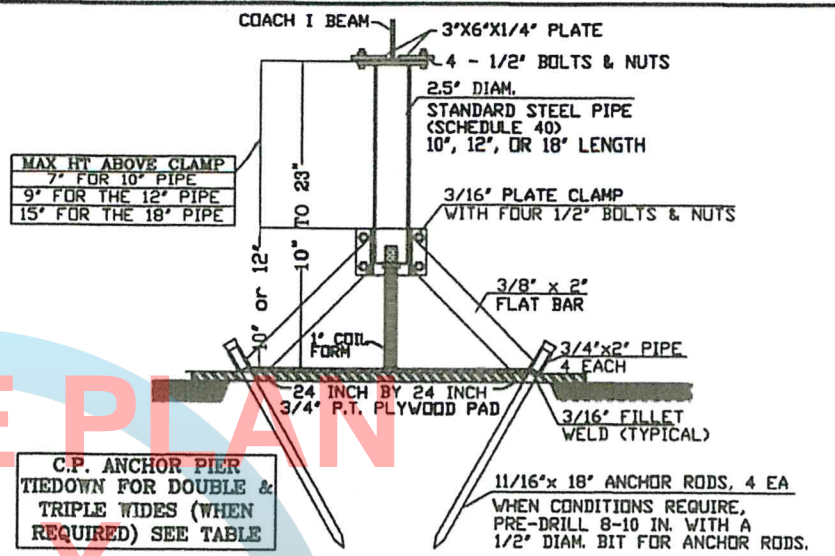
HOME SIZES REFER TO NOMINAL SIZES THAT ARE COMMONLY MANUFACTURED. IF THE EXACT SIZE OF THE HOME IS NOT LISTED, CHECK THE NEXT HIGHER OR LOWER SIZE AND USE THE ONE THAT REQUIRED MORE PIERS.

THE TIEDOWNS SHALL BE LISTED & INSTALLATION INSTRUCTIONS SHALL BE ON SITE AT TIME OF INSPECTION.

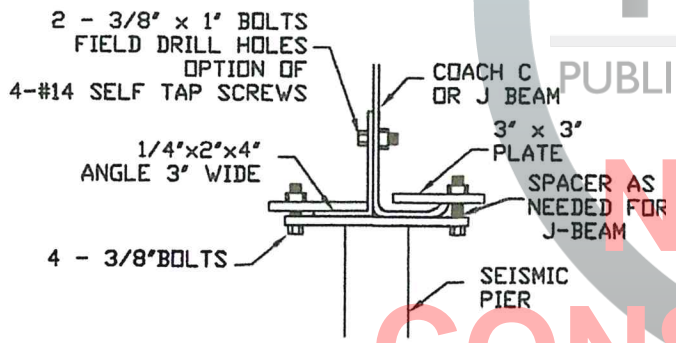
THIS PLAN MAY BE USED WITH C.P. SEISMIC PIERS UP TO THE 18 INCH PIER SIZE. THE MAXIMUM HEIGHT OF THE C.P. SEISMIC AND C.P. ANCHOR PIERS IS 23" MEASURED FROM THE BASE PLATE TO THE TOP PLATE.



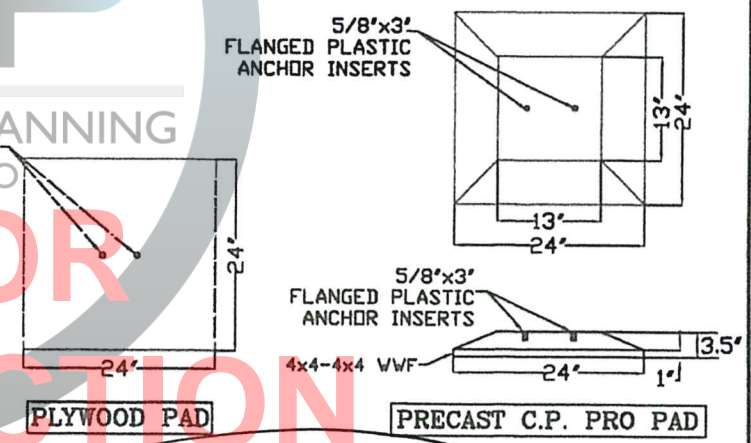
SEISMIC PIER™ Not to Scale
 C.P. SEISMIC PIER#1
 LISTING #C03-044-60F BY BSK



C.P. ANCHOR PIER NOT TO SCALE
 LISTING #186.6 BY CTC



TYP BEAM CONNECTION
 Not to Scale



FOUNDATION PADS
 Not to scale