



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: March 15, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director of Planning  
Development Services and Capital Projects, Attn: Chris Motta,  
Division Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga  
Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: David Randall,  
Senior Planner  
Development Services and Capital Projects, Policy Planning, ALCC, Attn:  
Mohammad Khorsand, Senior Planner  
Development Services and Capital Projects, Zoning & Permit Review, Attn:  
Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Site Plan Review, Attn:  
James Anders  
Development Services and Capital Projects, Building & Safety/Plan Check, Attn:  
Arnold Valdivia, Supervising Building Inspector  
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping  
Road Maintenance and Operations, Attn: Wendy Nakagawa/Mohammad Mahmood  
Design Division, Transportation Planning Unit, Attn: Hector Luna  
Water and Natural Resources Division, Attn: Augustine Ramirez/Roy Jimenez  
Department of Public Health, Environmental Health Division, Attn:  
Deep Sidhu/Kevin Tsuda  
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Patricia Cole  
CA Regional Water Quality Control Board, Attn:  
[centralvalleyfresno@waterboards.ca.gov](mailto:centralvalleyfresno@waterboards.ca.gov)  
CA Department of Fish and Wildlife, Attn: [R4CEQA@wildlife.ca.gov](mailto:R4CEQA@wildlife.ca.gov)  
State Water Resources Control Board, Division of Drinking Water, Fresno District,  
Attn: Cinthia Reyes  
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric  
Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst  
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural  
Resources Director  
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/  
Hector Franco, Director/Shana Powers, Cultural Specialist II  
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim  
Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources  
Department  
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division),  
Attn: PIC Supervisor

Consolidated Irrigation District, Attn: Phil Desatoff  
Central King GSA, Attn: Phil Desatoff  
Fresno County Fire Protection District, Attn: fku.prevention-planning@fire.ca.gov

FROM: Ejaz Ahmad, Planner   
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 8565, Classified Conditional Use Permit Application No. 3787

APPLICANT: Ken Vang

DUE DATE: March 29, 2024

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow addition of a fueling canopy with eight (8) fueling positions and additional parking to an existing convenience store/mini market on two contiguous parcels totaling 1.31 acres in the AC (Agricultural Commercial Center) Zone District. The subject parcels are located on the northwest corner of Manning Avenue and Cedar Avenue approximately 0.9 mile north of the City of Selma (APN 353-050-56 & 65) (9882 & 9942 E. Manning Avenue).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **March 29, 2024**. Any comments received after this date may not be used.

**NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email eahmad@fresnocountyca.gov

EA  
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*Activity Code (Internal Review):2432*

Enclosures





Fresno County Department of Public Works and Planning

Date Received: 3/13/24

CUP3787

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class )/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

CUP FOR PROPOSED FUELING CANOPY WITH 8 FUELING POSITIONS AND ADDITIONAL PARKING STALLS

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: WEST side of McCALL AVENUE
between SOUTH MANNING AVENUE and SOUTH LEONARD
Street address: NWC MANNING & McCALL

APN: 353-050-56 Parcel size: Section(s)-Twp/Rg: S 19 - T 15 S/R 22 E

ADDITIONAL APN(s): 353-050-65

I, NAVNEET K. BRAR (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

NAVNEET KAUR BRAR 2568 Roll Ave Clovis Ca 93611

Table with 5 columns: Owner (Print or Type), Address, City, Zip, Phone. Row 1: KEN VANG, 4010 N. CHESTNUT AVE #101, FRESNO, 93627, 559-775-0023

Table with 5 columns: Representative (Print or Type), Address, City, Zip, Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: CUP 3787 Fee: \$ 4,569.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: IS 8565 Fee: \$ 3,901.00
Ag Department Review: Fee: \$
Health Department Review: Fee: \$ 992.00
Received By: ELIZ Invoice No.: TOTAL: \$ 9,462.00

UTILITIES AVAILABLE:

WATER: Yes [X] / No [ ]
Agency: PRIVATE WELL
SEWER: Yes [X] / No [ ]
Agency: PRIVATE WE;;

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: 19 - T 15 S/R 22 E

Related Application(s): PRE APPLICATION REVIEW NO 23-017911

Zone District: AC

Parcel Size: 1.32 acres

APN # - -
APN # - -
APN # - -
APN # - -



**Development Services  
and  
Capital Projects  
Division**

**Pre-Application Review**  
**Department of Public Works and Planning**

NUMBER: 23-017911  
 APPLICANT: VANG INC. CONSULTING ENGINEERS  
 PHONE: 559-775-0023, KENVANG@VICE-ENGR.COM

PROPERTY LOCATION: 9882 & 9942 E. MANNING AVENUE  
 APN(s): 353-050-56 & 65 ALCC: No<sup>x</sup> Yes # VIOLATION NO. 18-109507  
 CNEL: No<sup>x</sup> Yes (level) LOW WATER: No<sup>x</sup> Yes WITHIN 1/2 MILE OF CITY: No<sup>x</sup> Yes  
 ZONE DISTRICT: AC; SRA: No<sup>x</sup> Yes HOMESITE DECLARATION REQ'D.: No<sup>x</sup> Yes  
 LOT STATUS:  
 Zoning:  Conforms;  Legal Non-Conforming lot;  Deed Review Req'd (see Form #236)  
 Merger: May be subject to merger: No<sup>x</sup> Yes ZM# Initiated In process  
 Map Act:  Lot of Rec. Map;  On '72 rolls;  Other; ( ) Deeds Req'd (see Form #236)  
 SCHOOL FEES: No Yes DISTRICT: SELMA UNIFIED PERMIT JACKET: No Yes<sup>x</sup>  
 FMFCD FEE AREA:  Outside  District No.: FLOOD PRONE: No<sup>x</sup> Yes  
 PROPOSAL PROPOSED FUELING CANOPY WITH 8 FUELING POSITIONS AND ADDITIONAL PARKING to an existing Minmarket.

COMMENTS:  
 ORD. SECTION(S): 867-A.1.DD; 816.3.V.839.3.A BY: EDDIE HILL DATE: 12/29/23

<b>GENERAL PLAN POLICIES:</b>	<i>Agriculture</i>	<b>PROCEDURES AND FEES:</b>
LAND USE DESIGNATION:	<i>Per AA-3039</i>	<input type="checkbox"/> GPA:
COMMUNITY PLAN:	-	<input type="checkbox"/> AA:
REGIONAL PLAN:	-	<input checked="" type="checkbox"/> CUP: \$4,569. <sup>00</sup>
SPECIFIC PLAN:	-	<input type="checkbox"/> DRA:
SPECIAL POLICIES:	-	<input type="checkbox"/> VA:
SPHERE OF INFLUENCE:	-	<input type="checkbox"/> AT:
ANNEX REFERRAL (LU-G17/MOU):	-	<input type="checkbox"/> TT:
		<input type="checkbox"/> PLA:
		<input type="checkbox"/> MINOR VA:
		<input checked="" type="checkbox"/> HD: \$992
		<input type="checkbox"/> AG COMM:
		<input type="checkbox"/> ALCC:
		<input checked="" type="checkbox"/> IS/PER*: \$3,901
		<input type="checkbox"/> Viol. (35%):
		<input type="checkbox"/> Other:
		Filing Fee: \$9,555. <sup>00</sup>
		Pre-Application Fee: \$247. <sup>00</sup>
		Total County Filing Fee: 9,555. <sup>00</sup>

**FILING REQUIREMENTS:**

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- Statement of Variance Findings
- Statement of Intended Use (ALCC)
- Dependency Relationship Statement
- Resolution/Letter of Release from City of \_\_\_\_\_
- Nitrogen Loading Analysis or RWQCB supplemental treatment

**OTHER FILING FEES:**

- Archaeological Inventory Fee: \$75 at time of filing  
(Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,764)  
(Separate check to Fresno County Clerk for pass-thru to CDFW.  
Must be paid prior to IS closure and prior to setting hearing date.)

BY: *[Signature]* EIAZ AHMAB DATE: 1-22-24  
 PHONE NUMBER: (559) 600-4204

**NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:**

- |  |  |
|--|--|
| <input type="checkbox"/> COVENANT        | <input checked="" type="checkbox"/> SITE PLAN REVIEW |
| <input type="checkbox"/> MAP CERTIFICATE | <input checked="" type="checkbox"/> BUILDING PLANS   |
| <input type="checkbox"/> PARCEL MAP      | <input checked="" type="checkbox"/> BUILDING PERMITS |
| <input type="checkbox"/> FINAL MAP       | <input type="checkbox"/> WASTE FACILITIES PERMIT     |
| <input type="checkbox"/> FMFCD FEES      | <input checked="" type="checkbox"/> SCHOOL FEES      |
| <input type="checkbox"/> ALUC or ALCC    | <input type="checkbox"/> OTHER (see reverse side)    |

PLU # 113 Fee: \$247.00  
 Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

OVER.....





# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## AGENT AUTHORIZATION

### AUTHORIZATION OF AGENT TO ACT ON BEHALF OF PROPERTY OWNER

The Agent Authorization form is required whenever a property owner grants authority to an individual to submit and/or pursue a land use entitlement application on their behalf. This form must be completed by the property owner and submitted with the land use entitlement application to confirm that the property owner has granted authority to a representative to sign application forms on their behalf and represent them in matters related to a land use entitlement application.

*The below named person is hereby authorized to act on my behalf as agent in matters related to land use entitlement applications associated with the property listed below.*

KEN VANG  
Agent Name (Print or Type)

VANG INC CONSULTING ENGINEERS  
Company Name (Print or Type)

4010 N. CHESTNUT AVE STE#101  
Mailing Address

FRESNO, CA 93726  
City / State / Zip Code

559-775-0023  
Phone Number

KENVANG@VICE-ENGR.COM  
Email Address

353-050-56 & 65  
Project APN

NEC MANNING/McCALL AVENUES  
Project Street Address

A list consisting of \_\_\_\_ additional properties is attached (include the APN for each property).

Project Description (Print or Type):

PROPOSED FUELING CANOPY WITH 8 FUELING POSITIONS TO EXISTING CONVENIENCE  
MARKET, PROPOSED PARKING STALLS, PROPOSED SPR AND CUP

**The undersigned declares under penalty of perjury that they own, possess, control or manage the property referenced in this authorization and that they have the authority to designate an agent to act on behalf of all the owners of said property. The undersigned acknowledges delegation of authority to the designated agent and retains full responsibility for any and all actions this agent makes on behalf of the owner.**

Navneet Brar  
Owner Signature

12/01/2023  
Date

NAVNEET K. BRAR  
Owner Name (Print or Type)

Phone Number

Davebrar1@gmail.com  
Email Address

*\* If the legal owner of the property is a corporation, company, partnership or LLC, provide a copy of a legal document with this authorization form showing that the individual signing this authorization form is a duly authorized partner, officer or owner of said corporation, company, partnership or LLC.*

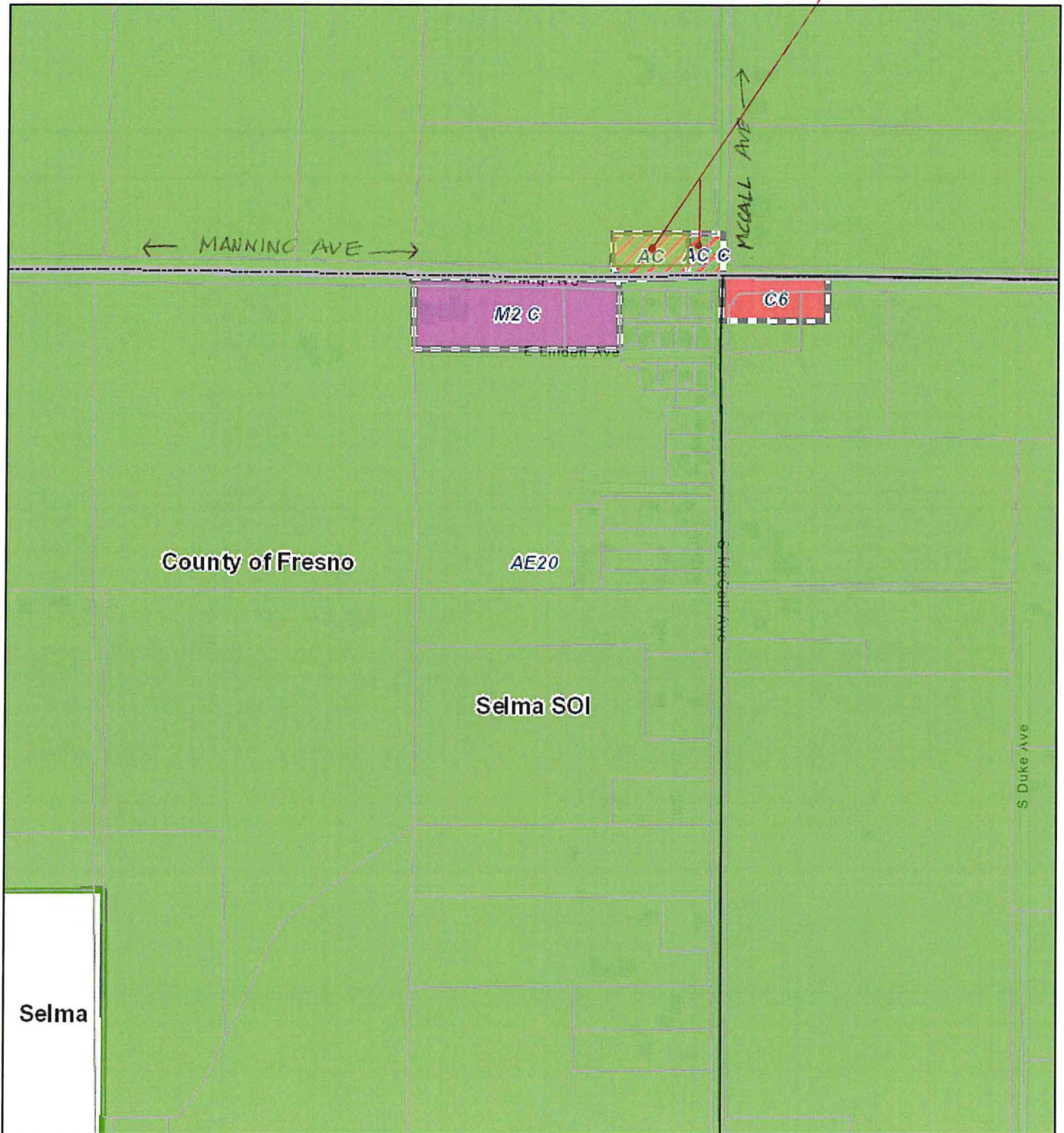
G:\4360Devs&Pin\FORMS\F410 Agent Authorization 8-14-19.doc

DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION  
2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 800-4497 / 800-4022 / 800-4540 / FAX 800-4200  
The County of Fresno is an Equal Employment Opportunity Employer



# Fresno County Parcel Information

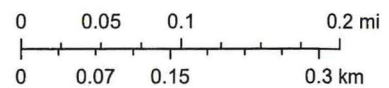
**PROJ. SITE**



3/15/2024, 8:37:45 AM

1:9,028

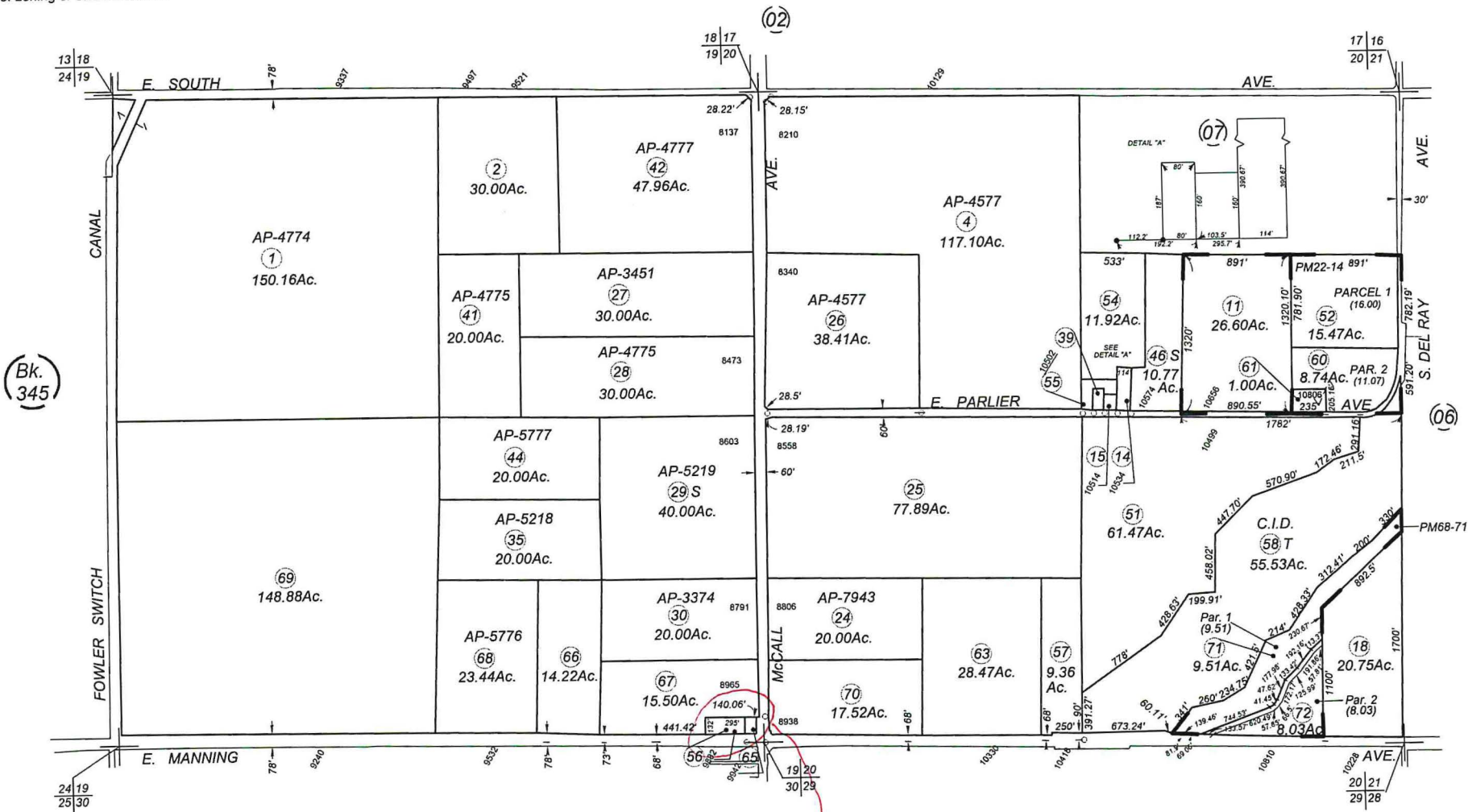
Find Parcel_Query result	AE160	C2	M1	R1A
State Assembly	AE20	C3	M2	R1AH
AMANDA_PARCEL_DATA	AE40	C4	M3	R1B
<b>Zoning</b>	AE5	C6	O	R1C
A1	AL20	CM	P	R1E
A2	AL40	CP	PV	R1EH
AC	C1	CR	R1	R2



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-NOTE-  
This map is for Assessment purposes only.  
It is not to be construed as portraying legal  
ownership or divisions of land for purposes  
of zoning or subdivision law.



(Bk. 345)

(Bk. 358)

Project site

Agricultural Preserve  
Parcel Map No. 3051 - Bk.22, Pg.14  
Parcel Map No. 7927 - Bk. 68, Pg. 71-72

1/22/2024 MC

Note - Assessor's Block Numbers Shown in Ellipses  
Assessor's Parcel Numbers Shown in Circles

Assessor's Map Bk.353 - Pg.05  
County of Fresno, Calif.



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## INITIAL STUDY APPLICATION

### INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. \_\_\_\_\_

Project  
No(s). \_\_\_\_\_

Application Rec'd.:  
\_\_\_\_\_

### GENERAL INFORMATION

1. **Property Owner:** NAVNEET BRAR **Phone/Fax:** \_\_\_\_\_

**Mailing Address:** 9942 E. MANNING AVE SELMA, CA 93662

*Street* *City* *State/Zip*
2. **Applicant:** NAVNEET BRAR **Phone/Fax:** \_\_\_\_\_

**Mailing Address:** 9942 E. MANNING AVE SELMA, CA 93662

*Street* *City* *State/Zip*
3. **Representative:** KEN VANG **Phone/Fax:** 559-775-0023

**Mailing Address:** 4010 N. CHESTNUT AVE STE#101 FRESNO, CA 93726

*Street* *City* *State/Zip*
4. **Proposed Project:** CUP FOR PROPOSED FUELING CANOPY WITH 8  
FUELING POSITIONS AND ADDITIONAL PARKING STALLS

\_\_\_\_\_

\_\_\_\_\_
5. **Project Location:** NWC MANNAING/McCALL

\_\_\_\_\_
6. **Project Address:** 9942 E. MANNING AVE SELMA, CA 93662

\_\_\_\_\_
7. **Section/Township/Range:** 19 / 15 / 22
8. **Parcel Size:** 1.32 AC
9. **Assessor's Parcel No.** 353-050-56 & 65



10. Land Conservation Contract No. (If applicable): NA

11. What other agencies will you need to get permits or authorization from:

<input type="checkbox"/>	LAFCo (annexation or extension of services)	<input type="checkbox"/>	SJVUAPCD (Air Pollution Control District)
<input type="checkbox"/>	CALTRANS	<input type="checkbox"/>	Reclamation Board
<input type="checkbox"/>	Division of Aeronautics	<input type="checkbox"/>	Department of Energy
<input type="checkbox"/>	Water Quality Control Board	<input type="checkbox"/>	Airport Land Use Commission
<input type="checkbox"/>	Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? \_\_\_\_\_ Yes  No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District<sup>1</sup>: ACC

14. Existing General Plan Land Use Designation<sup>1</sup>: ACC

**ENVIRONMENTAL INFORMATION**

15. Present land use: COMMERCIAL  
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

The subject property is partially developed, and has an existing 2,650 sf convenience market building, with 11 parking stalls, pavement, wells, septic.

Describe the major vegetative cover: THERE ARE NATIVE GRASSES, WEEDS, AND THREE DECIDUOUS TREES

Any perennial or intermittent water courses? If so, show on map: NONE

Is property in a flood-prone area? Describe:

ACCORDING TO FEMA FIRM MAP 06019C2267CH, DATED 2/18/2009 THE PROPERTY IS IN ZONE X

ACCORDING TO FEMA FIRM MAP 06019C2267CH, DATED 2/18/2009 THE PROPERTY IS IN ZONE X

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: AG

South: RESIDENTIAL/COMMERCIAL

East: AG

West: RESIDENTIAL/AG

17. What land use(s) in the area may be impacted by your Project?: RESIDENTIAL

18. What land use(s) in the area may impact your project?: NONE

19. Transportation:

**NOTE:** The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?  
       Yes         No

B. Daily traffic generation:

I. Residential - Number of Units \_\_\_\_\_  
Lot Size \_\_\_\_\_  
Single Family \_\_\_\_\_  
Apartments \_\_\_\_\_

II. Commercial - Number of Employees        8  
Number of Salesmen        0  
Number of Delivery Trucks        1  
Total Square Footage of Building        2650

III. Describe and quantify other traffic generation activities: THE SITE HAS AN EXISTING 2,650 SF  
CONVENIENCE MARKET generates approximately 2,058 average daily trips, 169 AM peak trips, and 133 PM peak trips  
the addition of gas station and eight fueling positions, will generate an additional 63 average daily trips, 0 AM peak trips, and 14 PM peak trips

20. Describe any source(s) of noise from your project that may affect the surrounding area: \_\_\_\_\_  
The project may generate temporary noise during construction. During operations additional vehicles and truck traffic accessing the site may generate noise.

21. Describe any source(s) of noise in the area that may affect your project: \_\_\_\_\_  
traffic along McCall and Manning Avenue generates noise

22. Describe the probable source(s) of air pollution from your project: The project may generate air pollution during construction.  
During operations additional vehicles and truck traffic accessing the site may generate air pollution.

23. Proposed source of water:  
 private well  
 community system<sup>3</sup> --name: \_\_\_\_\_



24. Anticipated volume of water to be used (gallons per day)<sup>2</sup>: 100 gallons/day

25. Proposed method of liquid waste disposal:

septic system/individual

community system<sup>3</sup>-name \_\_\_\_\_

26. Estimated volume of liquid waste (gallons per day)<sup>2</sup>: 100 gallons/day

27. Anticipated type(s) of liquid waste: SEWER

28. Anticipated type(s) of hazardous wastes<sup>2</sup>: NONE

29. Anticipated volume of hazardous wastes<sup>2</sup>: NONE

30. Proposed method of hazardous waste disposal<sup>2</sup>: NA

31. Anticipated type(s) of solid waste: COMMERCIAL REFUSE

32. Anticipated amount of solid waste (tons or cubic yards per day): 2.34 LBS PER DAY

33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): 1.76 LBS PER DAY

34. Proposed method of solid waste disposal: \_\_\_\_\_  
Solid waste disposal services provided by the county's franchise solid waste hauler, and is disposed of at the County's American Landfill

35. Fire protection district(s) serving this area: FRESNO COUNTY FIRE PROTECTION DISTRICT

36. Has a previous application been processed on this site? If so, list title and date: NO

37. Do you have any underground storage tanks (except septic tanks)? Yes \_\_\_\_\_ No

38. If yes, are they currently in use? Yes \_\_\_\_\_ No

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

Nameet K-Bauer  
SIGNATURE

02/01/2024  
DATE

<sup>1</sup>Refer to Development Services Conference Checklist

<sup>2</sup>For assistance, contact Environmental Health System, (559) 600-3357

<sup>3</sup>For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

(Revised 5/2/16)

# NOTICE AND ACKNOWLEDGMENT

## INDEMNIFICATION AND DEFENSE

*The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.*

## STATE FISH AND WILDLIFE FEE

*State law requires that specified fees (effective January 1, 2017: \$3,078.25 for an EIR; \$2,216.25 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.*

*The following projects are exempt from the fees:*

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

*A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.*

*Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.*

*Namreet K. Bhan*

Applicant's Signature

02/01/2024

Date



## Operational Statement

To Whom It May Concern:

EverShine Convenience Market and Gas Station, is being submitted by Ken Vang, Vang Inc Consulting Engineers, on behalf of Navneet K. Brar. This project is to construct fueling island and canopy with 4 pumps (8 fueling positions), parking stalls, landscaping and irrigation located at 9942 E. Manning Avenue Selma, CA 93662.

The subject property is partially developed, and has an existing 2,650 sf convenience market building, with 11 parking stalls, pavement, wells, septic. The project proposes to construct a gas station, fueling island and canopy with 4 pumps (8 fueling positions), 19 parking stalls, ponding basin, septic, landscaping and irrigations. The proposed project site is approximately 1.23 acres.

The project site is located in the unincorporated areas of Fresno County. The project address is 9942 E. Manning Avenue Selma, CA 93662, further identified as APN number 353-050-56 and 353-050-65. The current zoning and General Plan Land Use is Agricultural Commercial Center (ACC). The ACC district is intended for commercial development that primarily serves local needs such as convenience shopping, retail, and restaurant land uses. The proposed land uses gas station addition to the existing convenience market conforms to the ACC zone district by constructing gas station services. The proposed project implements the proposed uses and intended by the General Plan. The project will add convenience and necessary services that are not available in this area.

The proposed project consists of:

- Existing 2,650 sf Convenience store.
- Proposed Gas station with 8 fueling positions.
- Propane sales tank.
- Air/water dispensary.
- 19 parking stalls, including ada, and EV stalls
- Ponding basin

CUP 3787

The site will have the required vehicular parking stalls, including ADA stalls, fueling positions, landscaping and irrigation. The project proposes to continue to use the existing driveways and accesses onto McCall Avenue and Manning Avenue. Manning and McCall are paved county roads, and the intersection of Manning and McCall is signalized.

The hours of operation are as follows:

Convenience Store:	(Sunday thru Thursday) 6:00 AM to 12:00 AM. (Friday & Saturday) 6:00 AM to 1:00 AM.
Gas Station:	24 hours (Automated Point of Sales at pumps)

It is anticipated that the project will have approximately 300 visitors per day, with an additional 300 customers per day purchasing gas. The site currently has 5 to 10 employees and approximately 5 service deliveries per week.

Sewer is provided by private onsite septic system, consisting of septic and leach field. The existing convenience market currently uses approximately 150 gallons per day of water. Water service is provided by an existing private well, and will continue to do so. The addition of gas station and four pumps, will increase the water demand by approximately 100 gallons per day.

Storm drainage service will be provided by private onsite ponding basin. Electric and natural gas services will be PG&E. Telephone services will be provided by AT&T, and fiber/internet will be provided by Comcast.

The existing convenience market generates approximately 13 lbs per day (2.37 tons per year) of solid waste. The addition of gas station and four pumps, will generate an additional 2.34 lbs per day (0.42 tons per year) of solid waste. CalRecycle requires that commercial land uses recycle 75% of the solid waste generated, which is approximately 1.76 lbs per day (0.32 tons per year) Solid waste services are currently being provided by the County of Fresno franchise solid waste hauler, and will continue to do so. The current services is once a week pickup, and the solid waste is delivered to the County's American landfill by the solid waste hauler.

Security and lighting for the site is provided through a combination of wall-packs and pole-mounted lighting. The building will be equipped with comprehensive internal and external video surveillance/security cameras.

According to ITE Trip Generation Manual the existing convenience market generates approximately 2,058 average daily trips, 169 AM peak trips, and 133 PM peak trips. According to ITE Trip Generation the addition of gas station and eight fueling positions, will generate an additional 63 average daily trips, 0 AM peak trips, and 14 PM peak trips.

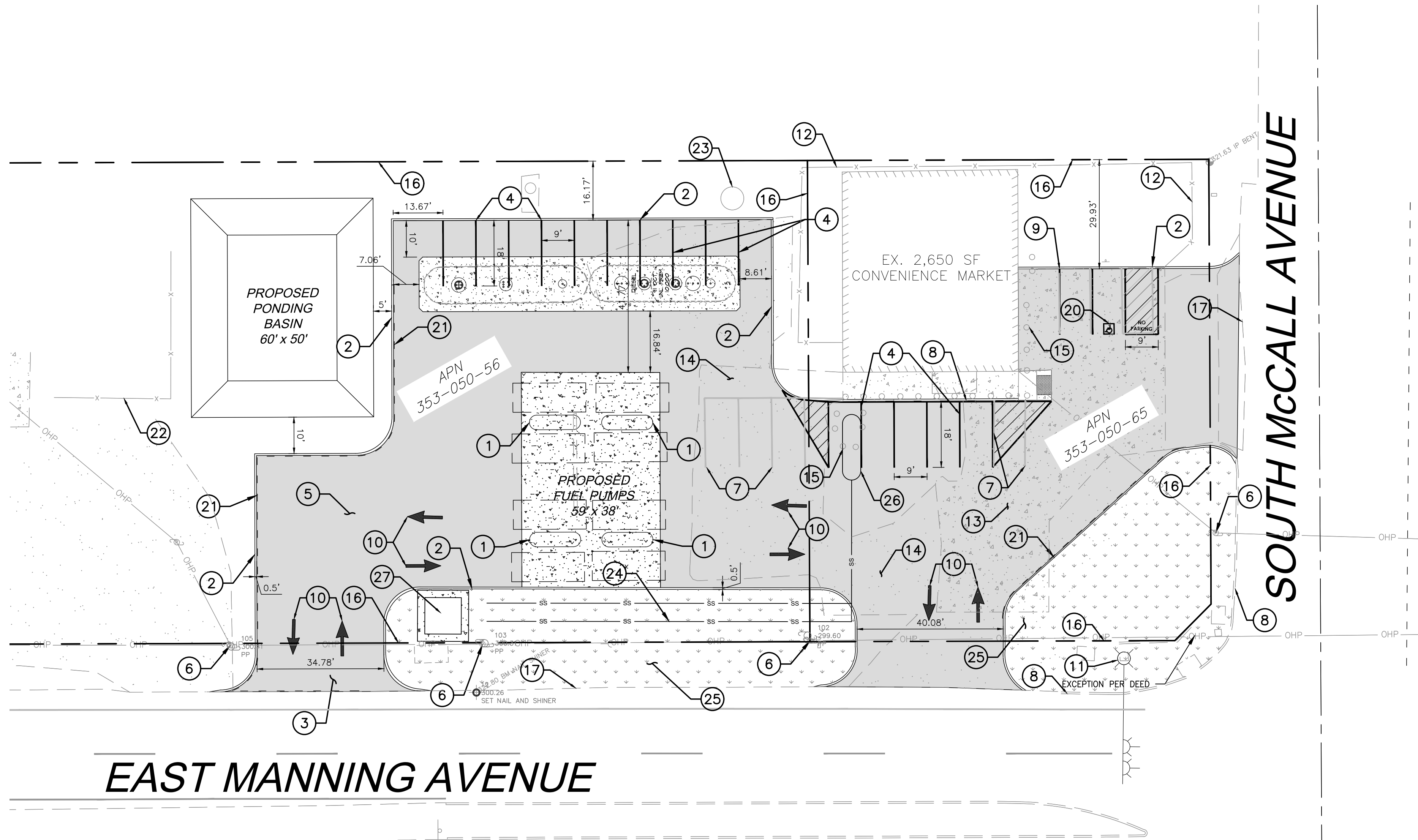
The existing convenience store sells a mix of products which includes pre-packaged grocery items, beverages, dairy products, snack foods, confectionary, tobacco products, over-the-counter drugs, and toiletries. The convenience store has an existing Type 21 license and sells alcohol, beer, wine, and distilled liquors. Made to order hot foods, Coffee, and premade sandwiches are also sold. There is also an outdoor display and fruit stand which sells of locally grown fruits.

The adjacent northerly parcel is agricultural. The parcels on the south side of E. Manning Avenue are existing commercial and residential land uses. The adjacent westerly parcel is existing residential, and is zoned ACC. The parcels on the east side of S. McCall Avenue is agricultural.

The projects construction activities may generate temporary noise and dust, which will be mitigated by implementing dust control measures onsite and Construction activities will occur within daytime hours as allowed by the County's municipal code.

There are no foreseeable effects or impacts to the neighbors from the operation of the project site.



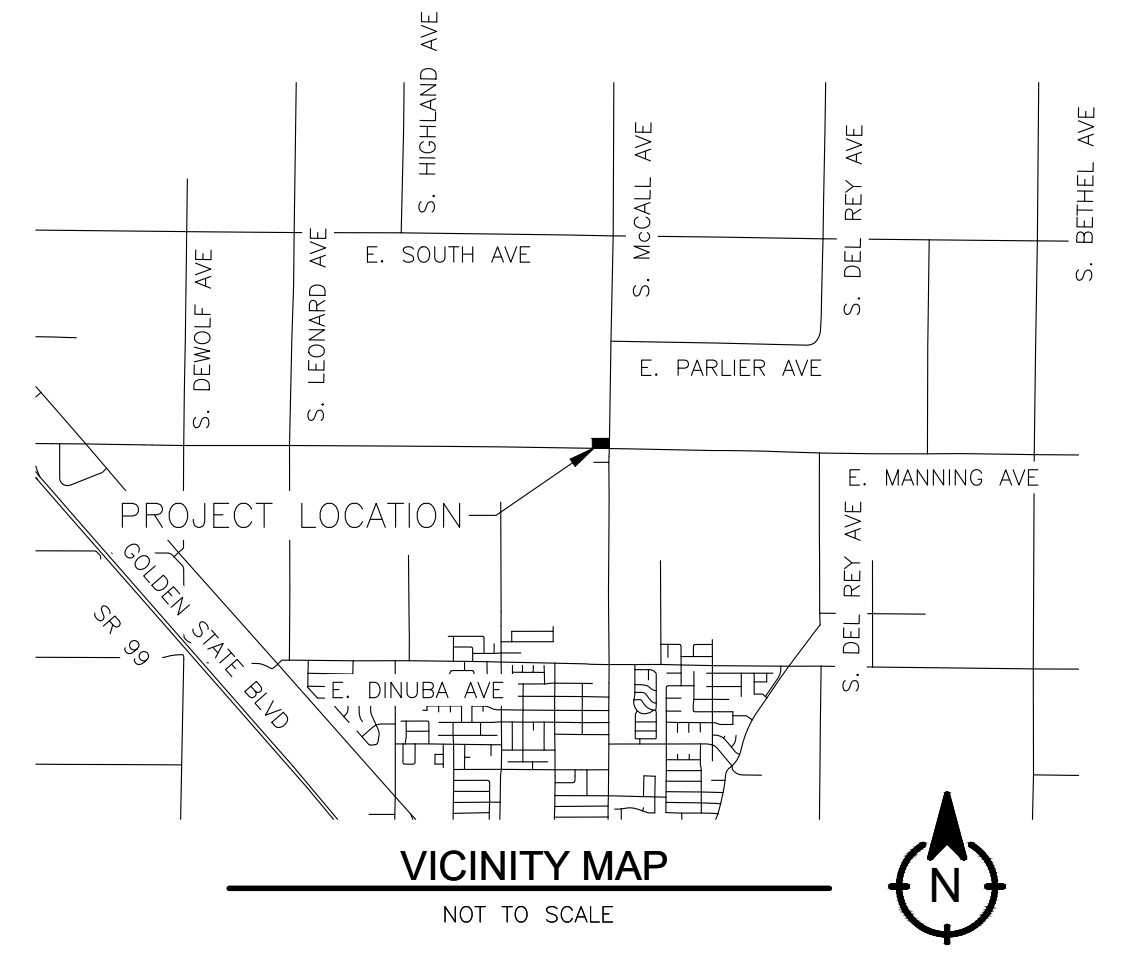


Know what's below.  
Call before you dig.

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE  
TOWED VEHICLES MAY BE RECLAIMED AT (Insert Address)  
OR BY TELEPHONING (Insert Telephone Number)

- NOTES:
1. THE CLEAR HEIGHT OF THE LOWEST PORTION OF THE SIGN SHALL BE A MINIMUM OF 80 INCHES ABOVE GROUND.
  2. THE SIGN SHALL NOT BE LESS THAN 17" BY 22" IN SIZE WITH LETTERING NOT LESS THAN 1" IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE TEXT SHOWN ABOVE.
  3. THE SIGN SHALL HAVE A DARK BLUE BACKGROUND WITH WHITE LETTERING.
  4. THE BLANK SPACES SHOWN ABOVE ARE TO BE FILLED IN WITH THE APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.
  5. EXISTING SIGNAGE NOT IN COMPLIANCE WITH THIS DETAIL SHALL BE REPLACED PER THIS DETAIL.
  6. THE SIGNAGE SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE 2022 CBC, SECTION 11B-502.6 AND 2014 MUTCD CALIFORNIA SUPPLEMENT.

D ACCESSIBLE ENTRY SIGN



PROJECT INFO:

PROJECT LOCATION: 9942 E. MANNING AVENUE  
SELMA, CA 93662  
APN(S): 353-050-56 & 353-050-65  
PROJECT OWNER: BEAL DEVELOPMENTS LLC  
1810 SHAW AVE # 106  
CLOVIS, CA 93612  
(559)-288-7538  
GENERAL PLAN DESIGNATION: AC, AGRICULTURAL COMMERCIAL  
CC:  
PROJECT SITE AREA SF = 1.23 AC

LEGEND

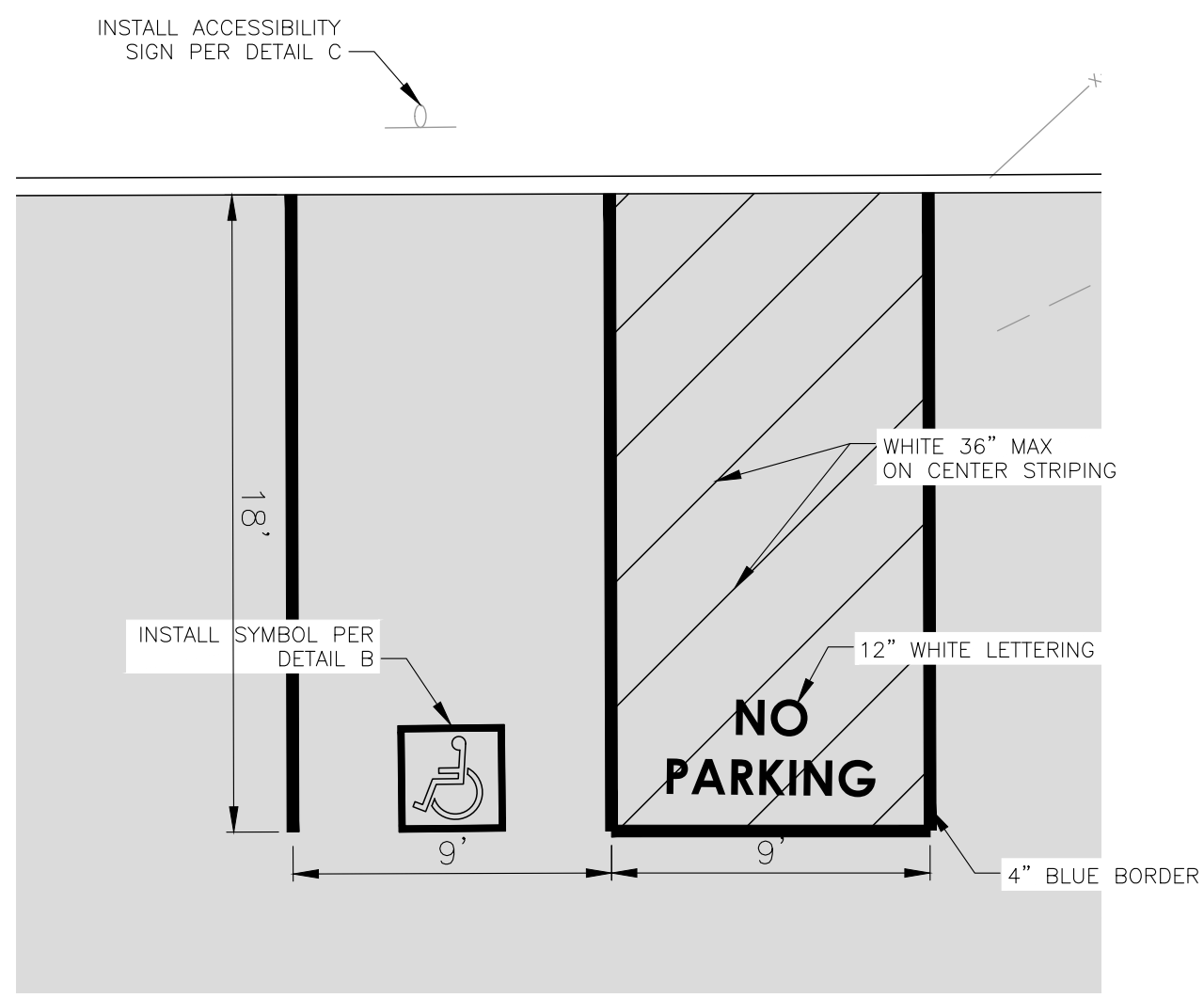
- PROPERTY LINE
- - - SECTION LINE
- ==== EXISTING CURB
- ==== PROPOSED CURB
- EDGE OF EXISTING PAVEMENT
- PROPOSED PAVEMENT

KEYNOTES

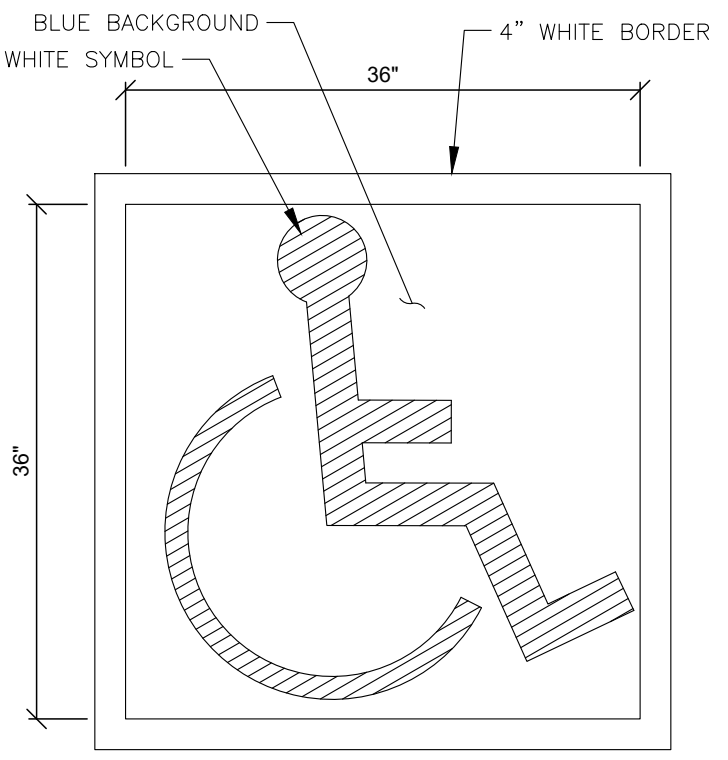
- 1 PROPOSED FUEL STATION
- 2 PROPOSED CURB
- 3 PROPOSED DRIVE APPROACH
- 4 PROPOSED PARKING STRIPING
- 5 PROPOSED AC PAVING
- 6 EXISTING POWER POLES
- 7 EXISTING STRIPING
- 8 EXISTING CURB
- 9 EXISTING PARKING STRIPING TO REMAIN
- 10 PROPOSED PAINTED DIRECTIONAL ARROWS
- 11 EXISTING STREETLIGHT
- 12 EXISTING CHAIN-LINK FENCE
- 13 EXISTING CONCRETE
- 14 EXISTING ASPHALT
- 15 EXISTING BOLLARD
- 16 EXISTING PROPERTY LINE
- 17 EXISTING EDGE OF PAVEMENT
- 18 PROPOSED BELOW GROUND FUEL TANKS
- 19 PROPOSED PONDING BASIN
- 20 EXISTING ADA STALL
- 21 PROPOSED FIRE LANE
- 22 EXISTING WOODEN FENCE
- 23 EXISTING WELL TO REMAIN
- 24 PROPOSED LEACH FIELD
- 25 PROPOSED LANDSCAPE AREA
- 26 PROPOSED SEPTIC TANK
- 27 PROPOSED PG&E TRANSFORMER

GENERAL NOTES

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY THE LOCATIONS OF THE REQUIRED BMP'S PRIOR TO THE START OF CONSTRUCTION, INCLUDING: MATERIAL STORAGE, EQUIPMENT MAINTENANCE AREA, STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASTE MANAGEMENT, FUEL STORAGE, ETC.
2. CONSTRUCTION HOURS SHALL TAKE PLACE DURING REGULAR WORK AND SCHOOL HOURS TO REDUCE THE EFFECT OF CONSTRUCTION NOISE.
3. NO ON-SITE WATER RETENTION OR DRAINAGE INTO ADJACENT PROPERTIES/DRAIN TO THE STREET OR DESIGNED BASING.
4. REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
5. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-624-2444.
6. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
7. ALL CONSTRUCTION ACTIVITY SHALL BE PERFORMED IN ACCORDANCE WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED AND IMPLEMENTED IN COMPLIANCE WITH REQUIREMENTS OF THE KERN COUNTY STORMWATER MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND THE STATE'S GENERAL PERMIT.



A TYPICAL VAN ACCESSIBLE PARKING STALL



B INTERNATIONAL SYMBOL OF ACCESSIBILITY  
NOT TO SCALE



C SIGN AND SYMBOLS OF ACCESSIBILITY

- NOTES:
1. THE CLEAR HEIGHT OF THE LOWEST PORTION OF THE LOWEST SIGN ON THE POLE SHALL BE A MINIMUM OF 80 INCHES ABOVE THE GROUND.
  2. THE TOP SIGN SHALL BE REFLECTORIZED AND A MINIMUM OF 24" x 12" AND SHALL CONSIST OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A DARK BLUE BACKGROUND.
  3. THE VAN ACCESSIBLE SPACE SHALL BE THE WESTERN STALL AS INDICATED ON THE PLAN.
  4. THE SIGNAGE SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE 2022 CBC, SECTION 11B-502.6 AND 2014 MUTCD CALIFORNIA SUPPLEMENT

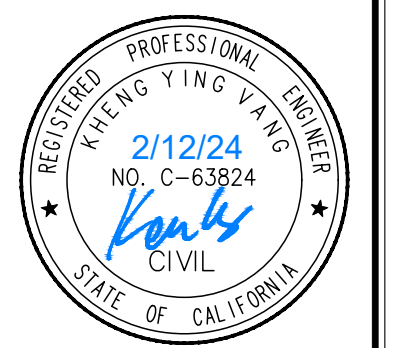
REVISIONS	NO.	DATE	BY

4010 N CHESTNUT  
DIAGONAL AVE STE 101  
FRESNO, CA 93726  
(559) 775-0023  
FAX: (559) 775-0016  
WWW.VICE-ENGR.COM



MCCALL & MANNING  
SITE PLAN  
CALIFORNIA  
CITY OF FRESNO

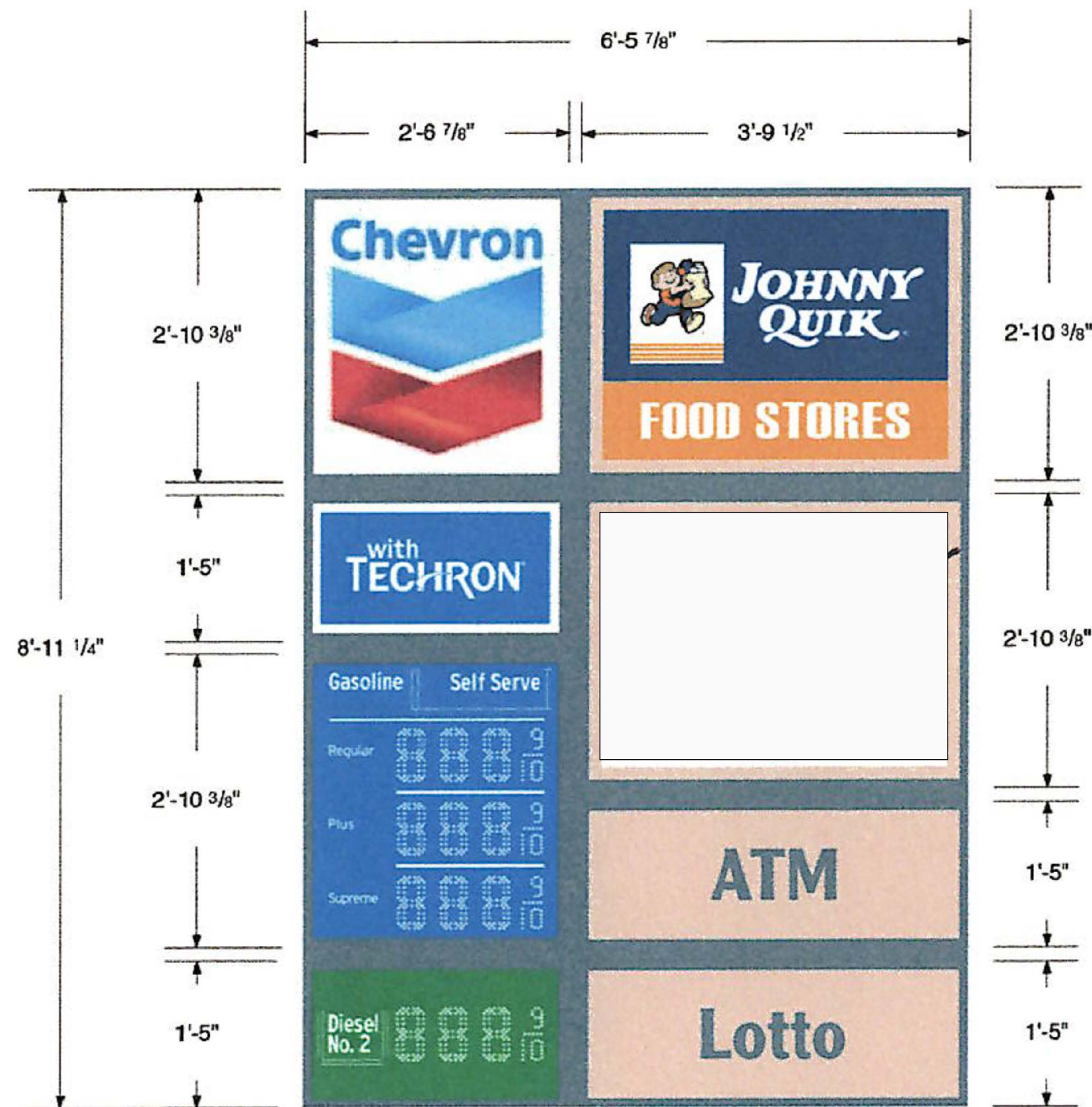
DATE:  
2/12/2024  
PROJ. ENGR:  
LSV  
PROJ. MNGR:  
KYV  
PREPARED FOR:  
GEORGE BEAL  
DEVELOPMENTS, LLC  
1175 SHAW AVE.  
#104  
FRESNO, CA 93612



SHEET NO.  
1 / 1

PROJECT NUMBER  
23-020





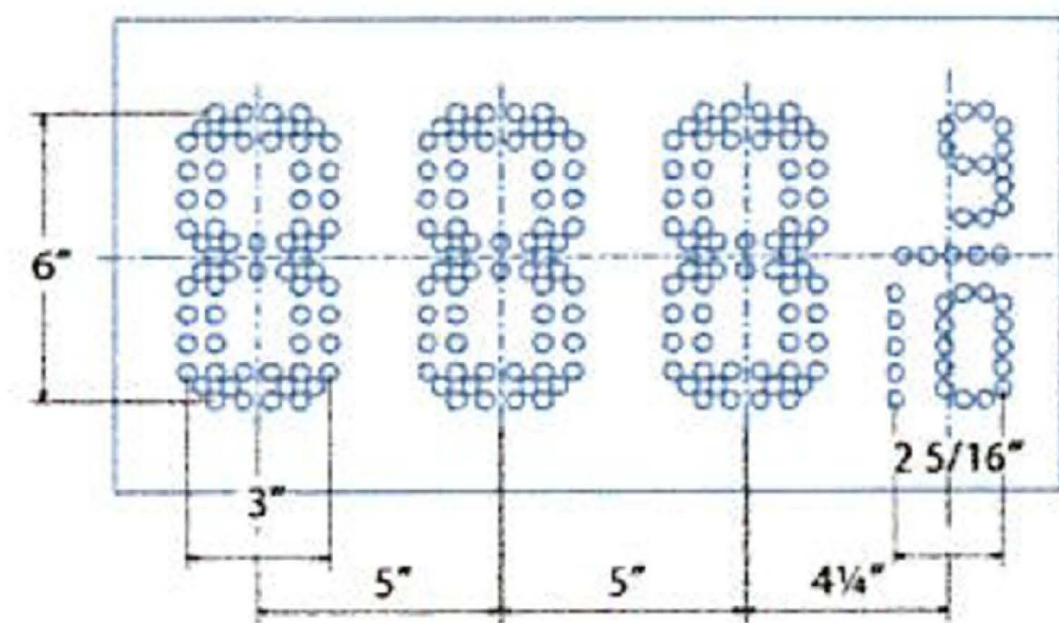
**6" PWM White LED**  
 Gasoline is Interstate Bold Condensed font.  
 Copy Regular, Plus, Supreme are Interstate Regular font

**1 1/2" Opaque Beige Border**  
 (SPRAYLAT C5-2631) on "Johnny Quik" and "Starbucks"

**ATM and Lotto - APC**  
 Clearface Gothic Bold Copy in Dark Grey (PMS 431)  
 3M Day/Night #96 film w/white diffuser backup  
 (appears dark grey daytime, light grey night time)  
 OPAQUE Natural Beige Spraylat Lacryl C5-2631

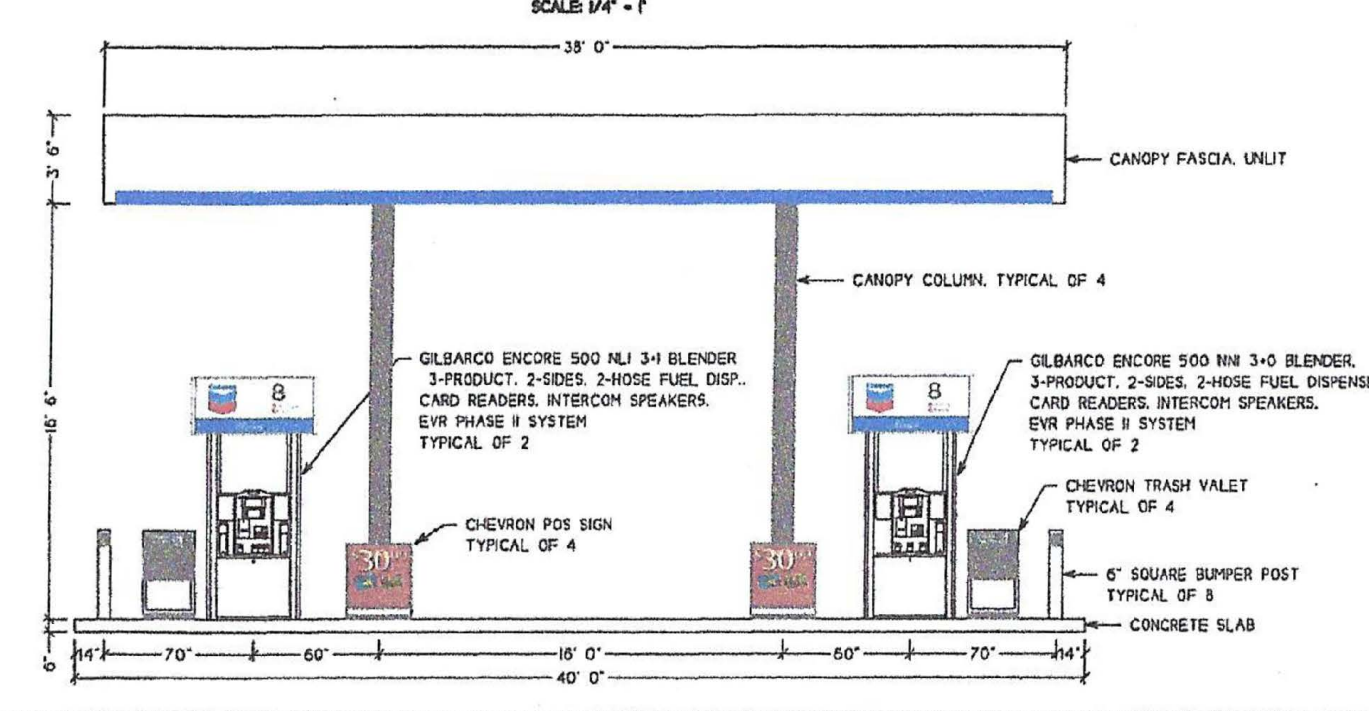
(A) MONUMENT GAS SIGN

**6" PWM White LED**

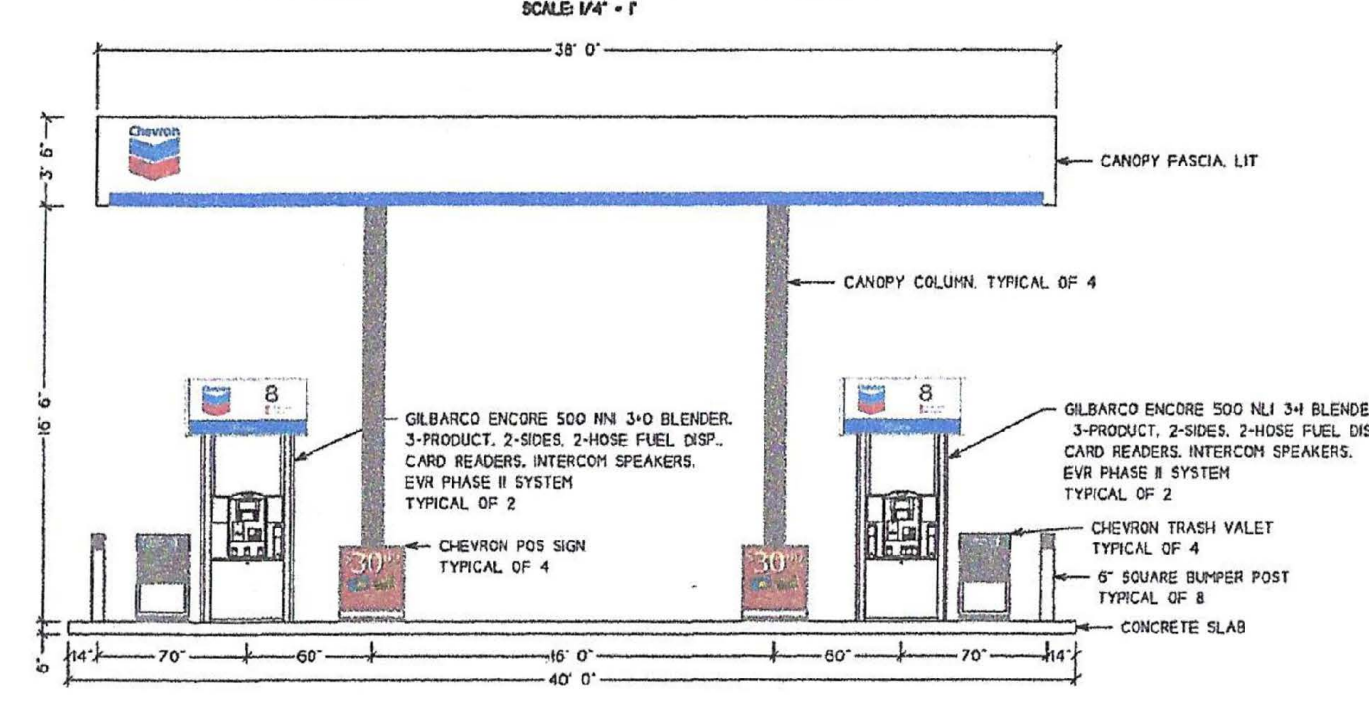


(G) 6" PWM WHITE LED

**ELEVATION: CANOPY AND ISLAND SOUTH SIDE VIEW**

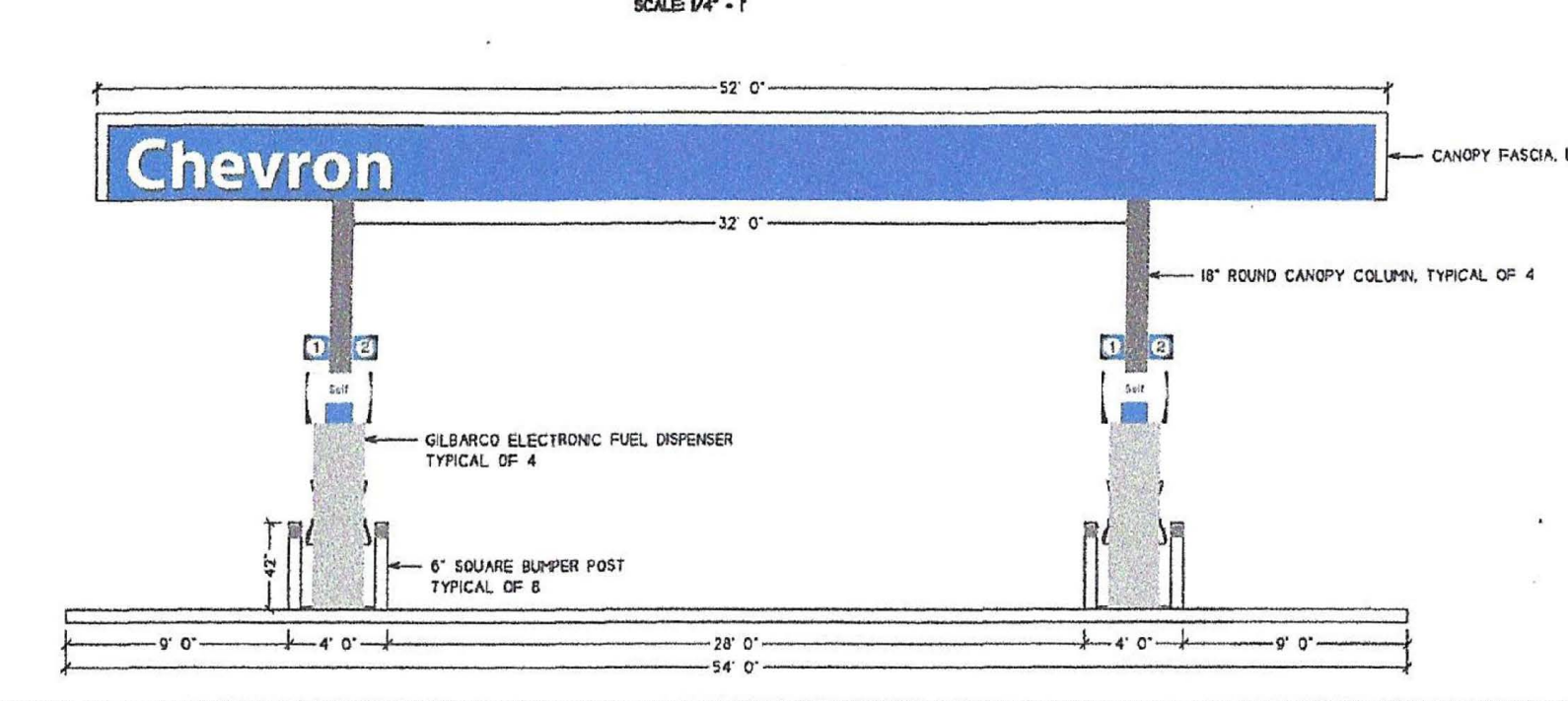


**ELEVATION: CANOPY AND ISLAND NORTH SIDE VIEW**

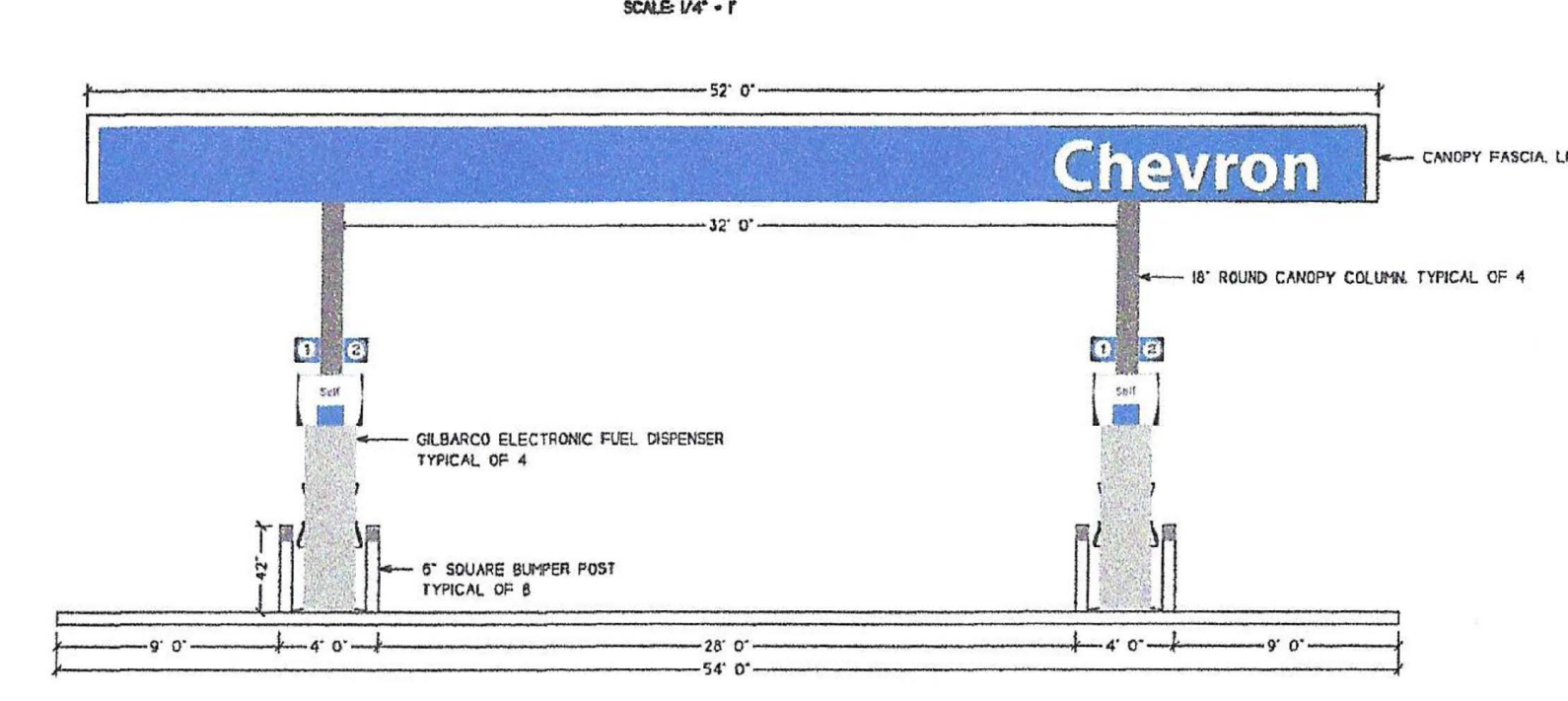


(E) CHEVRON CANOPY NORTH-VIEW

**ELEVATION: CANOPY AND ISLAND WEST SIDE VIEW**



**ELEVATION: CANOPY AND ISLAND EAST SIDE VIEW**



(D) CHEVRON CANOPY EAST-VIEW

**Chevron COLOR SPECS**

Color	Lacryl	PMS FOR PRINT	vinyl for plastic
Blue		2935C	3120SL (ARLON)
Red		186C	83 REGAL
Cyan		Cyan	337 PROCCES
Dark Red		202	3630-53
Dark Grey		431C	
Green		3415	3630-26

(H) CHEVRON COLOR AND MATERIALS

REVISIONS	NO.	DATE	BY

2491 ALLUVIAL AVE  
 CLOVIS, CA 93619  
 (559) 775-0023  
 FAX: (559) 775-0016  
 WWW.VICE-ENGR.COM



CALIFORNIA  
**MCCALL/MANNING**  
 GAS STATION  
 CANOPY ELEVATIONS  
 CITY OF FRESNO

DATE:  
 2/20/2024  
 PROJ. ENGR:  
 LSV  
 PROJ. MNGR:  
 KYV

PREPARED FOR:  
 BEAL DEVELOPMENTS, LLC  
 1175 SHAW AVE  
 #104 PMB 372  
 CLOVIS, CA 93612



SHEET NO.  
 1 / 1

PROJECT NUMBER  
 23-020





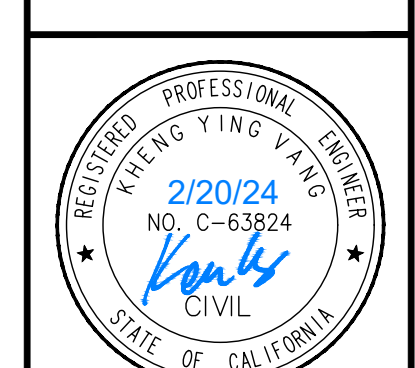
Know what's below.  
Call before you dig.

REVISIONS  
NO. DATE BY

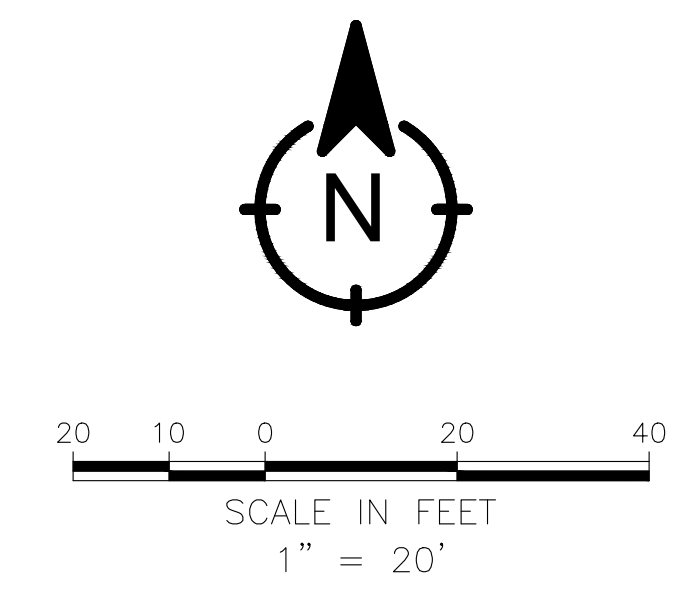
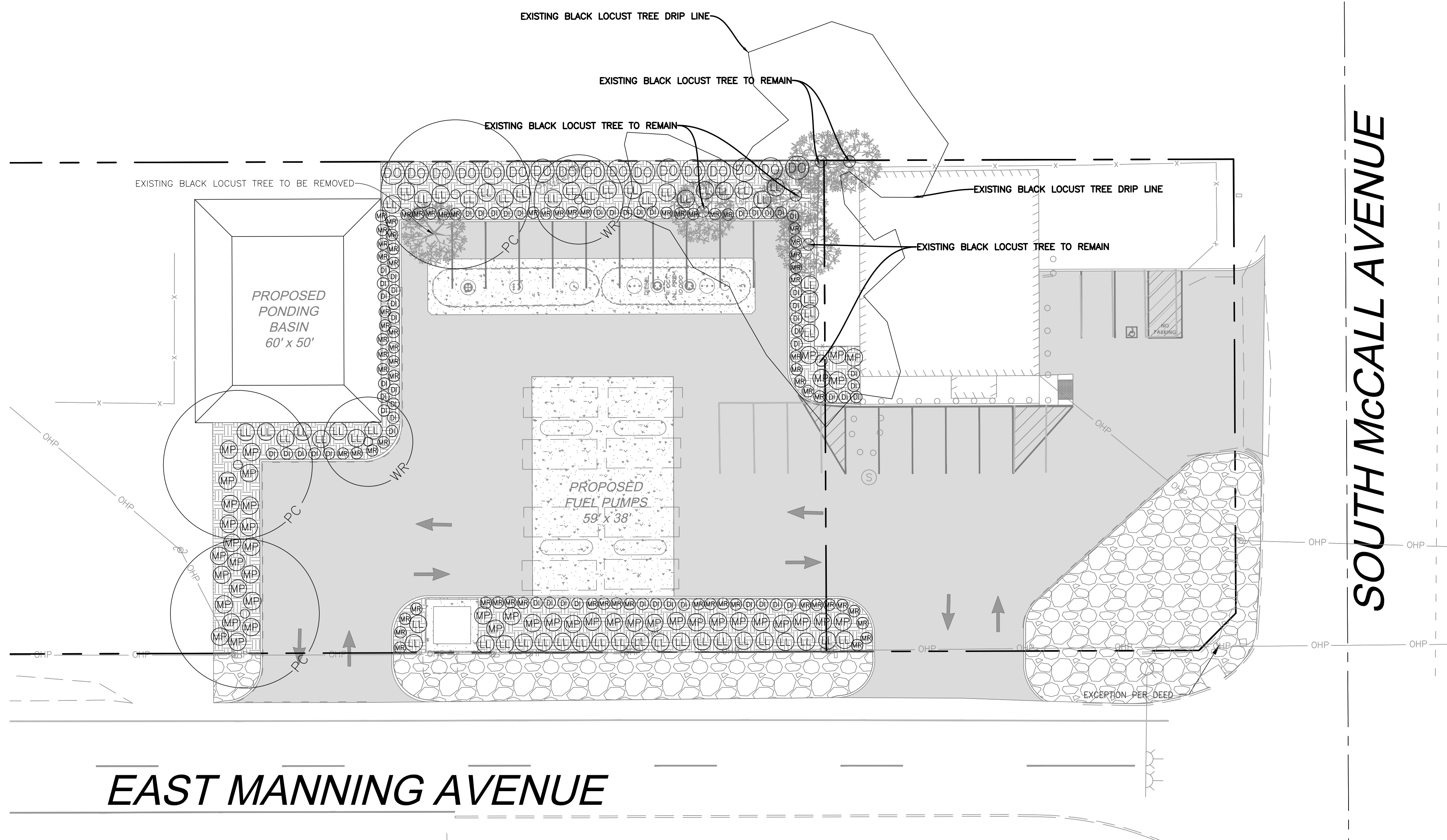
4010 N CHESTNUT  
DIAGONAL AVE STE 101  
FRESNO, CA 93726  
(559) 775-0023  
FAX: (559) 775-0016  
WWW.VICE-ENGR.COM

**VICE**  
VANG INC. CONSULTING ENGINEERS  
CALIFORNIA  
MCCALL & MANNING  
SITE PLAN  
CITY OF FRESNO

DATE:  
2/20/2024  
PROJ. ENGR:  
LSV  
PROJ. MNGR:  
KYV  
PREPARED FOR:  
GEORGE BEAL  
DEVELOPMENTS, LLC  
1175 SHAW AVE.  
#104  
FRESNO, CA 93612



SHEET NO.  
**L1**  
PROJECT NUMBER  
23-020



PROPOSED PLANTING LEGEND

SYMBOL	SCIENTIFIC NAME / COMMON NAME	SIZE	QTY	WATER USE
<b>TREES</b>				
PC	PISTACIA CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE	15 GAL	3	L
WR	CERCIS OCCIDENTALIS/WESTERN REDBUD	15 GAL	2	L
<b>SHRUBS</b>				
MR	LOMANDRA LONGIFOLIA 'LOMLON' / LIME TUFF DWARF MATH RUSH	5 GAL	70	L
LL	LANTANA MONTEVIDENSIS/ LAVENDER LANTANA	5 GAL	54	L
DO	NERIUM OLEANDER/PETITE PINK / DWARF OLEANDER	5 GAL	17	L
DI	IRIS DOUGLASSIANA/DOUGLAS IRIS	5 GAL	56	L
<b>GROUND COVER</b>				
MP	MYOPORUM PARVIFOLIUM 'PROSTRATUM' / MYOPORUM	1 GAL	45	L
	3" THICK 3/4" LANDSCAPE MULCH		±5,406 SF	
	3/4" THICK LANDSCAPE GRAVEL		±4,736 SF	

EXISTING PLANTING LEGEND

467	SCIENTIFIC NAME / COMMON NAME	SIZE	QTY	WATER USE
<b>TREES</b>				
	ROBINIA PSEUDOACACIA / BLACK LOCUST	15 GAL	6	L

Sheet List Table

Sheet Number	Sheet Title
L1	LANDSCAPE PLAN
L2	IRRIGATION PLAN
L3	IRRIGATION DETAILS

NOTES

- ALL PLANT MATERIAL SHALL BE APPROVED BY THE CITY'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PRIOR TO ANY PLANTING, A SOILS ANALYSIS SHALL BE PREPARED BY A CERTIFIED SOILS TESTING LAB AND SUBMITTED TO THE CITY'S PUBLIC UTILITIES DEPARTMENT PARKS MANAGER. THE SOILS REPORT SHALL INCLUDE A CHEMICAL AND PERCENT ORGANICS ANALYSIS.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY'S AUTHORIZED REPRESENTATIVE. FOR RESIDENTIAL SUBDIVISIONS, THE DEVELOPER/CONTRACTOR SHALL FURNISH AND PLANT TWO 15-GALLON TREES FOR EACH FRONT YARD, SELECTED BY THE LOT OWNER FROM THE CITY'S APPROVED STREET TREE LIST. WHERE PARK STRIPS EXIST, ONE OF THE TREES SHALL BE LOCATED IN THE STRIP; TREES ARE TO BE SPACED AS UNIFORMLY AS POSSIBLE.
- STREET TREES SHALL BE LOCATED A MINIMUM OF 10 FEET FROM DRIVE APPROACHES, WATER AND SEWER SERVICES, STREET FURNITURE SUCH AS FIRE HYDRANTS AND UTILITY BOXES, AND 20 FEET FROM STREET LIGHTS. STREET TREES SHALL BE SPACED ALONG STREETS AS UNIFORMLY AS POSSIBLE.
- NO PLANTING SHALL BE DONE UNTIL INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETED, FINAL GRADES HAVE BEEN ESTABLISHED, PLANTING AREAS HAVE BEEN PROPERLY GRADED AND SOIL PREPARED, AND THE WORK APPROVED BY THE CITY OF CLOVIS.
- THE CONTRACTOR SHALL NOTIFY THE CITY'S AUTHORIZED REPRESENTATIVE ONE WEEK PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
- THE CONTRACTOR SHALL TAKE NOTE OF EXISTING UNDERGROUND UTILITIES IN CONFLICT AND SHALL TAKE ALL PRECAUTIONS NECESSARY DURING TREE PLANTING OPERATIONS SO AS NOT TO DAMAGE SAID UTILITIES. COORDINATE UNDERGROUND UTILITY INSPECTION PRIOR TO TREE PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, THE CONTRACTOR SHALL CONTACT THE CITY FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE CITY WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE ANY MATERIALS AS DIRECTED.
- THE CONTRACTOR SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS AND EXECUTION, STAKING METHOD, PLANT PIT DIMENSION AND BACKFILL REQUIREMENTS.
- ALL GROUND COVER SHALL EXTEND BENEATH TALLER PLANT MATERIAL.
- PROVIDE ROOT BARRIERS FOR ALL PROPOSED TREES INDICATED ON THE PLANS.
- ALL TREES SHALL BE PLANTED THREE (3) FEET AWAY FROM THE CENTER OF SWALES.
- ALL TREES IN TURF AREAS SHALL RECEIVE ARBOR GUARDS UPON INSTALLATION. REFER TO THE STANDARD SPECIFICATIONS, STANDARD PLANS, AND THE PROJECT PLANS.
- QUANTITIES ARE LANDSCAPE ESTIMATES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL MATERIAL APPEARING ON PLAN.
- SOIL AMENDMENT: UNLESS OTHERWISE NOTED ON THE PLANS OR SPECIFICATIONS, THE FOLLOWING SOIL AMENDMENT STANDARDS SHALL APPLY: OPTION 1 - A) ROTOTILL SOIL AMENDMENT MIX INTO THE SOIL TO A DEPTH OF 8 TO 12 INCHES. APPLY TO ALL SOIL TYPES. B) SOIL AMENDMENT COMPONENTS/APPLICATION RATE: BLACK HUMUS - 20 CUBIC YARDS PER ACRE; POWDERED AGRICULTURAL GRADE GYPSUM (15% CALCIUM MIN.) - 2000 POUND PER ACRE. NUTRISMART 0-5-0 (150 SGN) - 400 POUNDS PER ACRE (AVAILABLE AT WILBUR/ELLS CO); M-ROOTS (ROOTS, INC.) - 435 POUNDS PER ACRE. C) PRE-MIX ALL SOIL AMENDMENTS PRIOR TO APPLICATION AND TILLING. D) NOTIFY CITY INSPECTOR FOR OBSERVATION OF APPLICATION AND INCORPORATION OF SOIL AMENDMENT. OPTION 2 - A) COLLECT REPRESENTATIVE SOIL SAMPLES (APPROVED BY CITY INSPECTOR). B) PERFORM ANALYSIS ON SAMPLES BY CERTIFIED SOIL TESTING LAB: CHEMICAL ANALYSIS AND PERCENT ORGANICS ANALYSIS. C) BASED ON SOILS LAB RESULTS, SUBMIT SOIL AMENDMENT RECOMMENDATION FROM CERTIFIED CROP ADVISOR TO THE PUBLIC UTILITIES DEPARTMENT PARKS MAINTENANCE MANAGER FOR APPROVAL PRIOR TO APPLICATION. D) NOTIFY CITY INSPECTOR FOR OBSERVATION OF APPLICATION AND INCORPORATION OF SOIL AMENDMENT.
- PROVIDE 4 CY COMPOST PER 1,000 SQFT MINIMUM.
- PROVIDE 3" LAYER OF MULCH TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS.

SHADE REQUIREMENT

THE PARKING LOT SURFACE SHALL BE 50% SHADED WITHIN 15 YEARS

PARKING LOT AREA: 17,707 SF±  
50% TO BE SHADED: 8,854 SF±

SHADE PROVIDED:

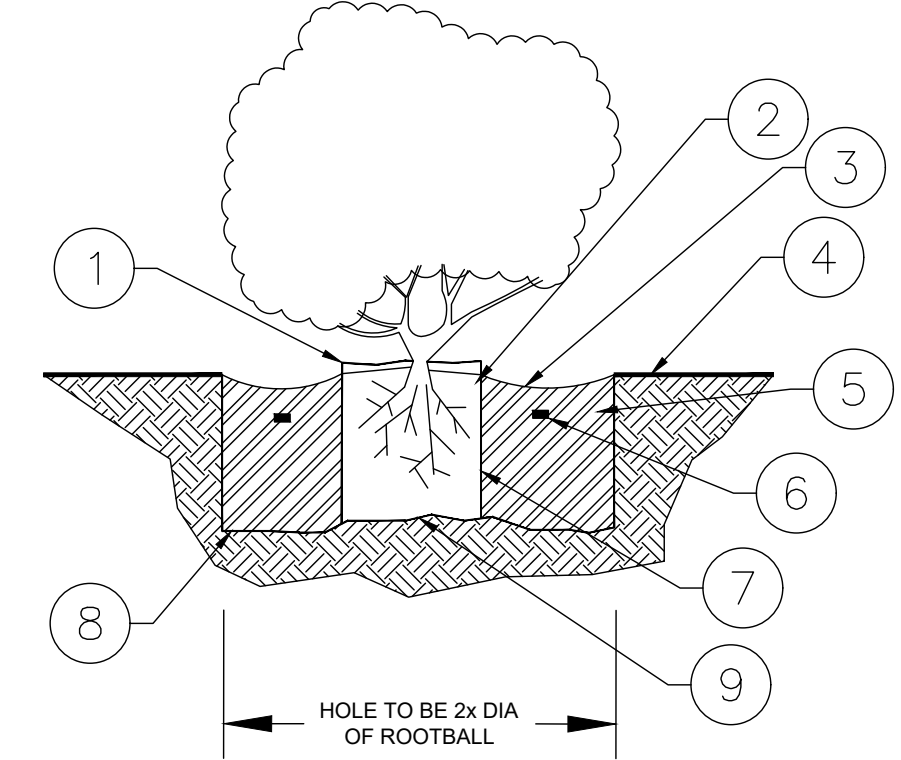
PISTACIA CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE 3 @ 1257 SF± = 3,771 SF  
CERCIS OCCIDENTALIS / WESTERN REDBUD 2 @ 452 SF± = 904 SF

EXISTING TREE SHADE PROVIDED

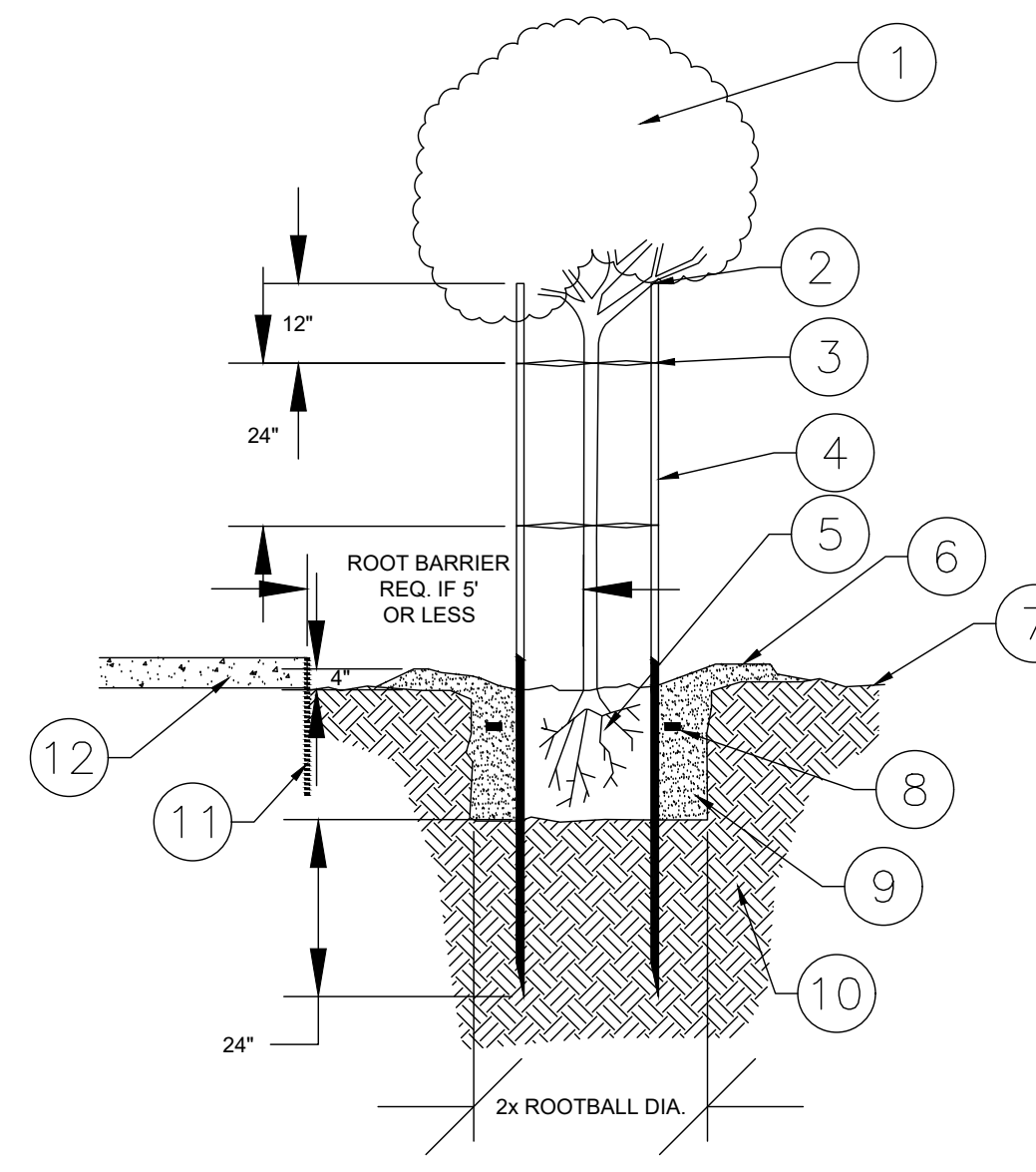
ROBINIA PSEUDOACACIA / BLACK LOCUST 6 = 4,677 SF

TOTAL SHADE PROVIDED: 9,352 SF±

PERCENT OF SHADE PROVIDED: 52.8% (REQUIRED 50%)



SHRUB PLANTING



TREE PLANTING w/ ROOT BARRIERS

- SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE. BREAK TOP OF ROOTBALL TO SOIL LEVEL.
- ROOTBALL
- WATERING BASIN 3" DEEP, 2'-0" WIDE TO BE BELOW GRADE; FOR 5 GAL AND 1 GAL SIZED CONTAINERS, (NO BOWLS REQUIRED FOR SUB SURFACE DRIP)
- FINISHED GRADE
- BACKFILL MIX TO CONSIST OF NATIVE SOIL, CLEAN ALL DEBRIS, ROCK, AND OTHER MATERIAL OUT OF BACKFILL
- AGRIFORM PLANTING TABS WITHIN 2" OF GRADE  
-9 GRAM 'FORREST STARTER'  
2 PER 1 GAL SHRUB  
5 PER 5 GAL SHRUB  
8 PER 15 GAL SHRUB
- ROUGH SIDE OF ROOTBALL PRIOR TO PLANTING
- HOLES TO BE DEEPER AT PERIMETER
- SET ROOTBALL ON UNDISTURBED SOIL

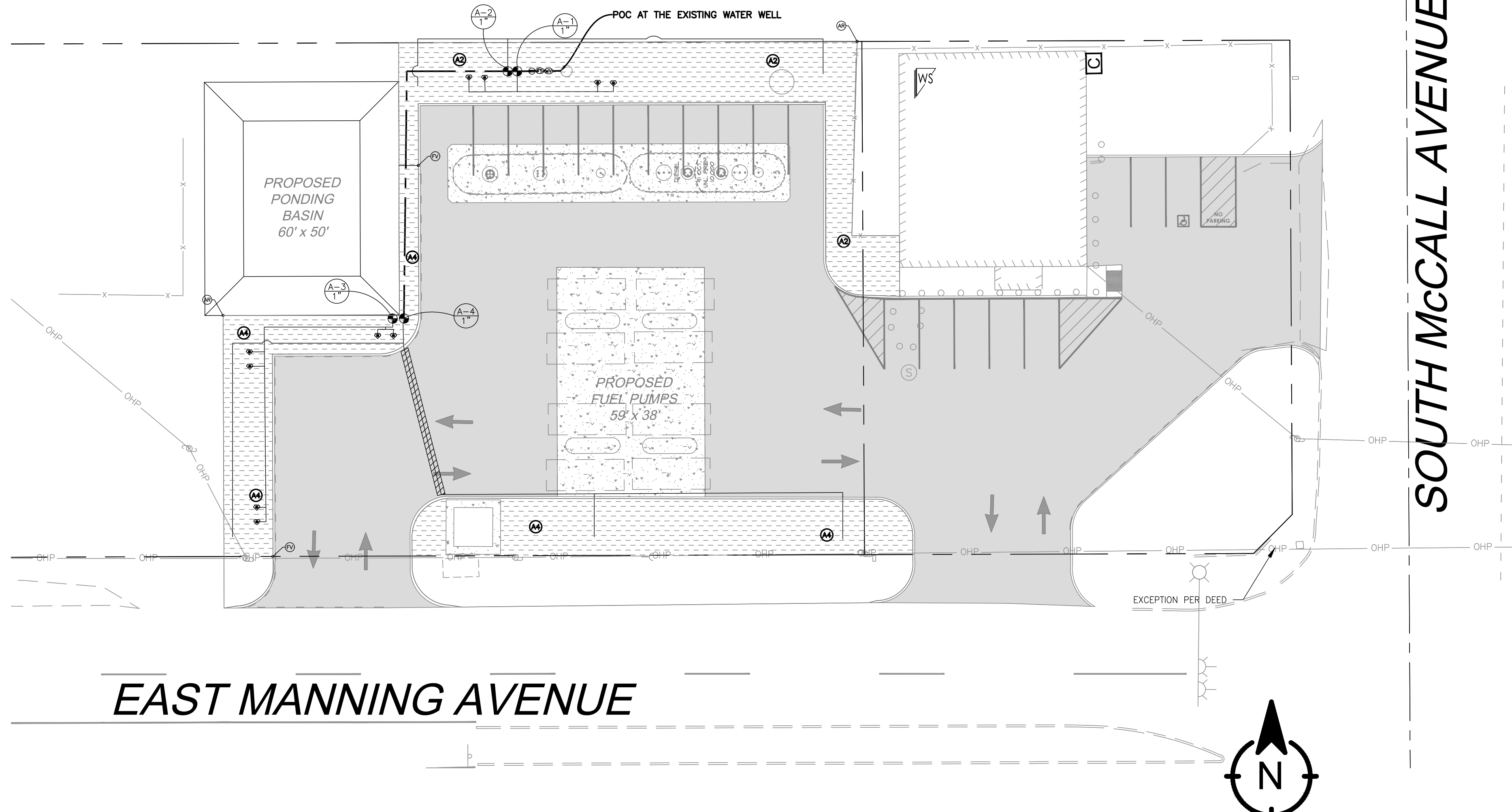
- TREE PER PLAN
- TRIM TOP OF STAKES BELOW LOWEST BRANCHES TO PREVENT DAMAGE
- PLACE TREE TIES 6" ABOVE POINT WHERE TREE HEAD IS SELF-SUPPORTING
- 2" DIA. X 10' LONG LODGE POLE STAKES (INSTALL WIDER THAN ROOTBALL)
- ROOTBALL (SET CROWN +/- 3" ABOVE FINISH GRADE)
- EARTH WATERING BASIN (RAKE SMOOTH PRIOR TO SEEDING IN HYDROSEED AREAS; OR AT END OF PLANT ESTABLISHMENT PERIOD FOR ALL REMAINING BASINS)
- FINISH GRADE
- 21 GRAM PLANT TABLETS:  
5 GAL = 3, 15 GAL = 5, 24" BOX = 8
- COMPACTED BACKFILL MIX (PER PLANTING SPECS/NOTES)
- UNDISTURBED NATIVE SOIL
- LINEAR ROOT BARRIER, 18" DEEP MIN. X 10' WIDE, CENTERED ON TREE.
- HARDSCAPE, SIDEWALK, CURB

CERTIFICATE OF COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LANDSCAPE DESIGNER: *Konks* DATE: 2/20/24





### LEGEND

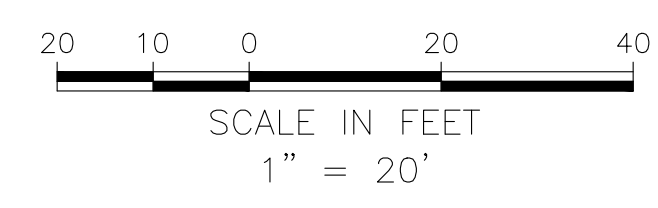
	2" GATE VALVE
	DZK-TPV TORO 1" DRIP ZONE VALVE KIT
	MV TORO 2" MASTER VALVE
	FS-B150 IRRITROL 2" FLOW SENSOR
	RZWS-18-25 HUNTER .25 GPM ROOT ZONE WATER SYSTEM
	SCH 40 1.5" PVC MAINLINE
	CL 200 1" PVC LATERAL
	SCH 40 PVC SLEEVING, PIPE SIZE TO BE TWO TIMES THE MAINLINE AND LATERAL PIPE SIZE. FOR THE ELECTRICAL SLEEVE THE PIPE SIZE SHALL BE LARGE ENOUGH FOR THE FREE PASSAGE OF ALL CURRENT AND FUTURE COMMON AND CONTROL WIRES. GALVANIZED STEEL SUGGESTED FOR SLEEVES UNDER PAVED AREAS.
	RGP-418-10 DL2000 TORO PRESSURE COMPENSATING DRIPLENE WITH ROOTGUARD, 1.0 GPH, 18" EMITTER SPACING. ALL DRIP LINES ARE TO BE PLACED 4"-8" BELOW GRADE. ALL DRIP LINES AS DEPICTED ON PLAN ARE TO BE INSTALLED TO GUARANTEE EVEN WATER DISTRIBUTION FOR FUTURE ROOT GROWTH. REFER TO SUB-SURFACE DETAIL SHIT. FOR MANIF. RECOMMENDED INSTALLATION OF DRIPLENE AND ALL DRIPLENE COMPONENTS, FLUSH VALVES, AIR RELIEF VALVES, ETC.
	HUNTER 1-CORE 10 STATION EXTERIOR WALL-MOUNT CONTROLLER; ICC-1000-SS WITH QUANTITY OF ICM-600 MODULES AS NEEDED TO MEET QUANTITY OF STATIONS AS SPECIFIED. INCLUDE WSS MODULE FOR SOLAR SYNC.
	HUNTER SOLAR-SYNC- MODEL WSS-SEN; INSTALL ON BUILDING EAVE AWAY FROM DRIP LINE TREES. INSTALL PER MANUFACTURES SPECIFICATIONS. CONTROLLER AND SOLAR-SYNC TO BE INSTALLED WITH MODULES AND RECEIVERS AS NEEDED FOR OPERATION.
	TORO AUTOMATIC FLUSH VALVE
	TORO AIR RELIEF VALVE (YD-500-34)
	CONTROLLER - VALVE # SIZE
	POINT OF CONNECTION # SIZE
	ZONE DESIGNATION #



- ### NOTES:
- PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE.
  - MAXIMUM WATER REQUIREMENT: 15 GPM @ 45 PSI AT INLET TO BACKFLOW PREVENTER.
  - DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO EXPENSE TO THE OWNER.
  - SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXTRA WIRE AT EACH SPLICE. LABEL ALL WIRES W/ WATERPROOF MARKERS AT ALL SPLICES AND VALVE MANIFOLDS.
  - CONTRACTOR IS RESPONSIBLE FOR BACKFLOW DEVICE TO BE TESTED AND CERTIFIED BY A PERSON OR COMPANY APPROVED BY THE LOCAL GOVERNING AUTHORITY WITHIN 5 DAYS OF INSTALLATION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL MATERIAL APPEARING ON PLAN.
  - CONCRETE THRUST BLOCKS SHALL BE PROVIDED ON ALL MAINLINE PIPING. THEY ARE TO BE LOCATED AT ALL ABRUPT CHANGES IN PIPELINE GRADE, CHANGES TO HORIZONTAL ALIGNMENT, REDUCTION IN PIPE SIZES, END OF LINE AND IN-LINE VALVES TO ABSORB ANY AXIAL THRUST OF THE PIPE. THE PIPE MANUFACTURE'S RECOMMENDATIONS FOR THRUST BLOCKS MUST BE FORMED AGAINST UNDISTURBED EARTH. ALL MAIN LINE PIPES SHALL BE PRESSURE TESTED PER STANDARD IRRIGATION PRACTICES.
  - SPECIFICATIONS WITH THE VALVES INSTALLED. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NEEDED. IF ANY LEAKS DEVELOP, THE REPAIRS ARE TO BE MADE AND TEST REPEATED UNTIL THE SYSTEM IS PROVEN WATERTIGHT. THE CONTRACTOR IS TO CENTER LOAD THE PIPE AND LEAVE ALL JOINTS EXPOSED FOR INSPECTION. THE PRESSURE TEST SHALL BE OBSERVED AND APPROVED BY THE INSPECTOR. WHEN THE PIPE IS PROVEN WATERTIGHT AND ONLY THEN MAY THE LINE BE BACKFILLED. 2" WATER SERVICE WILL BE PROVIDED BY PROJECT AT BACKFLOW PREVENTION LOCATIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL SERVICE AT CONTROLLER LOCATIONS.
  - ALL PIPES AND VALVES SHOWN IN PAVED AREAS WILL BE INSTALLED IN PLANTED AREAS WHERE POSSIBLE. ALL PIPE AND WIRES UNDER ASPHALT AND CONCRETE WILL BE INSTALLED IN PIPE SLEEVES (2 TIMES DIA.)
  - INSTALLATION DETAILS PER CITY OF TULARE STANDARD DRAWINGS AND SPECIFICATIONS.
  - THIS PROJECT DOES INCORPORATE LANDSCAPING IN CONFORMANCE TO THE MWEO REQUIREMENTS PER TITLE 23 OF THE CALIFORNIA CODE OF REGULATION, DIVISION 2, CHAPTER 2.7. REFER TO LANDSCAPE PLAN FOR DESIGN AND INSTALLATION REQUIREMENTS.
  - AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OR INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
  - PROVIDE 14AWG BLUE TRACER WIRE TO SERVE IRRIGATION MAINLINE.

## EAST MANNING AVENUE

## SOUTH McCALL AVENUE



### WELD CALCULATION SHEET

PROJECT TYPE:  NEW CONSTRUCTION  MODIFY EXISTING  
 LANDUSE TYPE:  COMMERCIAL  RESIDENTIAL  
 WATER SUPPLY: POTABLE

NET EVAPOTRANSPIRATION FOR: FRESNO (INCHES PER YEAR)

MONTH	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	ETD
ETD	0.9	1.7	3.3	4.8	6.7	7.8	8.4	7.1	5.2	3.2	1.4	0.6	51.1

MAXIMUM APPLIED WATER ALLOWANCE CALCULATION  
 MAWA = (ETD)(0.62)(ETAF)(SLA) + ((1-ETAF)(SLA))

ENTER TOTAL LANDSCAPED AREA SF (LA)	5,485	x	0.45	=	2,468
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ENTER SPECIAL LANDSCAPED AREA SF (SLA)	0	x	0.55	=	0
--	---	---	------	---	---

MAWA = 51.1 x 0.62 x 2,468 = 78,199 GALLONS/YR

ESTIMATED TOTAL WATER USE CALCULATIONS  
 ETWU = (ETD)(0.62)((PF)(XHA/IE) + SLA)

HYDRO-ZONE/ VALVE	WATER USE	PF	IRRIGATION TYPE	IE	ETAF PF/IE	HYDRO-ZONE AREA (HA)	ETAF XHA	ETWU
A-1	LOW	0.30	DRIP	0.81	0.37	32	12	375
A-2	LOW	0.30	BUBBLER	0.81	0.37	2,441	904	28,643
A-3	LOW	0.30	DRIP	0.81	0.37	48	18	563
A-4	LOW	0.30	BUBBLER	0.81	0.37	2,964	1,097	34,745
<b>SUM</b>						<b>5,485</b>	<b>2,030</b>	<b>64,327</b>

TOTAL LANDSCAPED AREAS = 5,485  
 ETWU TOTAL = 64,327  
 MAWA = 78,199

### WATERING SCHEDULE CALCULATION SHEET

RUN TIME = (60 x ETD x PF) / (PR x IE)

HYDRO-ZONE/ VALVE	PRECIP RATE (IN/HR)	RUN TIME IN MINUTES PER MONTH												ANNUAL IRRIGATION RUN TIME NEEDED (GPH)	TOTAL GALLONS USED	
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC			
ETD	0.9	1.7	3.3	4.8	6.7	7.8	8.4	7.1	5.2	3.2	1.4	0.6	1,556	1,000	1,556	
A-1	0.73	27	52	100	146	204	237	256	216	158	97	43	18	2,524	10,895	27,384
A-2	0.45	44	84	163	237	331	385	415	351	257	158	69	30	1,556	1,500	3,334
A-3	0.73	27	52	100	146	204	237	256	216	158	97	43	18	2,524	13,180	33,274
A-4	0.45	44	84	163	237	331	385	415	351	257	158	69	30	1,556	27	64,549
<b>TOTAL</b>		144	271	527	786	1,070	1,245	1,341	1,134	830	511	224	96	8,160	27	64,549

RES ETAF = 0.55  
 COM ETAF = 0.45  
 TOTAL GALLONS USED = 64,549  
 MAWA = 78,199

WATER USAGE IS LESS THAN OR EQUAL TO MAWA. COMPLIANCE FOR WELD IS MET.

### CONTROLLER SCHEDULE

HYDRO-ZONE/ VALVE	MINUTES PER RUN TIME PER DAY (TO BE ADJUSTED TO JURISDICTION WATERING RESTRICTIONS)											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
WATERING DAYS PER WEEK	2	2	2	3	3	3	3	3	3	3	2	2
WATERING DAYS PER MONTH	8	8	8	12	12	12	12	12	12	12	8	8
WATERING CYCLES PER DAY	2	2	3	3	3	3	3	3	2	2	2	2
A-1	1.7	3.2	4.2	4.1	5.7	6.6	7.1	6.0	6.6	4.1	2.7	1.1
A-2	2.8	5.2	6.8	6.6	9.2	10.7	11.5	9.7	10.7	6.6	4.3	1.9
A-3	1.7	3.2	4.2	4.1	5.7	6.6	7.1	6.0	6.6	4.1	2.7	1.1
A-4	2.8	5.2	6.8	6.6	9.2	10.7	11.5	9.7	10.7	6.6	4.3	1.9

### IRRIGATION PRESSURE CALCULATION SHEET

CRITICAL VALVE #/HYDRO-ZONE: A-3  
 PDC SIZE: 2 INCH  
 STATIC PRESSURE: 35 PSI  
 PDC ELEVATION: 321 FEET  
 HIGHEST ELEV: 322 FEET  
 ELEVATION DIFF: 1 FEET  
 TOTAL IRRIGATION SYSTEM DEMAND: 15 PSI

SIZE (IN)	DESCRIPTION	QUANTITY (EA/LF)	PSI LOSS PER EA/LF	SUBTOTAL PSI LOSS
1	SERVICE LINE - COPPER	0	0.572	0 PSI
1	WATER METER	0	12.400	0 PSI
1	BACKFLOW PREVENTER	0	11.000	0 PSI
1	MASTER CONTROL VALVE	1	0.100	0.1 PSI
1	FLOW SENSOR	1	0.100	0.1 PSI
1	BALL VALVE	1	0.500	0.5 PSI
1	MAINLINE - SCH 40	92	0.017	1,554.8 PSI
1	VALVE/ZONE	1	5.500	5.5 PSI
1	STRAINER/FILTER	1	0.100	0.1 PSI
1	LATERAL LINE	115	0.017	1,955.5 PSI
	MIN PRESSURE REQD AT HEAD			10 PSI
	FITTING LOSS			0.35 PSI
	ELEVATION LOSS			0.13 PSI

TOTAL PRESSURE LOSS = 20.29 PSI  
 AVAILABLE STATIC PRESSURE = 35.00 PSI  
 SUPPLEMENTAL PRESSURE AVAILABLE = 14.7072 PSI

### CERTIFICATE OF COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

*Koaks*  
 IRRIGATION DESIGNER  
 DATE: 2/20/24

REVISIONS	NO.	DATE	BY

4010 N CHESTNUT  
 DIAGONAL AVE STE 101  
 FRESNO, CA 93726  
 (559) 775-0023  
 FAX: (559) 775-0016  
 WWW.VICE-ENGR.COM

**VICE**  
 VANG INC. CONSULTING ENGINEERS

CALIFORNIA

**MCCALL & MANNING**  
 IRRIGATION PLAN

DATE: 2/20/2024  
 PROJ. ENGR: LSV  
 PROJ. MNGR: KYV

PREPARED FOR:  
 GEORGE BEAL  
 DEVELOPMENTS, LLC  
 1175 SHAW AVE.  
 #104  
 FRESNO, CA 93612

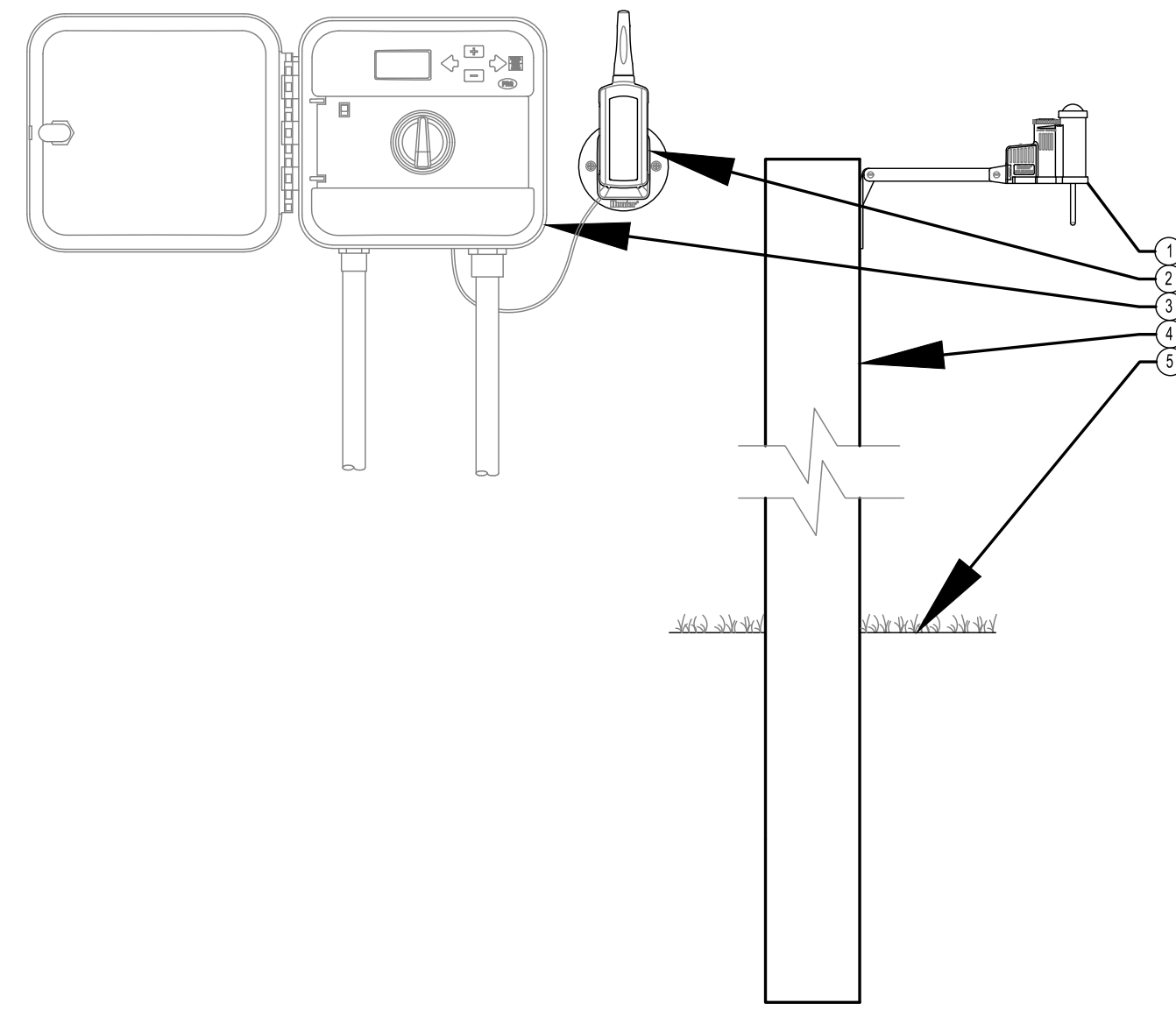
REGISTERED PROFESSIONAL ENGINEER  
 2/20/24  
 NO. C-63924  
*Koaks*  
 CIVIL  
 STATE OF CALIFORNIA

SHEET NO.  
**L2**

PROJECT NUMBER  
**23-020**

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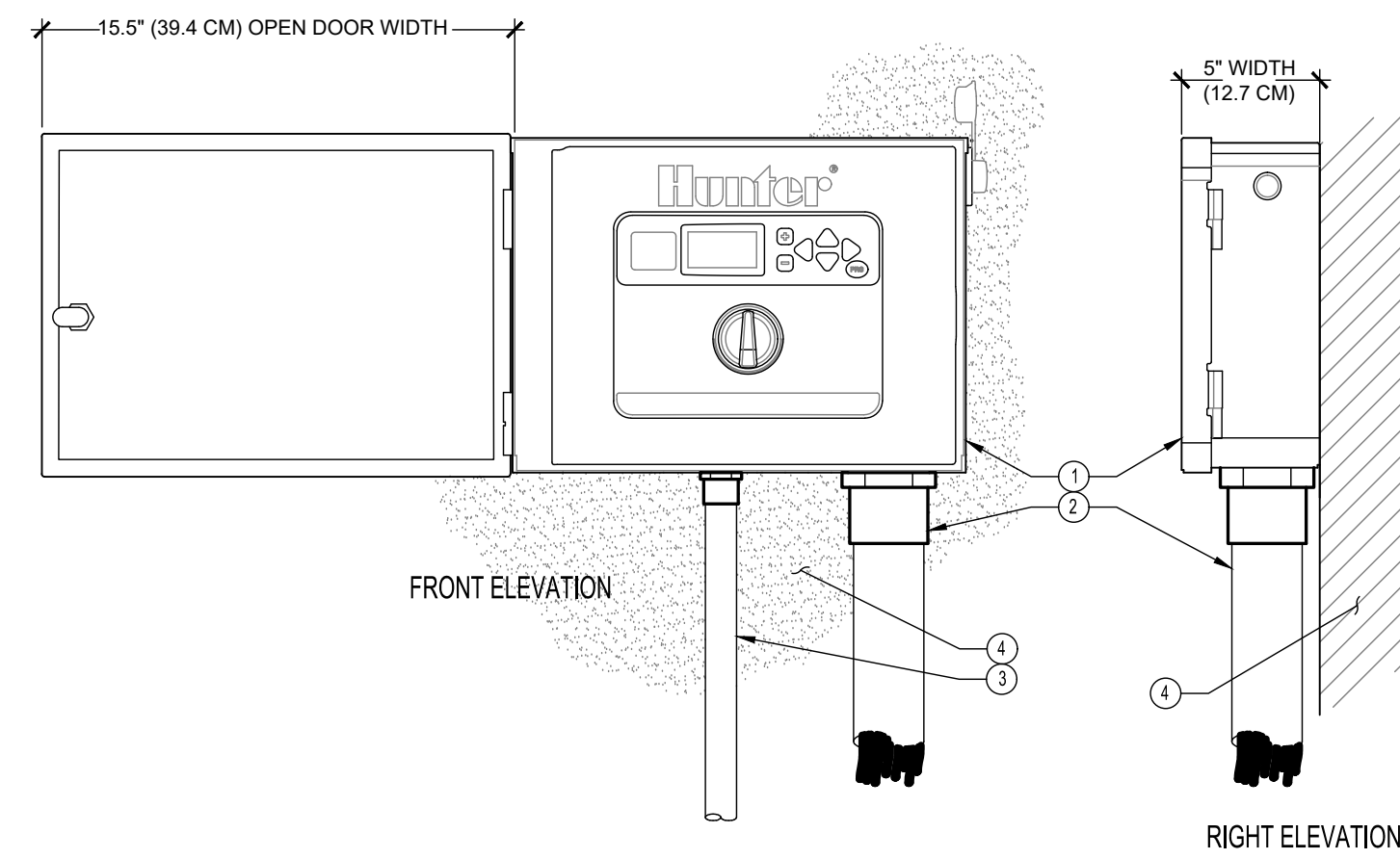




- LEGEND:**
- ① SOLAR SYNC WIRELESS SENSOR
  - ② SOLAR SYNC WIRELESS RECEIVER
  - ③ SOLAR SYNC COMPATIBLE CONTROLLER
  - ④ POST OR SUITABLE MOUNTING SURFACE
  - ⑤ FINISHED GRADE

**SOLAR SYNC WIRELESS WALL MOUNT**

NOT TO SCALE

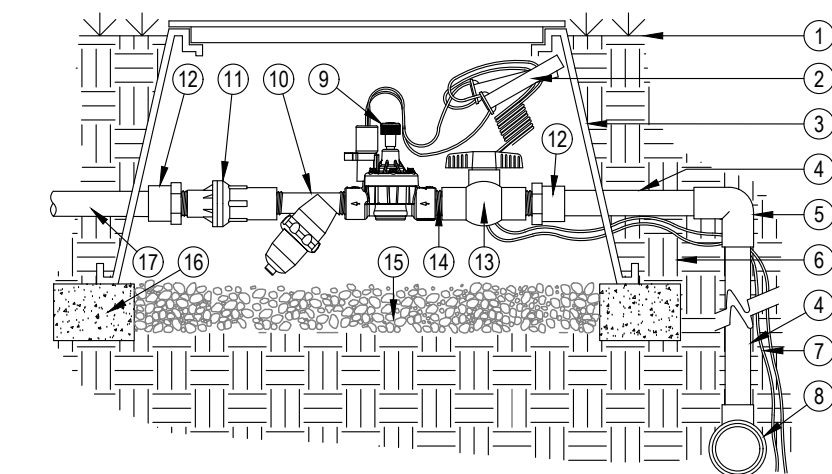


**I CORE - METAL WALL MOUNT**

NOT TO SCALE

- LEGEND:**
- ① IRRIGATION CONTROLLER (I CORE) PER PLAN
  - ② IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
  - ③ ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE. J-BOX INSIDE CONTROLLER
  - ④ ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARDWIRED TO GROUNDING 110 VAC POWER SOURCE.



ELEVATION/SECTION  
MIN. FLOW RATE - 0.25 GPM  
MAX. FLOW RATE - 8.0 GPM

- LEGEND:**
- ① FINISH GRADE.
  - ② CONTROL WIRES WITH 3/8" SERVICE COIL AND WATER PROOF WIRE CONNECTIONS, DBY OR EQUAL.
  - ③ RECTANGULAR PLASTIC VALVE BOX. HEAT BRAND STATION NUMBER ON LID IN 2" HIGH CHARACTERS.
  - ④ PVC MAINLINE PER SPECIFICATIONS (LENGTH AS REQUIRED).
  - ⑤ SCH 40 PVC ELL (SxS).
  - ⑥ NATIVE SOIL PER SPECIFICATIONS.
  - ⑦ CONTROL WIRES TO CONTROLLER.
  - ⑧ PVC MAINLINE FITTING.
  - ⑨ TORO TPVF100 INLINE VALVE (\*).
  - ⑩ TORO 150 MESH Y-FILTER (\*).
  - ⑪ TORO 25 PSI LOW FLOW PRESSURE REGULATOR (\*).
  - ⑫ SCH 40 PVC MALE ADAPTER.
  - ⑬ SCH 40 PVC BALL VALVE (\*).
  - ⑭ SCH 80 PVC CLOSE NIPPLE (\*).
  - ⑮ PEA GRAVEL SUMP, MINIMUM 6" DEEP.
  - ⑯ BRICK SUPPORTS (4 COMMON BRICKS REQUIRED).
  - ⑰ LATERAL LINE TO DRIP SYSTEM.
- (\*) PARTS IN DRIP ZONE KIT.



**Know what's below.  
Call before you dig.**

REVISIONS  
NO. DATE BY

4010 N CHESTNUT  
DIAGONAL AVE STE 101  
FRESNO, CA 93726  
(559) 775-0023  
FAX: (559) 775-0016  
WWW.VICE-ENGR.COM

**VICE**  
VANG INC. CONSULTING ENGINEERS

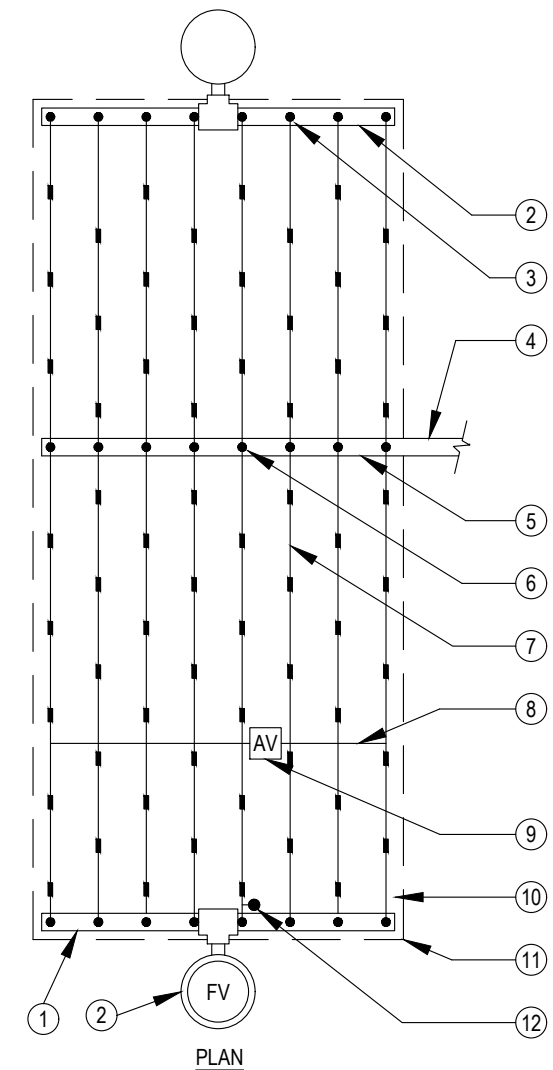
**MCCALL & MANNING**  
IRRIGATION DETAILS

DATE:  
2/20/2024  
PROJ. ENGR:  
LSV  
PROJ. MNGR:  
KYV

PREPARED FOR:  
GEORGE BEAL  
DEVELOPMENTS, LLC  
1175 SHAW AVE.  
#104  
FRESNO, CA 93612

SHEET NO.  
**L3**  
PROJECT NUMBER  
23-020

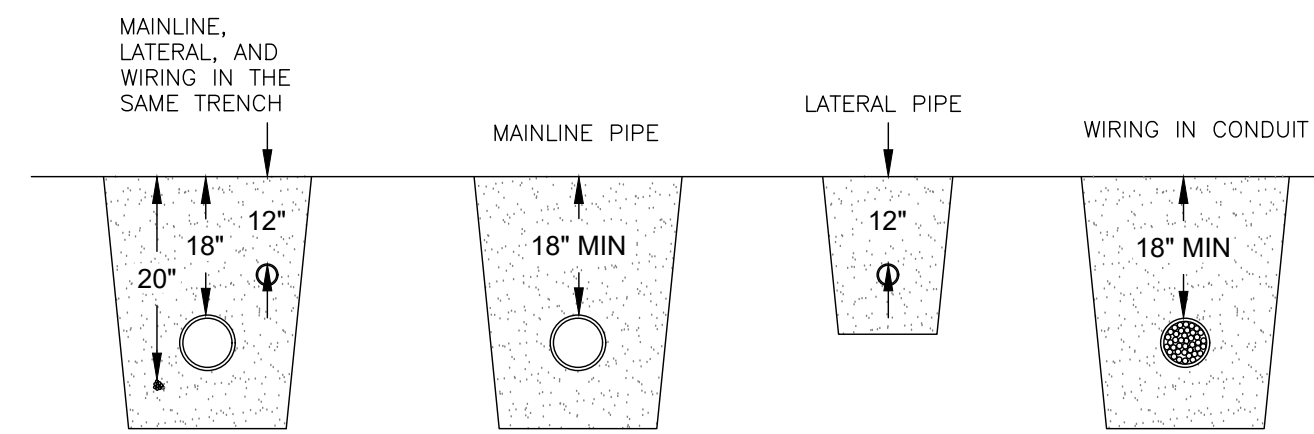
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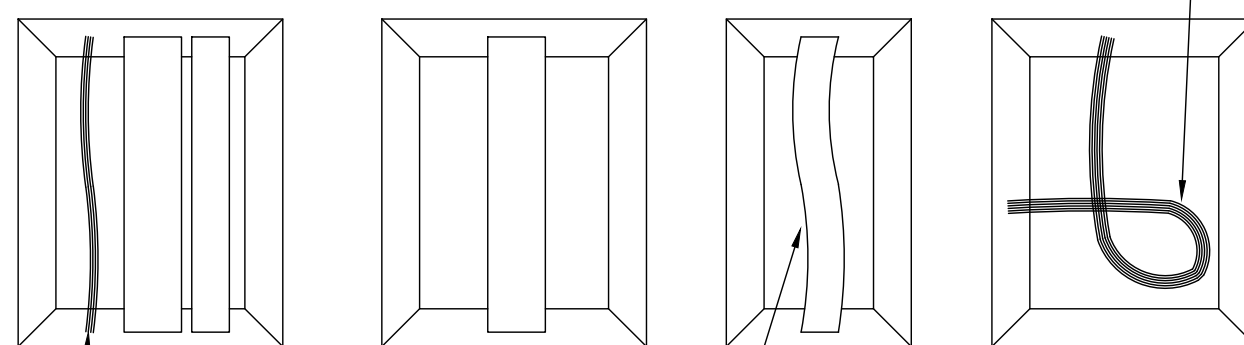
- ① TORO DL2000 AUTOMATIC FLUSH VALVE (FCH-H-FIPT) PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- ② PVC FLUSH MANIFOLD.
- ③ TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- ④ PVC LATERAL LINE FROM DRIP ZONE KIT.
- ⑤ PVC SUPPLY MANIFOLD.
- ⑥ TORO DL2000 MANIFOLD-TO-TEE CONNECTION.
- ⑦ TORO DL2000 DRIFLINE LATERAL (RGP-XXX-XX).
- ⑧ AIR/VACUUM RELIEF LATERAL, TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) CENTERED ON MOUND OR BERM.
- ⑨ TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AT EACH HIGH POINT.
- ⑩ PERIMETER LATERALS 2" TO 4" FROM EDGE.
- ⑪ AREA PERIMETER.
- ⑫ TORO DL2000 OPERATION INDICATOR (DL-MF9), OPTIONAL.

**DRIP LINE**

NOT TO SCALE



SECTION VIEW



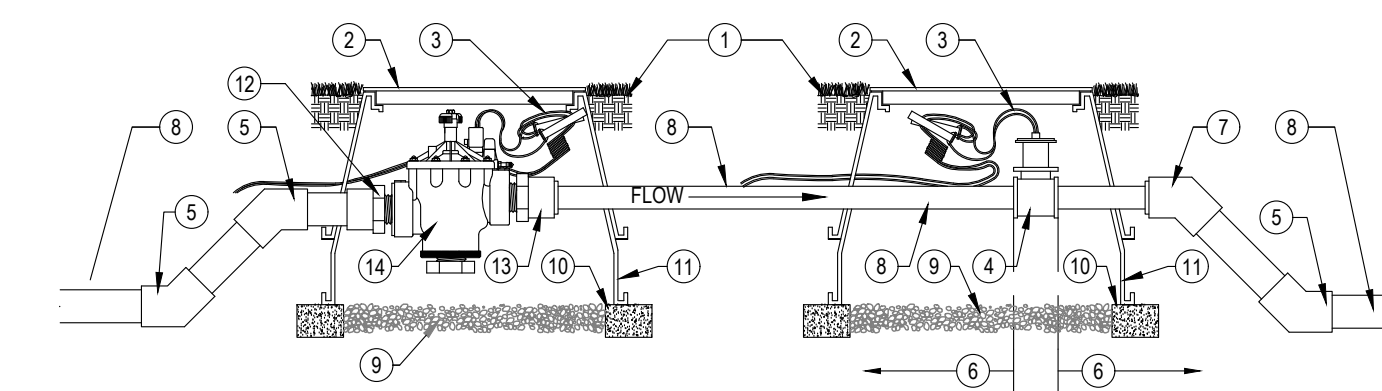
PLAN VIEW

**PIPE & WIRE TRENCHING**

NOT TO SCALE

RUN WIRING UNDER MAINLINE, TAPE AND BUNDLE AT 10' O.C.

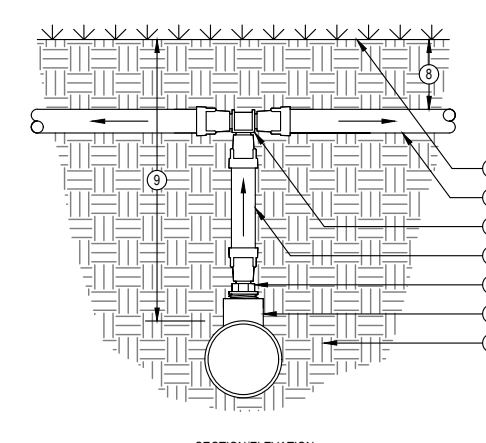
TIE A 24" LOOP AT ALL CHANGES OF DIRECTION OF 30° OR MORE. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.



**DRIP ZONE KIT**

NOT TO SCALE

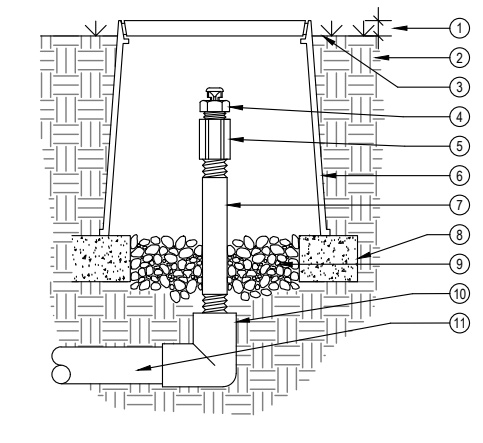
- LEGEND:**
- ① FINISH GRADE
  - ② JUMBO VALVE BOX & COVER
  - ③ CONTROL WIRES WITH 12" MIN. SERVICE COIL AND WATERPROOF WIRE SPLICE CONNECTORS - WIRE COLORS PER SPECIFICATIONS
  - ④ FLOW SENSOR PER SPECIFICATIONS
  - ⑤ PVC 45 DEGREE ELL (TYP.)
  - ⑥ MINIMUM 10x PIPE DIAMETER UPSTREAM & MINIMUM 5x PIPE DIAMETER DOWNSTREAM OF STRAIGHT PIPE
  - ⑦ PVC 45 DEGREE ELL (TYP.) BUSH DOWN TO FLOW METER SIZE AS NECESSARY
  - ⑧ PVC MAINLINE - LENGTH AS REQUIRED - SEE SPECIFICATIONS FOR TYPE AND DEPTH
  - ⑨ GRAVEL (1 CU. FT.)
  - ⑩ CONTINUOUS BRICK SUPPORTS
  - ⑪ VALVE BOX EXTENSIONS AS REQUIRED
  - ⑫ PVC MALE ADAPTER
  - ⑬ PVC MALE ADAPTER - BUSH DOWN TO FLOW METER SIZE AS NECESSARY
  - ⑭ TORO REMOTE CONTROL ELECTRIC GLOBE VALVE WITH FLOW CONTROL MODEL NO. 220-27-XX (SEE SPECS.)
- NOTES: SEE PLANS, LEGEND AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION NOTES.



**MANIFOLD-TEE CONNECTION**

NOT TO SCALE

- LEGEND:**
- ① FINISH GRADE
  - ② TORO DL2000 DRIFLINE LATERAL (RGP-XXX-XX)
  - ③ TORO LOC-42E TEE (FT18)
  - ④ TORO BLUE STRIPE POLY TUBING (EHD1645-XXX)
  - ⑤ TORO LOC-42E 1/2" WPT ADAPTER (FAME)
  - ⑥ TORO LOC-42E 1/2" WPT ADAPTER (FAME)
  - ⑦ NATIVE SOIL BACKFILL PER SPECIFICATIONS
  - ⑧ PVC TEE (GAS) WITH 1/2" WPT VALVE
  - ⑨ DEPTH OF TUBING PER SPECIFICATIONS SEE TORO PUBLICATION (M111)
  - ⑩ DEPTH OF PVC SUPPLY LINE PER SPECIFICATIONS



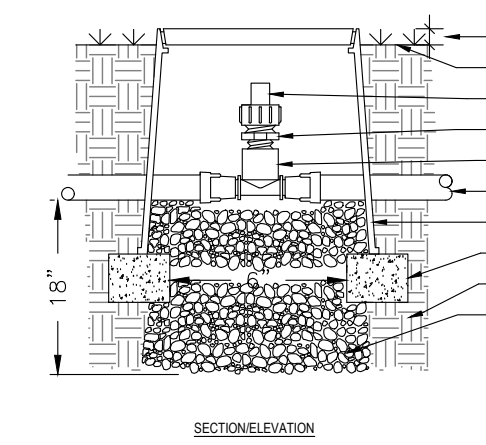
**AIR / VACUUM RELIEF VALVE**

NOT TO SCALE

- LEGEND:**
- ① FINISH GRADE
  - ② NATIVE SOIL PER SPECIFICATIONS
  - ③ FINISH GRADE
  - ④ TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34)
  - ⑤ 1/2" PVC COUPLING (TYP.)
  - ⑥ 1/2" ROUND PLASTIC VALVE BOX - HEAT BRAND "P" ON LID IN 1" HIGH CHARACTERS
  - ⑦ 1/2" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED)
  - ⑧ BRICK SUPPORTS (2 COMMON BRICKS REQUIRED)
  - ⑨ PEA GRAVEL SUMP (6" DEEP)
  - ⑩ PVC ELL (SxS) WITH 1/2" THREADED OUTLET
  - ⑪ PVC PIPING

**FLOW SENSOR / MASTER VALVE**

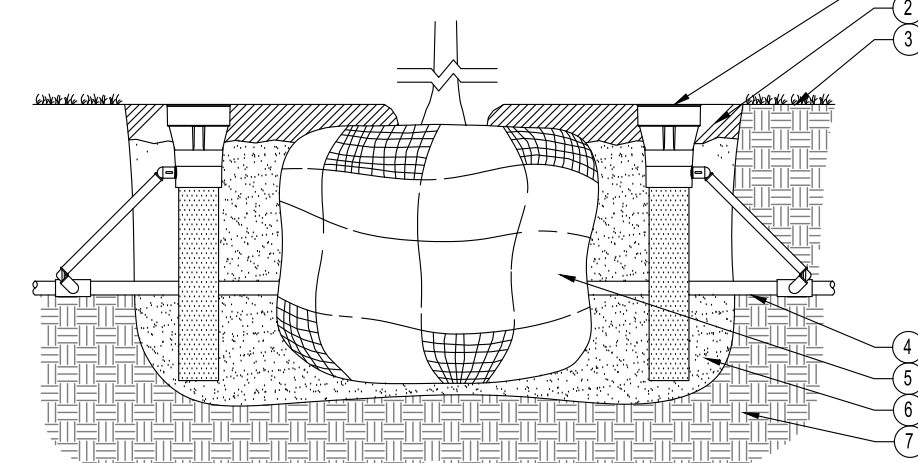
NOT TO SCALE



**FLUSH VALVE ON TUBING**

NOT TO SCALE

- LEGEND:**
- ① FINISH GRADE
  - ② TORO DL2000 DRIFLINE VALVE (FCH-H-FIPT)
  - ③ PVC SCH 40 REDUCING NIPPLE 1/2" (1/2" SxS)
  - ④ TORO LOC-42E 1/2" WPT TEE (FT18)
  - ⑤ TORO DL2000 TUBING (RGP-XXX-XX) OR TORO BLANK POLY TUBING (EHD1645-XXX)
  - ⑥ 1/2" ROUND PLASTIC VALVE BOX - HEAT BRAND "P" ON LID IN 1" HIGH CHARACTERS
  - ⑦ BRICK SUPPORTS (2 COMMON BRICKS REQUIRED)
  - ⑧ NATIVE SOIL PER SPECIFICATIONS
  - ⑨ PEA GRAVEL SUMP (6" D)



**ROOTZONE WATERING SYSTEM**

NOT TO SCALE

- LEGEND:**
- ① 18" ROOT ZONE WATERING SYSTEM PER PLAN
  - ② MULCH
  - ③ FINISHED GRADE
  - ④ LATERAL PIPE - SIZE PER PLAN
  - ⑤ ROOT BALL
  - ⑥ AMENDED SOIL MEDIA (PER SOILS REPORT)
  - ⑦ NATIVE SOIL

NOTES:  
INSTALL RZWS SLEEVE OVER TUBE TO HELP PREVENT SOIL INTRUSION



Looking north



Looking east





Looking northwest



Looking northeast



Looking east

