



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: March 10, 2025

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director
Development Services and Capital Projects, Attn: Chris Motta, Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga,
Principal Planner
Development Services and Capital Projects, Attn: Attn: James Anders,
Principal Planner
Development Services and Capital Projects, Current/Environmental
Planning, Attn: David Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, Attn:
Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review,
Attn: Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Development Engineering,
Attn: Laurie Kennedy, Office Assistant III
Water and Natural Resources Division, Attn: Augustine Ramirez, Division
Manager
Water and Natural Resources Division, Attn: Roy Jimenez, Senior Planner
Water and Natural Resources Division, Transportation Planning, Attn:
Hector Luna, Senior Planner/Darren Findley, Senior Engineering
Technician/Brody Hines, Planner
Water and Natural Resources Division, Community Development, Attn:
Yvette Quiroga, Principal Planner
Design Division, Attn: Mohammad Alimi, Division Manager;
Erin Haagenson, Principal Staff Analyst
Resources Division, Attn: Daniel Amann, Interim Division Manger
Resources Division, Special Districts, Attn: Christopher Bump, Principal
Staff Analyst,
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,
Supervising Engineer
Department of Public Health, Environmental Health Division, Attn: Deep
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
Environmental Health Specialist;
Fresno County Agricultural Commissioner, Attn: Melissa Cregan, Commissioner
Pacific Gas and Electric, Centralized Review Team, Attn: PGEPlanReview@pge.com
California Department of Fish and Wildlife, Attn: Jim Vang, Environmental Scientist;
Craig Bailey, Environmental Scientist; R4CEQA@wildlife.ca.gov
Laguna Irrigation District, Attn: Scott Sills, General Manager, scott@lanunaid.com
Fresno County Fire Districts, Attn: Diane Rodriguez, FKU.prevention@fresno.gov

FROM: Arianna Brown, Planner
Development Services and Capital Projects Division

SUBJECT: Conditional Use Permit No. 3818 and Initial Study No. 8668

APPLICANT: GMA Engineering

DUE DATE: **March 24, 2025**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing allow a value-added agricultural use and facilities for fruit packing and cold storage on an approximately 28.0-acre parcel. The subject property is located within the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

The subject parcel is located on the south side of E. Davis Avenue, between S. Del Rey Avenue and E. Davis Avenue, northerly adjacent to the boundary between Fresno and Kings County, approximately 3.0-miles southwest of the City limits of the City of Kingsburg. (APN: 056-090-19) (10693 E. Davis Ave.) (Sup. Dist. 4).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding the conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **March 24, 2025**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Arianna Brown, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email abrown@fresnocountyca.gov

AB

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Activity Code (Internal Review): 2381

Enclosures



Fresno County Department of Public Works and Planning

Date Received:

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- | | |
|--|--|
| <input type="checkbox"/> Pre-Application (Type) | <input type="checkbox"/> Director Review and Approval |
| <input type="checkbox"/> Amendment Application | <input type="checkbox"/> for 2 nd Residence |
| <input type="checkbox"/> Amendment to Text | <input type="checkbox"/> Determination of Merger |
| <input checked="" type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Agreements |
| <input type="checkbox"/> Variance (Class)/Minor Variance | <input type="checkbox"/> ALCC/RLCC |
| <input type="checkbox"/> Site Plan Review/Occupancy Permit | <input type="checkbox"/> Other |
| <input type="checkbox"/> No Shoot/Dog Leash Law Boundary | |
| <input type="checkbox"/> General Plan Amendment/Specific Plan/SP Amendment | |
| <input type="checkbox"/> Time Extension for | |

DESCRIPTION OF PROPOSED USE OR REQUEST:

This project has two phases:

Phase 1 is for a 6,120 sq. ft. canopy as an addition to an existing cold storage facility.

Phase 2 is for four future buildings:

- 1) A 14,358 sq. ft. canopy as an addition to an existing cold storage building.
- 2) A 21,521 sq. ft. canopy as an addition to an existing cold storage building.
- 3) A 58,788 sq. ft. expansion to the existing cold storage facility that will have a 17,512 sq. ft. canopy attached to it and include an expansion to the facility's truck dock area.
- 4) A 12,800 sq. ft. farm shop building.

The above canopies will provide covered spaces for bin storage to make operations more efficient and help prevent avian contamination per FDA standards. The cold storage expansion will enable the farm to store more fruit on site. The farm shop building will increase the site's shop area for storage and maintenance of the farm's equipment.

CEQA DOCUMENTATION: ☐ Initial Study ☐ PER ☐ N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: south side of Davis Ave

between S McCall Ave and S Del Rey Ave

Street address: 10693 Davis Ave Kingsburg, CA 93631

APN: 056-090-19 Parcel size: 181.35 acres Section(s)-Twp/Rg: S 8 - T 17 S/R 22 E

ADDITIONAL APN(s):

I, Mike Jackson (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Mike Jackson	10693 Davis Ave	Kingsburg	CA	(559) 897-5132
Owner (Print or Type)	Address	City	Zip	Phone
GMA Engineering - Reps: Rob Sanders, Jeremy Johnson, Sean Odom, and Nik Mohammed	7337 N First St Ste 110	Fresno	93720	(559) 435-1411
Applicant (Print or Type)	Address	City	Zip	Phone
GMA Engineering - Reps: Rob Sanders, Jeremy Johnson, Sean Odom, and Nik Mohammed	7337 N First St Ste 110	Fresno	93720	(559) 435-1411
Representative (Print or Type)	Address	City	Zip	Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
PER/Initial Study No.:	Fee: \$
Ag Department Review:	Fee: \$
Health Department Review:	Fee: \$
Received By: _____ Invoice No.:	TOTAL: \$

UTILITIES AVAILABLE:

WATER: Yes ☐ / No ☐

Agency: _____

SEWER: Yes ☐ / No ☐

Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: _____ - T _____ S/R _____ E

Related Application(s): _____

APN # _____ - _____ - _____

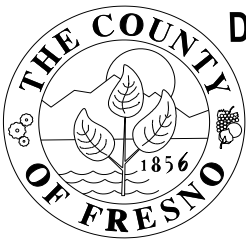
APN # _____ - _____ - _____

Zone District: _____

APN # _____ - _____ - _____

Parcel Size: _____

APN # _____ - _____ - _____



Development Services
and
Capital Projects
Division

MAIL TO:
GMA ENGINEERING
ATTN: NIK MOHAMMED
7337 N First St Ste 110
FRESNO, CA 93720

EMAIL TO:
nikm@gmaengineeri
ng.com

Pre-Application Review

Department of Public Works and Planning

NUMBER: _____
APPLICANT: _____
PHONE: _____

PROPERTY LOCATION: _____
APN(s): _____ ALCC: No _____ Yes # _____ VIOLATION NO. _____
CNEL: No _____ Yes _____ (level) LOW WATER: No _____ Yes _____ WITHIN 1/2 MILE OF CITY: No _____ Yes: _____
ZONE DISTRICT: _____; SRA: No _____ Yes _____ HOMESITE DECLARATION REQ'D.: No _____ Yes _____
LOT STATUS: _____
Zoning: () Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No _____ Yes _____ ZM# _____ Initiated _____ In process _____
Map Act: () Lot of Rec. Map; () On '72 rolls; () Other _____; () Deeds Req'd (see Form #236)
SCHOOL FEES: No _____ Yes _____ DISTRICT: _____ PERMIT JACKET: No _____ Yes _____
FMFCD FEE AREA: _____ () Inside / () Outside District No.: _____ FLOOD PRONE: No _____ Yes _____
PROPOSAL _____

COMMENTS: _____
ORD. SECTION(S): _____ BY: _____ DATE: _____

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: _____ () GPA: _____ () MINOR VA: _____
COMMUNITY PLAN: _____ () AA: _____ () HD: _____
REGIONAL PLAN: _____ () CUP: _____ () AG COMM: _____
SPECIFIC PLAN: _____ () DRA: _____ () ALCC: _____
SPECIAL POLICIES: _____ () VA: _____ () IS/PER*: _____
SPHERE OF INFLUENCE: _____ () AT: _____ () Viol. (35%): _____
ANNEX REFERRAL (LU-G17/MOU): _____ () TT: _____ () Other: _____
() PLA: _____ Filing Fee: \$ _____
COMMENTS: _____ () TPM: _____ Pre-Application Fee: - \$262.04
() TPMW: _____ Total County Filing Fee: _____

PROCEDURES AND FEES:

FILING REQUIREMENTS:

- () Land Use Applications and Fees
- () This Pre-Application Review form
- () Copy of Deed / Legal Description
- () Photographs
- () Letter Verifying Deed Review
- () IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- () Site Plans - One (1) Copy (folded to 8.5"x11") *PDF COPY PREFERRED
- () Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- () Project Description / Operational Statement (Typed)
- () Statement of Variance Findings
- () Statement of Intended Use (ALCC)
- () Dependency Relationship Statement
- () Resolution/Letter of Release from City of _____
- () Nitrogen Loading Analysis or RWQCB supplemental treatment
- () Archaeological Inventory Fee: \$75 at time of filing
(Separate check to Southern San Joaquin Valley Info. Center)
- () CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,916.75)
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

BY: _____ DATE: _____
PHONE NUMBER: (559) _____ - _____

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- () COVENANT
- () MAP CERTIFICATE
- () PARCEL MAP
- () FINAL MAP
- () FMFCD FEES
- () ALUC or ALCC
- () SITE PLAN REVIEW
- () BUILDING PLANS
- () BUILDING PERMITS
- () WASTE FACILITIES PERMIT
- () SCHOOL FEES
- () OTHER (see reverse side)

PLU # 113 Fee: **\$262.04**

Note: This fee will apply to the application fee
if the application is submitted within six (6)
months of the date on this receipt.

OVER.....



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. _____

Project
No(s). _____

Application Rec'd.: _____

GENERAL INFORMATION

1. **Property Owner :** Mike Jackson **Phone/Fax** (559) 897-5132

Mailing Address: 10693 Davis Ave Kingsburg, CA 93631
Street City State/Zip

Applicant : GMA Engineering - Reps Rob Sanders, Jeremy Johnson, Sean Odom, and Nik Mohammed **Phone/Fax:** (559) 435-1411

Mailing Address: 7337 N First St Ste 110 Fresno, CA 93720
Street City State/Zip

Representative: GMA Engineering - Reps Rob Sanders, Jeremy Johnson, Sean Odom, and Nik Mohammed **Phone/Fax:** (559) 435-1411

Mailing Address: 7337 N First St Ste 110 Fresno, CA 93720
Street City State/Zip

4. **Proposed Project:** This project has two phases: Phase 1 is for a 6,120 sq. ft. canopy as an addition to an existing cold storage facility. Phase 2 is for four future buildings: 1) A 14,358 sq. ft. canopy as an addition to an existing cold storage building. 2) A 21,521 sq. ft. canopy as an addition to an existing cold storage building. 3) A 58,788 sq. ft. expansion to the existing cold storage facility that will have a 17,512 sq. ft. canopy attached to it and include an expansion to the facility's truck dock area. 4) A 12,800 sq. ft. farm shop building. The above canopies will provide covered spaces for bin storage to make operations more efficient and help prevent avian contamination per FDA standards. The cold storage expansion will enable the farm to store more fruit on site. The farm shop building will increase the site's shop area for storage and maintenance of the farm's equipment.

5. **Project Location:** The property is located on the south side of Davis Ave between S McCall Ave and S Del Rey Ave.

6. **Project Address:** 10693 Davis Ave Kingsburg, CA 93631

7. **Section/Township/Range:** S 8 / T 17 / S/R 22 8. **Parcel Size:** 181.35 acres

9. **Assessors Parcel No.** 056-090-19

DEVELOPMENT SERVICES DIVISION

2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 262-4497 / 262-4022 / 262-4029 / 262-4211 / FAX 262-4893

Equal Employment Opportunity • Affirmative Action • Disabled Employer

10. Land Conservation Contract No. (If applicable): _____

11. What other agencies will you need to get permits or authorization from:

_____ LAFCo (annexation)

_____ CALTRANS

_____ Division of Aeronautics

_____ Water Quality Control Board

_____ Other _____

_____ SJVUAPCD (Air Pollution Control District)

_____ Reclamation Board

_____ Department of Energy

_____ Airport Land Use Commission

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? _____ Yes x No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: AE-20 - Exclusive Agricultural

14. Existing General Plan Land Use Designation¹: Agriculture

ENVIRONMENTAL INFORMATION

15. Present land use: The land is presently being used for Mike Jackson Farm's farming operations. Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing the previously listed improvements:
The land is the site of Mike Jackson Farm's tree fruit packing facility. The site includes a solar farm and the farm's orchards. Please see the site plan for additional details.

Describe the major vegetative cover: The site is primarily covered by the farm's orchards.

Any perennial or intermittent water courses? If so, show on map: No.

Is property in a flood prone area? Describe: No. It is in flood zone 'X.'

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: agricultural

South: agricultural

East: agricultural

West: agricultural

17. What land use(s) in the area may be impacted by your Project?: None.

18. What land use(s) in the area may impact your project?: None.

19. *Transportation:*

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes ☒ No

B. Daily traffic generation:

I. Residential - Number of Units _____
 Lot Size _____
 Single Family _____
 Apartments _____

<i>II. Commercial - Number of Employees</i>	No new employees will be added.
<i>Number of Salesmen</i>	<u>0</u>
<i>Number of Delivery Trucks</i>	<u>15 daily trucks</u>
<i>Total Square Footage of Building</i>	<u>Canopies - 59,511 sq. ft. / other buildings - 71,588 sq. ft.</u>

III. Describe and quantify other traffic generation activities: There are no other traffic
generation activities.

20. Describe any source(s) of noise from your project that may affect the surrounding area: None.

21. Describe any source(s) of noise in the area that may affect your project: None.

22. Describe the probable source(s) of air pollution from your project: None.

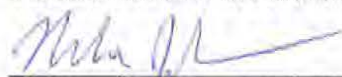
23. *Proposed source of water:*

(x) private well

() community system³--name: _____

24. *Anticipated volume of water to be used (gallons per day)*²: Typical amounts per this type of use in the county.
25. *Proposed method of liquid waste disposal:*
 (x) *septic system/individual*
 () *community system*³-name _____
26. *Estimated volume of liquid waste (gallons per day)*²: Typical amounts per this type of use in the county.
27. *Anticipated type(s) of liquid waste:* Typical amounts per this type of use in the county.
28. *Anticipated type(s) of hazardous wastes*²: None
29. *Anticipated volume of hazardous wastes*²: None
30. *Proposed method of hazardous waste disposal*²: No hazardous wastes will be produced.
31. *Anticipated type(s) of solid waste:* Typical office trash and cull fruit
32. *Anticipated amount of solid waste (tons or cubic yards per day):* Typical amounts per this type of use in the county.
33. *Anticipated amount of waste that will be recycled (tons or cubic yards per day):* Typical amounts per this type of use in the county.
34. *Proposed method of solid waste disposal:* Private trash service - cull fruit to be sold to farmers as cattle feed.
35. *Fire protection district(s) serving this area:* Fresno County Fire Protection District
36. *Has a previous application been processed on this site? If so, list title and date:* _____
37. *Do you have any underground storage tanks (except septic tanks)?* Yes _____ No x
38. *If yes, are they currently in use?* Yes _____ No _____

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.



 SIGNATURE

1/13/25

 DATE

¹Refer to Development Services Conference Checklist

²For assistance, contact Environmental Health System, (559) 445-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 262-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND GAME FEE

State law requires that specified fees (\$2,768.25 for an EIR; \$1,993.00 for a Negative Declaration) be paid to the California Department of Fish and Game (DFG) for projects, which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of the DFG. A \$50.00 handling fee will also be charged as provided for in the legislation to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by DFG for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from DFG to the County at the request of the applicant. You may wish to call the local office of the DFG at (559) 222-3761, if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

1/13/25

Date

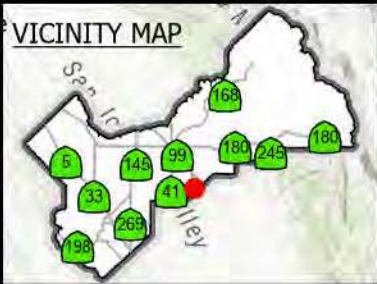
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Subject Property



VICINITY MAP



LOCATION MAP

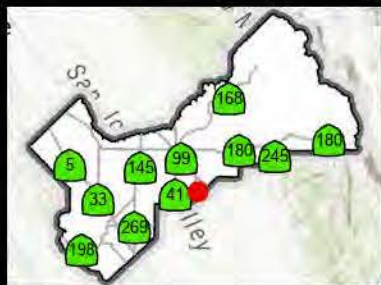
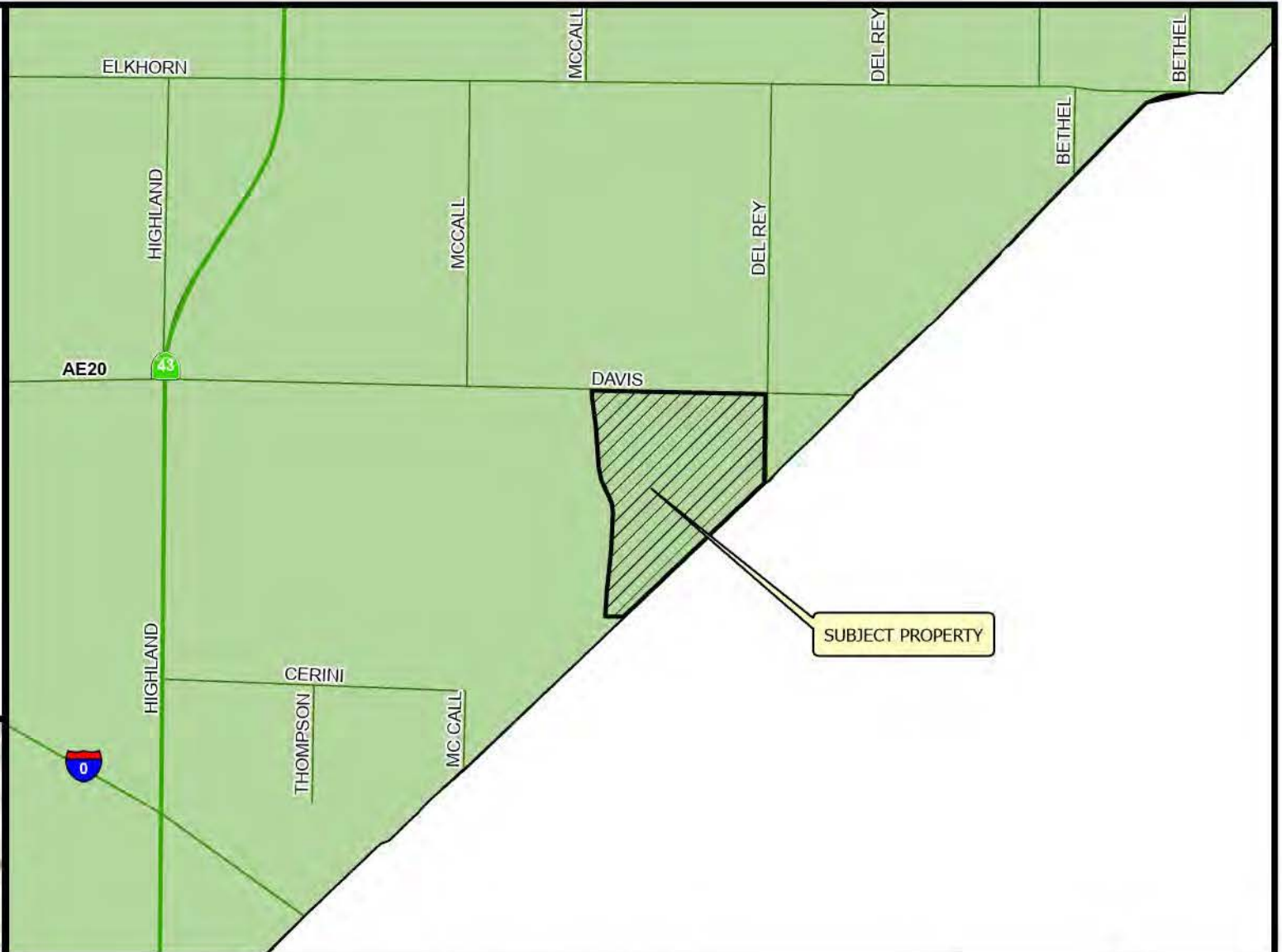
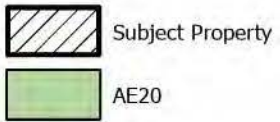
CUP3818

2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : mdo
 On Date : 2/27/2025



Legend



Existing Zoning Map

CUP3818

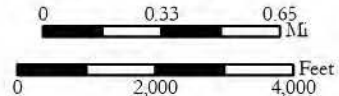
STR 8,9,17&18# - 17S / 22E

2025



Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division

Person Prepared by : mdo

On Date : 2/27/2025



LEGEND:

-  Subject Property
-  Ag Contract Land

LEGEND

ORC - ORCHARD
 SF#- SINGLE FAMILY RESIDE
 FC - FIELD CROP
 V - VACANT
 PAH - PACKING HOUSE
 I - INDUSTRIAL

VICINITY MAP

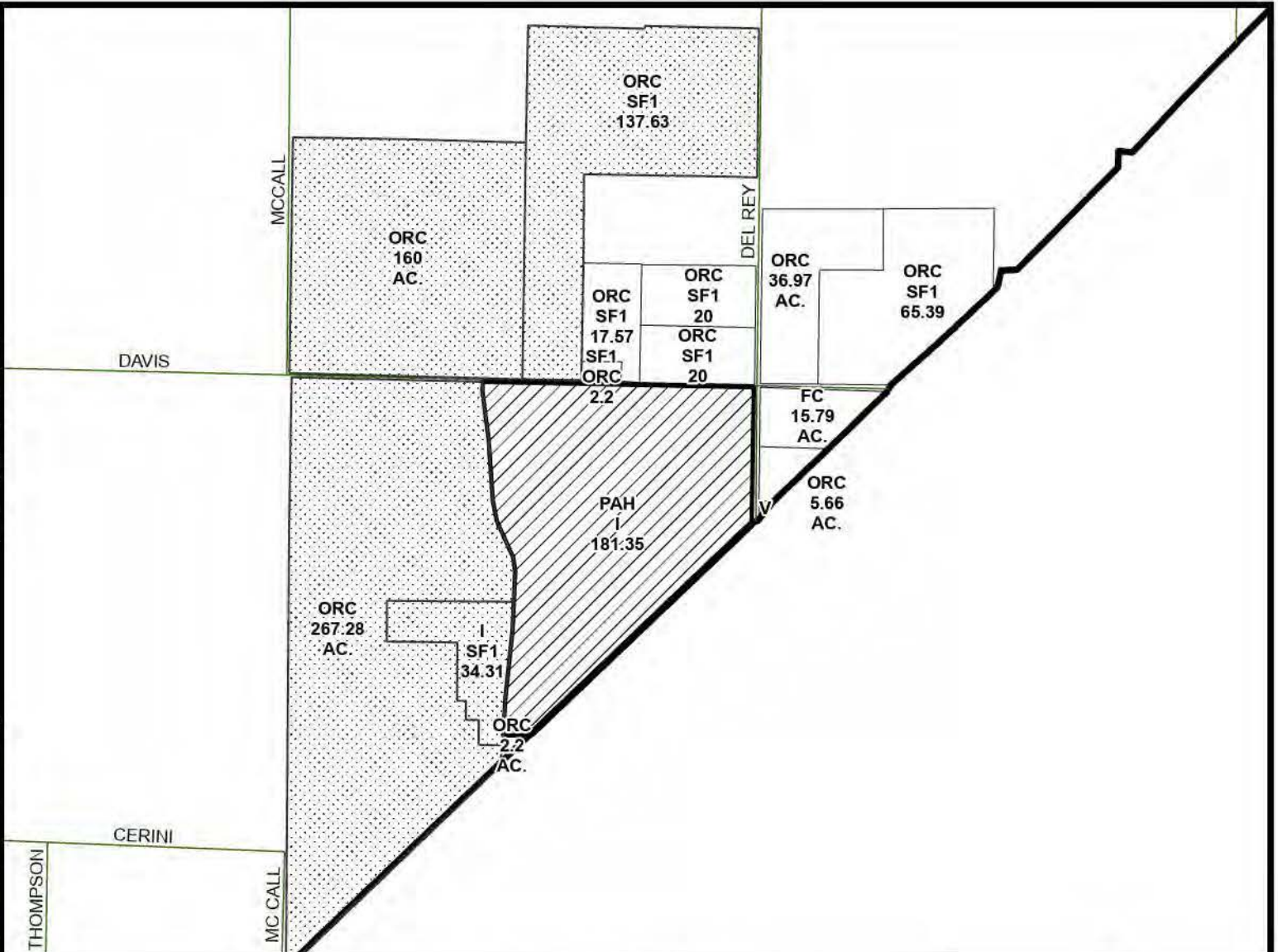
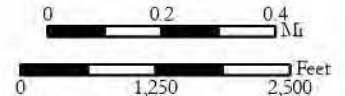


Existing Land Use Map

CUP3818

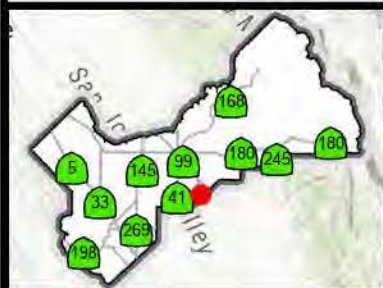
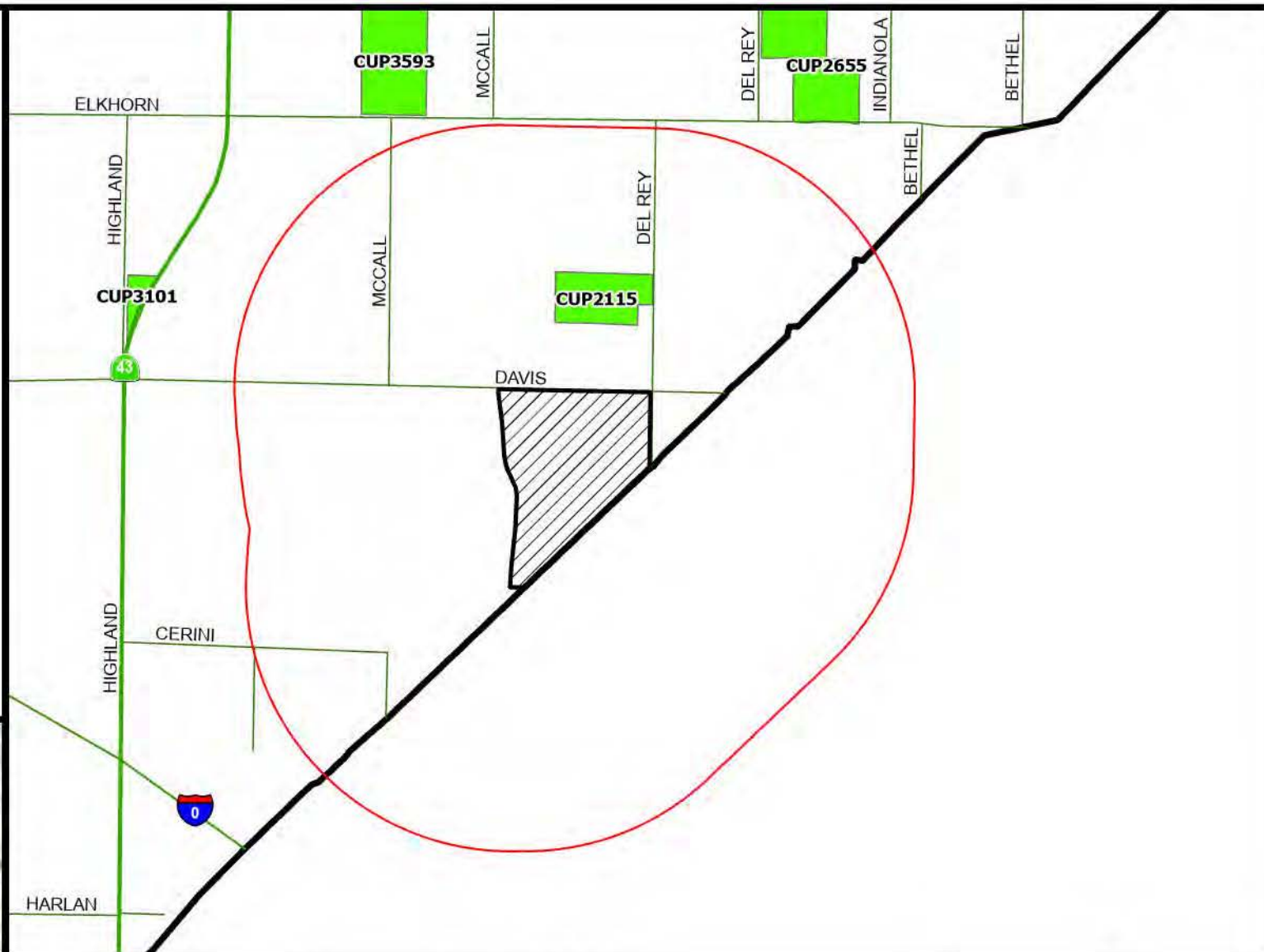
2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : mdo
 On Date : 2/27/2025



Legend

-  Mile_Buffer
-  Subject Property
-  CUP Permits

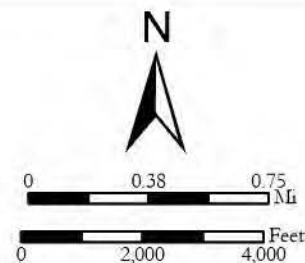


Proximity Map

CUP3818

2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : mdo
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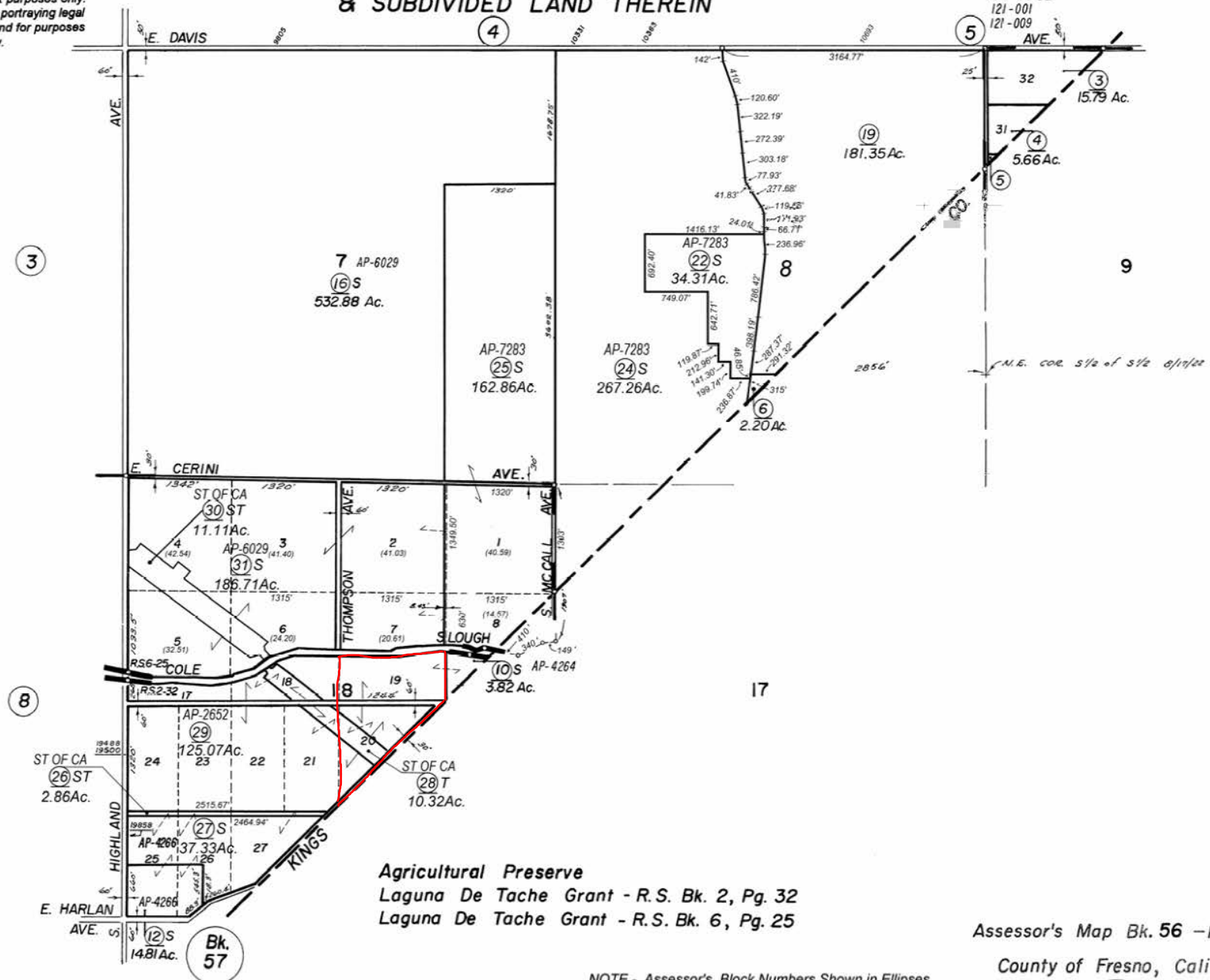


— NOTE —
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

SEC. 7 & POR. SEC'S 8,9,17 & 18 T.17S.,R.22E. M.D.B. & M. & SUBDIVIDED LAND THEREIN

Tax Area
121-001
121-009

56-09



Agricultural Preserve
Laguna De Tache Grant - R.S. Bk. 2, Pg. 32
Laguna De Tache Grant - R.S. Bk. 6, Pg. 25

Assessor's Map Bk. 56 - Pg. 09

County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.



GERALD MELE & ASSOCIATES, INC.

7337 N. FIRST ST., SUITE 110 FRESNO, CA. 93720 (559)435-1411 FAX (559)435-1169

CONSULTING ENGINEERS AND ARCHITECTS

GERALD A. MELE, PE, SE
MARTIN R. INESS, PE, SE
ROBERT A. SANDERS, ARCHITECT
BRAD S. EDWARDS, PE, SE
JACOB G. KENNINGTON, PE
LUIS A. GOMEZ, PE

County of Fresno
Planning Department
2220 Tulare St.
Fresno, CA 93721

Mike Jackson Farms – Canopy and Future Additions
Operational Statement

To whom it may concern,

The project will be located on the lot with the Assessor's Parcel Number of 056-090-19. The site has an address of 10693 Davis Ave, Kingsburg, CA 93631. The parcel has a current zoning of AE-20 – Exclusive Agricultural. The operational statement information for the above-mentioned parcel is as follows:

1. Nature of the operation:

The farm's operation on this site is fresh tree fruit packing. This project has two phases:

Phase 1 is for a 6,120 sq. ft. canopy as an addition to an existing cold storage facility. The canopy will provide a covered space for bin storage that will make operations more efficient. The canopy will also provide covering for fruit to prevent avian contamination per FDA standards.

Phase 2 is for four future buildings:

The first is a 14,358 sq. ft. canopy as an addition to an existing cold storage facility. This canopy will provide a covered space for bin storage that will make operations more efficient. The canopy will also provide covering for fruit to prevent avian contamination per FDA standards.

The second is a 21,521 sq. ft. canopy as an addition to an existing cold storage facility. This canopy will provide a covered space for bin storage that will make operations more efficient. The canopy will also provide covering for fruit to prevent avian contamination per FDA standards.

The third is a 58,788 sq. ft. expansion to the existing cold storage facility that will have a 17,512 sq. ft. canopy attached to it. This cold storage expansion will also include an expansion to the facility's truck dock area. This building will enable the farm to store more fruit on site.

The fourth building is a 12,800 sq. ft. farm shop building. This building will increase the site's shop area for storage and maintenance of the farm's equipment as the farm continues to automate its processes.



GERALD MELE & ASSOCIATES, INC.

7337 N. FIRST ST., SUITE 110 FRESNO, CA. 93720 (559)435-1411 FAX (559)435-1169

CONSULTING ENGINEERS AND ARCHITECTS

GERALD A. MELE, PE, SE
MARTIN R. INESS, PE, SE
ROBERT A. SANDERS, ARCHITECT
BRAD S. EDWARDS, PE, SE
JACOB G. KENNINGTON, PE
LUIS A. GOMEZ, PE

2. Operational time limits:

The site operates April through November, seven days per week. Operations run 16 hours per day and consist of an 8-hour day shift and an 8-hour night shift.

3. Number of customers or visitors:

The site does not receive customers or visitors.

4. Number of employees:

No new employees will be added with this project. The farm anticipates keeping the employee count the same as it increasingly automates its processes.

5. Service and Delivery vehicles:

The site operations require 15 daily delivery trucks. At this time the farm does not anticipate an increase in deliveries per day.

6. Access to the site:

The site can be accessed from any of the four entrances along East Davis Street at the north of the site.

7. Number of parking stalls for employees, customers, and service/delivery vehicles:

The number of parking stalls will remain at 169 as no new employees will be added with this project. The farm anticipates keeping the employee count the same as it increasingly automates its processes.

8. Are any goods sold on-site?

No.

9. What equipment will be used?

The farm uses equipment typical for fresh tree fruit packing operations.



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10. What supplies or materials are used and how are they stored?

The farm uses typical materials and supplies for fresh tree fruit packing operations.

11. Does the use cause any unsightly appearance?

Noise? – No.
Glare? – No
Dust? – No.
Odor? – No.

12. List any solid or liquid wastes to be produced:

No hazardous materials or wastes will be produced.

13. Estimated volumes of water to be used (volumes per day):

No additional water will be used with this project. All of the site's water is well water.

14. Describe any proposed advertising:

No advertising is proposed.

15. Will existing buildings be used or will new buildings be constructed?

All the proposed buildings will be new structures.

16. Explain which buildings or portions of buildings will be used in this operation:

All of them.

17. Will any outdoor lighting or outdoor sound amplification system be used?

No new lighting or sound is proposed.



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18. Landscaping or fencing proposed:

No fencing or landscaping is proposed.

19. Any additional information:

None

20. Identify all owners, etc.:

See company's operational agreement.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Sean Odom', written over a horizontal line.

Sean Odom
Gerald Mele & Associates, Inc.

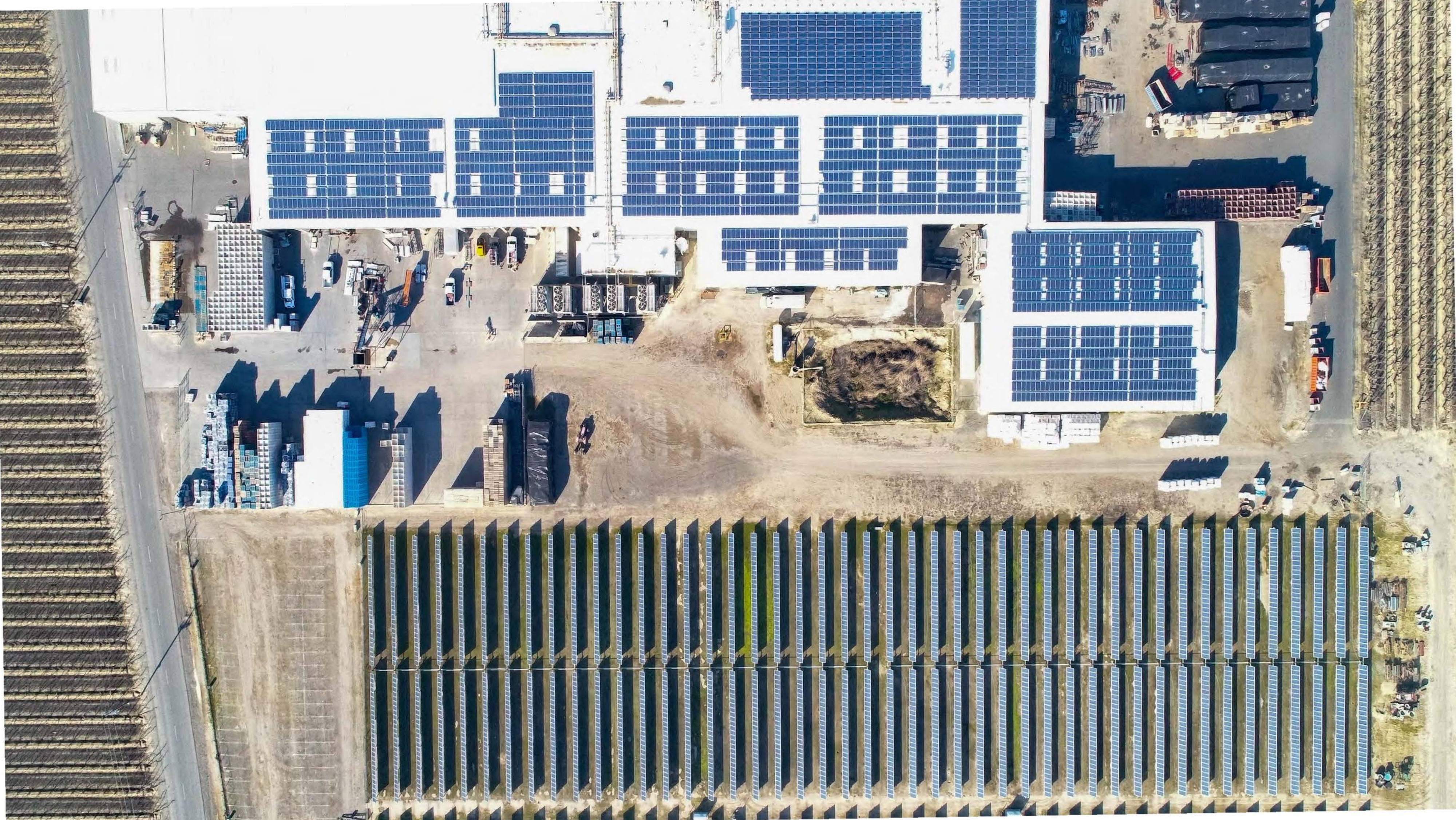






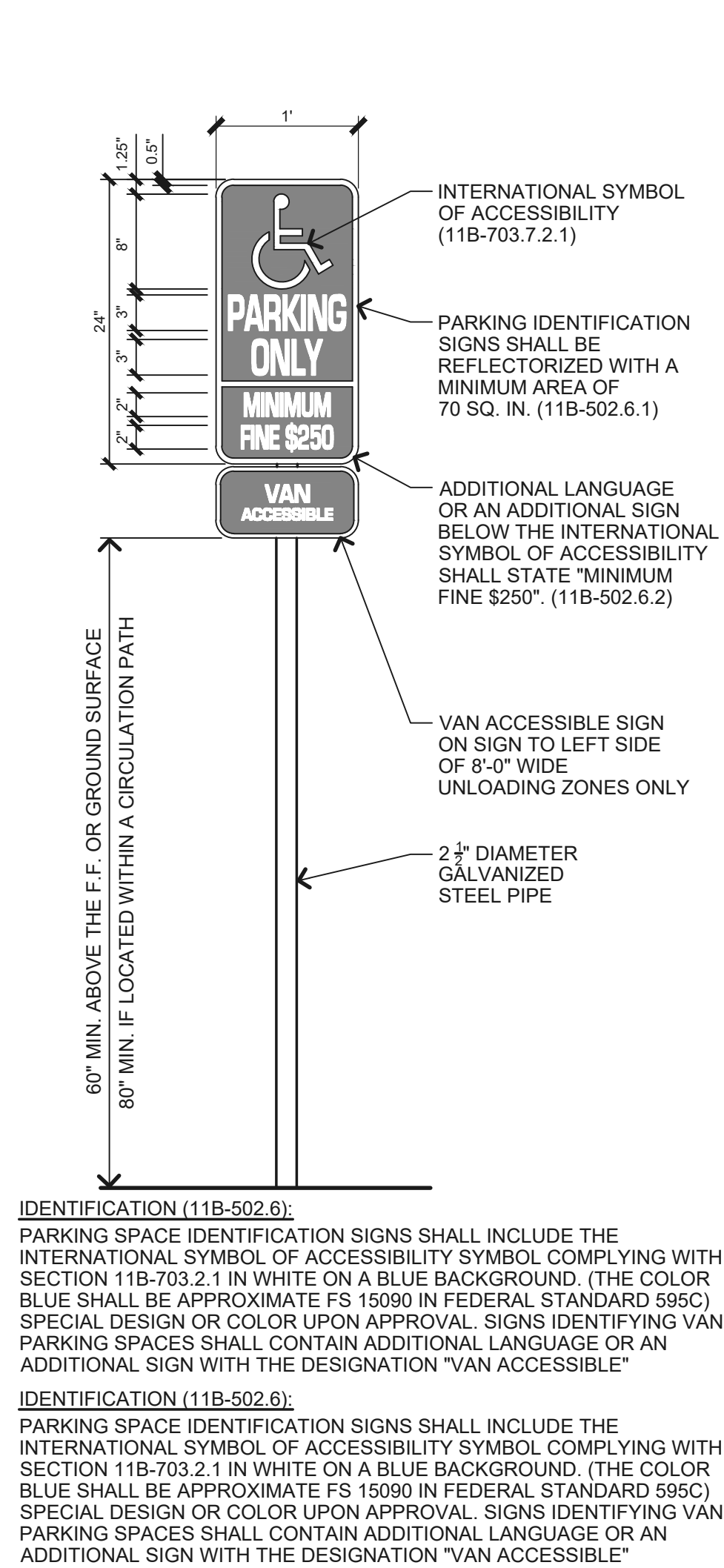




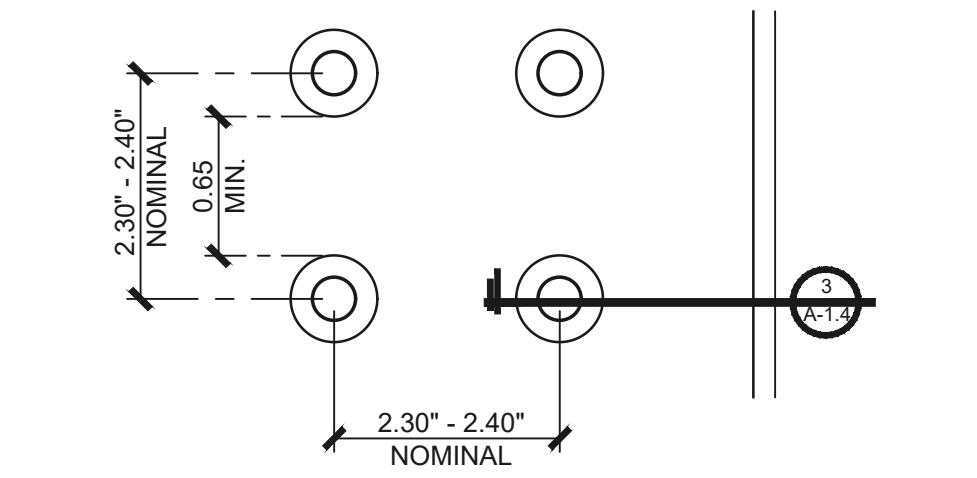




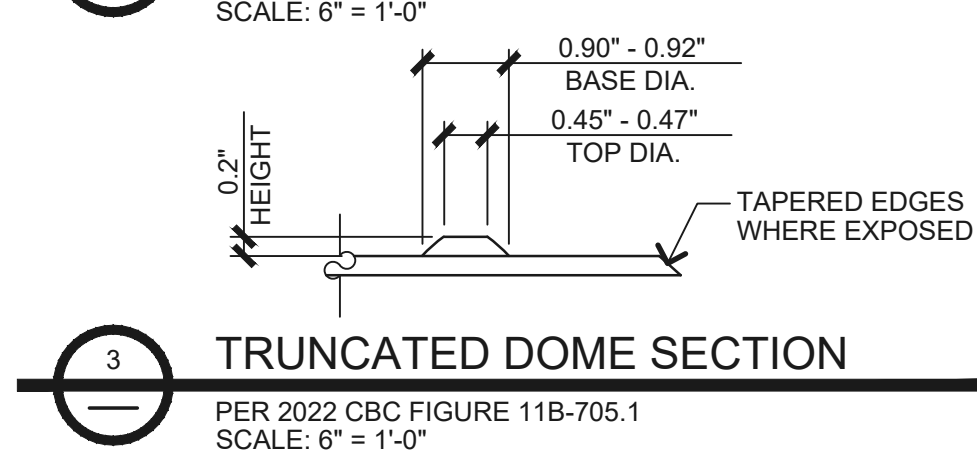




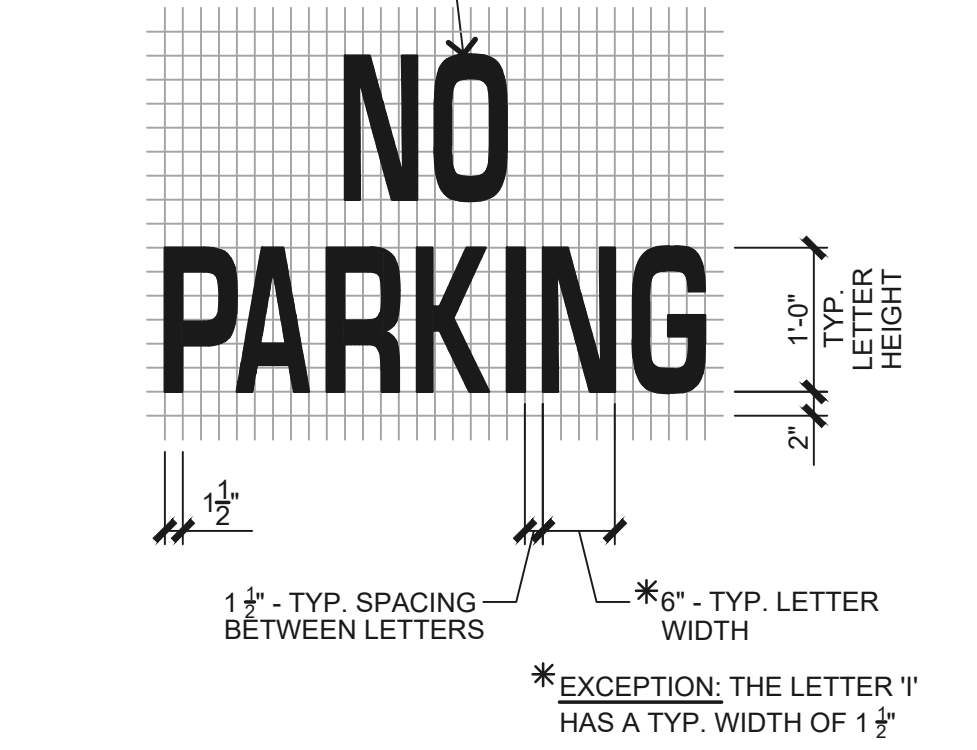
1 ACCESSIBLE PARKING SIGN
NOT TO SCALE



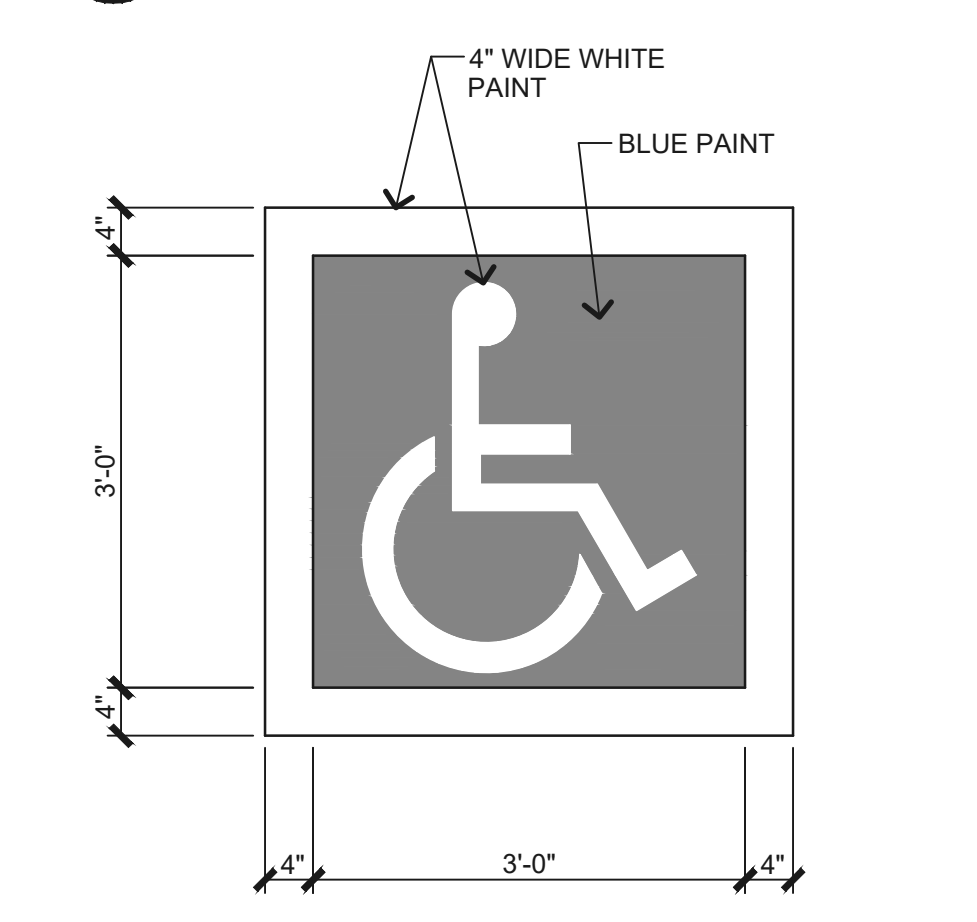
2 TRUNCATED DOME SPACING
PER 2022 CBC FIGURE 11B-705.1
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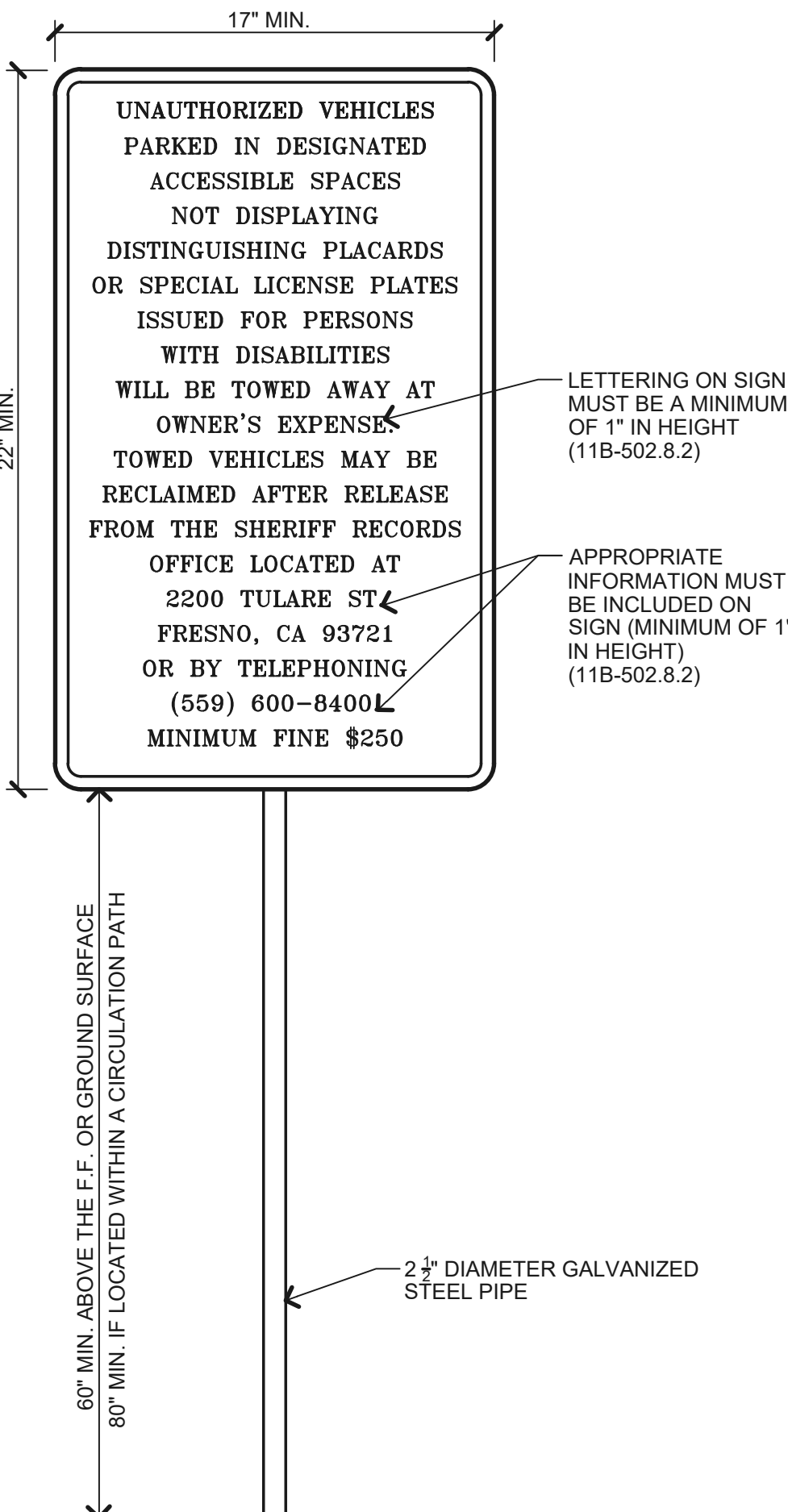
3 TRUNCATED DOME SECTION
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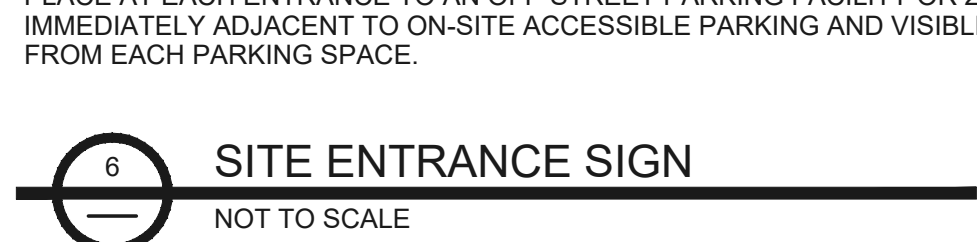
4 DISABLED PARKING UNLOADING AREA PAVEMENT MARKING
SCALE: 3/4\"/>



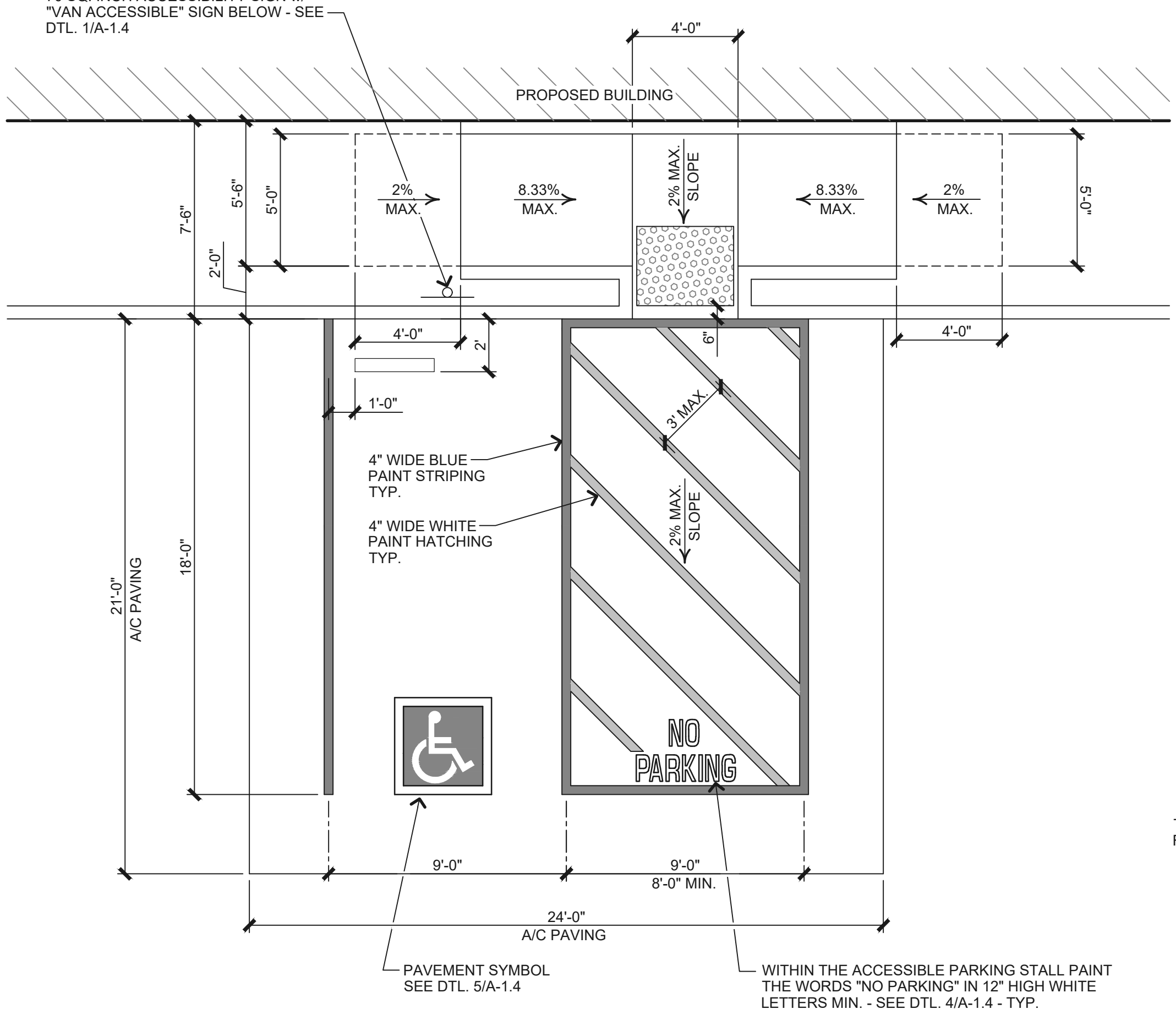
5 PAVEMENT SYMBOL
SCALE: 3/4\"/>



6 SITE ENTRANCE SIGN
NOT TO SCALE



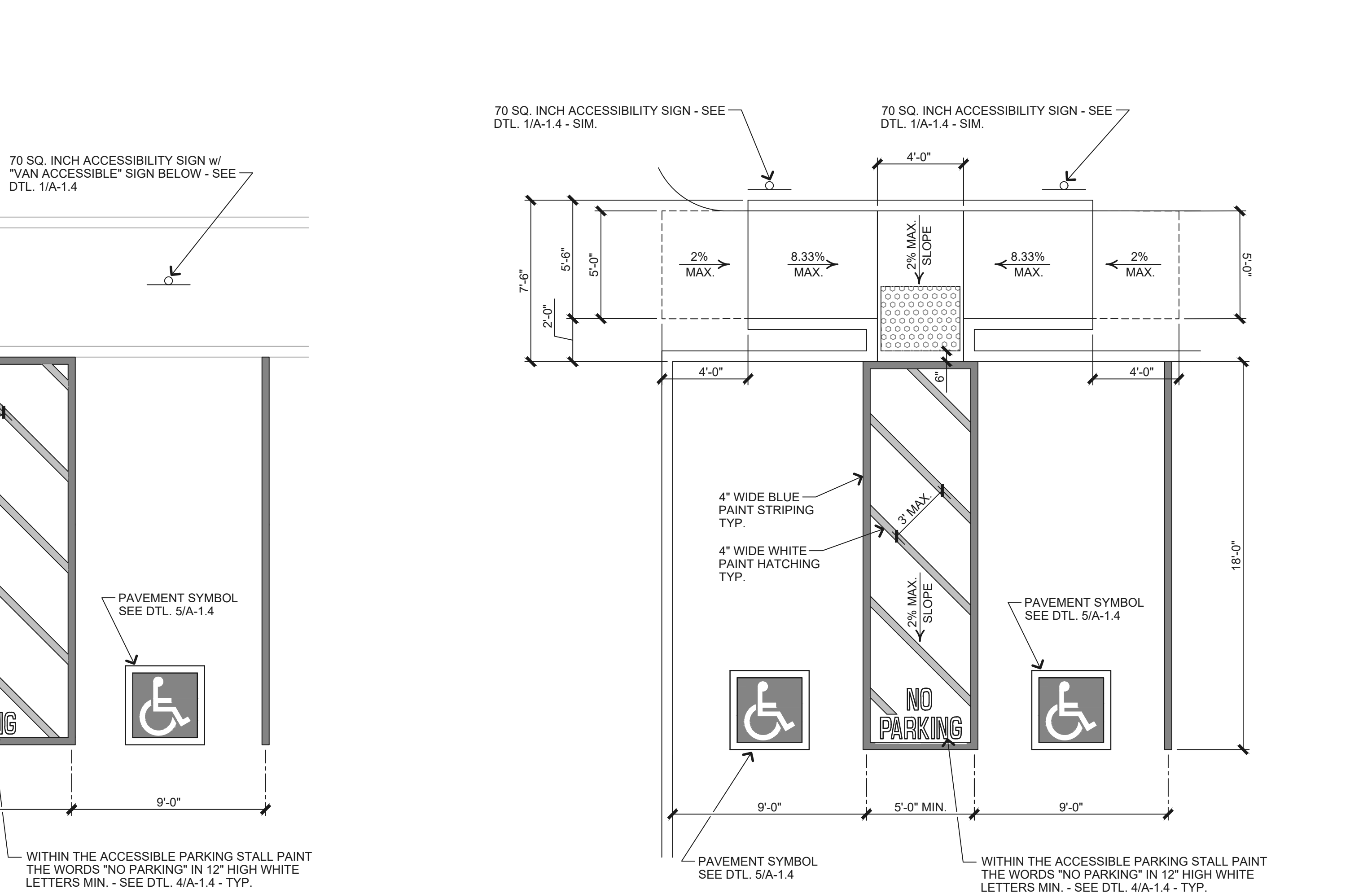
7 VAN ACCESSIBLE PARKING STALL
SCALE: 1/4\"/>



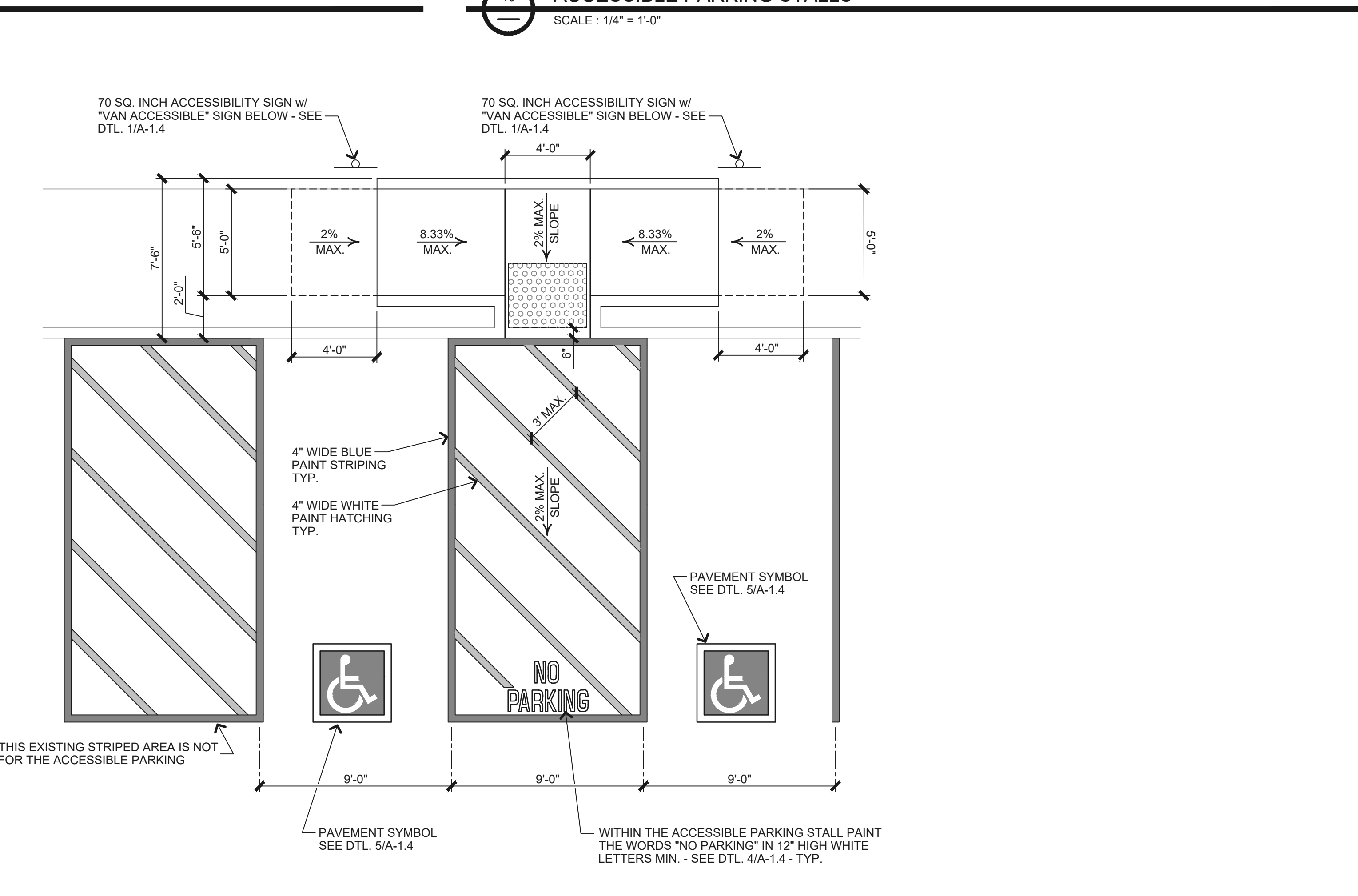
8 VAN ACCESSIBLE PARKING STALLS
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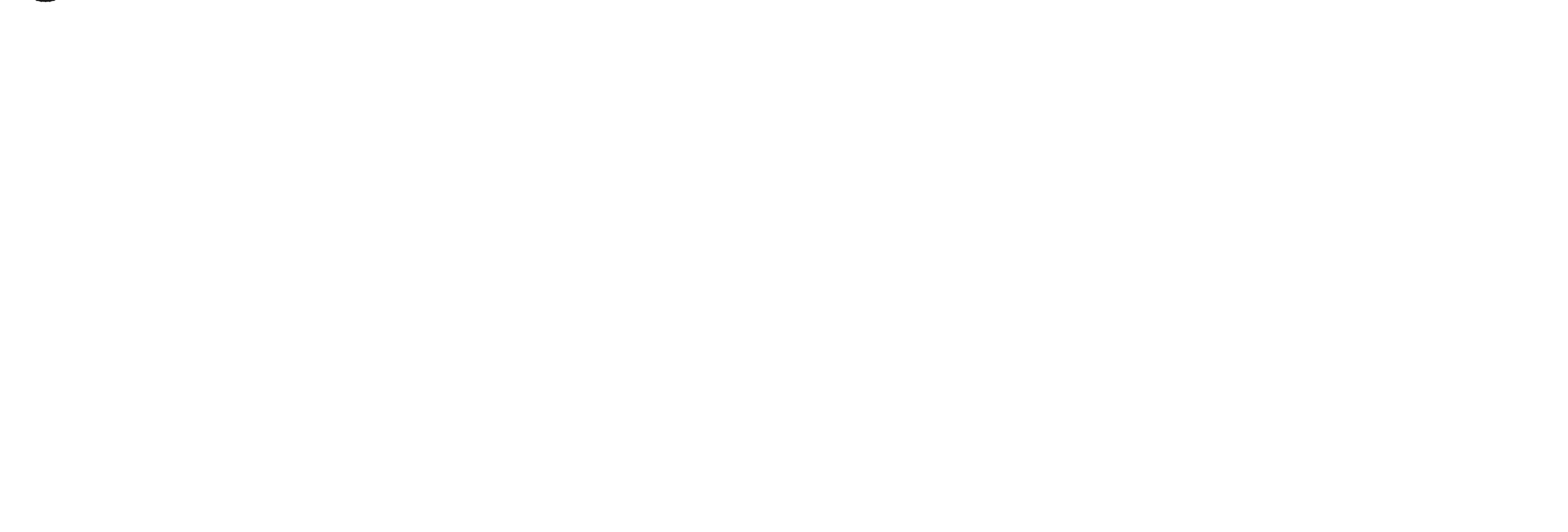
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10 ACCESSIBLE PARKING STALLS
SCALE: 1/4\"/>



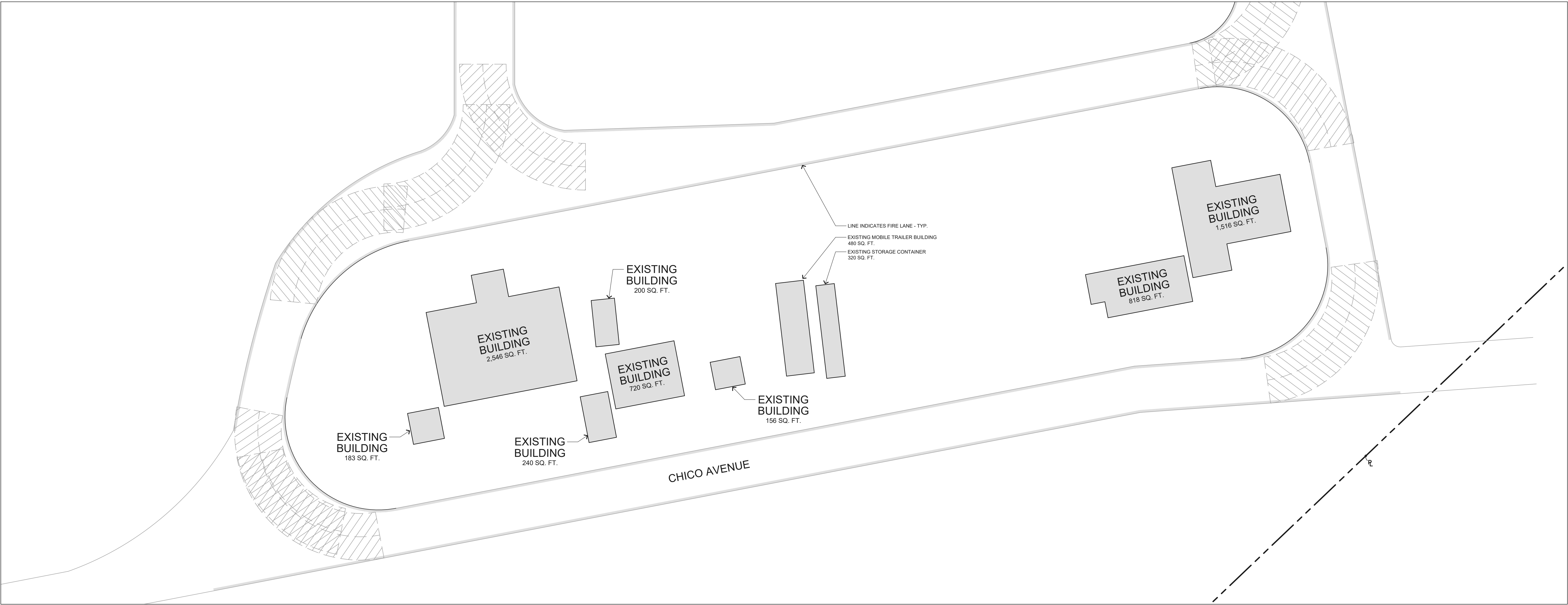
11 ACCESSIBLE PARKING STALLS
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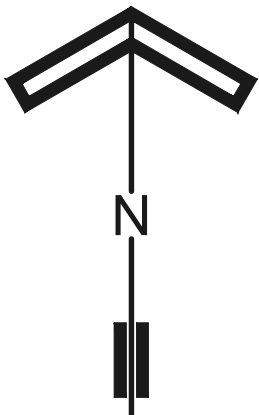
12 ACCESSIBLE PARKING STALLS
SCALE: 1/4\"/>

No.	Issue/Revision	By	App.	Date

Date	1/08/25
Scale	AS NOTED
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024.109
Dwg No.	24109SPD
Sheet	A-1.4
Revision No.	



LEGEND :
PROPOSED
EXISTING



PARTIAL SITE PLAN

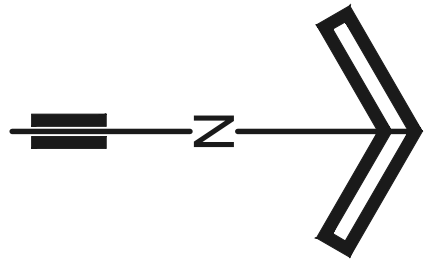
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Date	1/08/25
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Dr. By	N. MOHAMMED
App. By	X
Job No.	2024.109
Dwg. No.	24109MSD
Sheet	A-1.3
Revision No.	

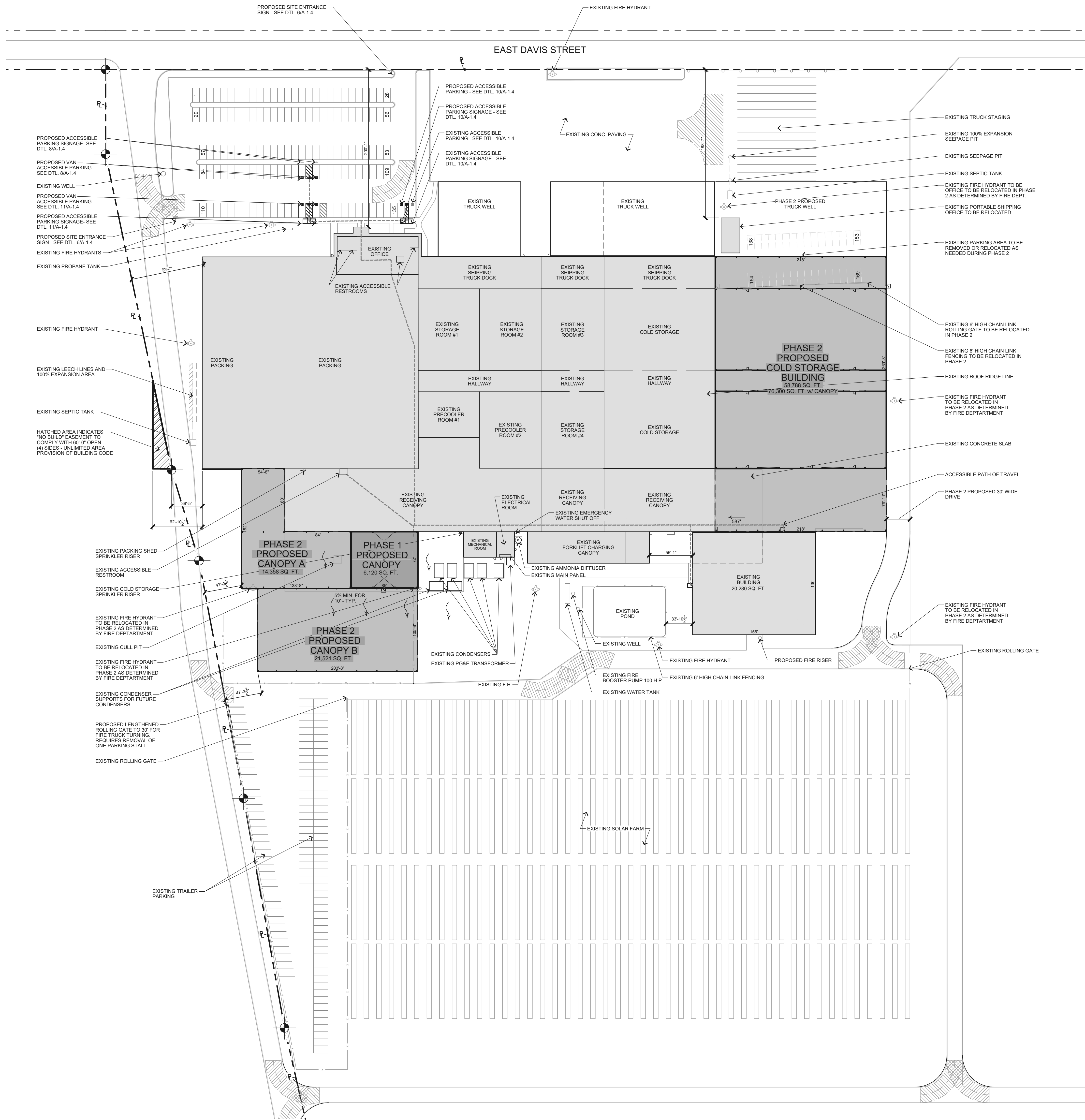
PROPOSED PROJECT FOR
MIKE JACKSON FARMS
10388 EAST RAYUS ST.
KINGSBURG, CA 94631
PHONE: (559) 897-3222
FAX: (559) 897-4754

PROJECT
CANOPY ADDITION

DESIGNED BY
GMA **GERALD MELE & ASSOCIATES, INC.**
7337 N. FIRST ST., SUITE 110 PESQUERO, CA 93752 (559)435-1411 gma@meleandco.com
ENGINEERS • ARCHITECTS

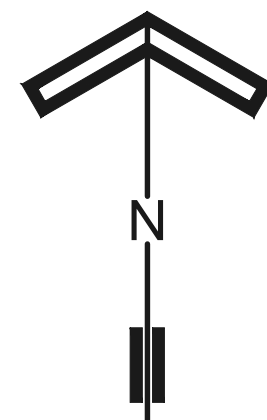


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LEGEND :
PROPOSED
EXISTING

NOTE: ALL RUNOFF FROM PROPOSED PROJECT TO BE RETAINED ON-SITE.



PARTIAL SITE PLAN

No.	Issue/Revision	By	App.	Date

Date	1/08/25
Scale	1" = 60'-0"
Dr. By	S. ODOM
App. By	X
Job No.	2024.109
Dwg. No.	24109MSD
Sheet	A-1.1
Revision No.	

SITE NOTES :

1. A) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE INCH VERTICAL IN 20 INCHES HORIZONTAL (5%) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL OR AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION SHALL BE USED 5/8" PER FOOT = 5%.
- B) SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION [CBC 1804.3] 1/4" PER FOOT = 2%.
2. NO WATER SHALL DRAIN TO ADJACENT PROPERTY WITH NO ON-SITE WATER RETENTION.
3. ALL GRADING SHALL COMPLY WITH SECTION 1804 AND APPENDIX J OF THE 2022 CALIFORNIA BUILDING CODE.
4. COMPACTION REPORT SHALL BE PREPARED BY AN APPROVED TESTING AGENCY UPON COMPLETION OF GRADING.
5. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
6. INSTALL STREET ADDRESS NUMERALS AT LEAST FOUR (4) INCHES HIGH WITH MINIMUM 1/2" STROKE MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET (CBC 501.2).
7. LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
8. SUITABLE TOILET FACILITIES SHALL BE PROVIDED AND MAINTAINED IN A SANITARY CONDITION FOR THE USE OF WORKERS DURING CONSTRUCTION. (CPC SECTION 412.7)
9. FINISH FLOOR ELEVATION TO BE 6" ABOVE THE CROWN OF THE STREET.
10. DRIVEWAYS AND PRIVATE ROADS SHALL HAVE A MAXIMUM SLOPE OF 12%. THE GRADE MAY BE INCREASED TO A MAXIMUM OF 20% FOR PAVED SURFACES.
11. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION WORK SHALL STOP IMMEDIATELY.
12. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PH. (916) 373-3710) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PH. (861) 654-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE COUNTY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
13. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
14. TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM, AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION OR DAMAGE TO THE FENCE.
15. PROVIDE A 2% SLOPE AWAY FROM THE PROPOSED BUILDING FOR A MIN. OF FIVE FEET. (FCOC 15.08.020.0)
16. DRIVEWAYS AND PRIVATE ROADS SHALL HAVE A MAXIMUM SLOPE OF 12%. THE GRADE MAY BE INCREASED TO A MAXIMUM OF 20% FOR PAVED SURFACES. (FCOC 15.60.505)

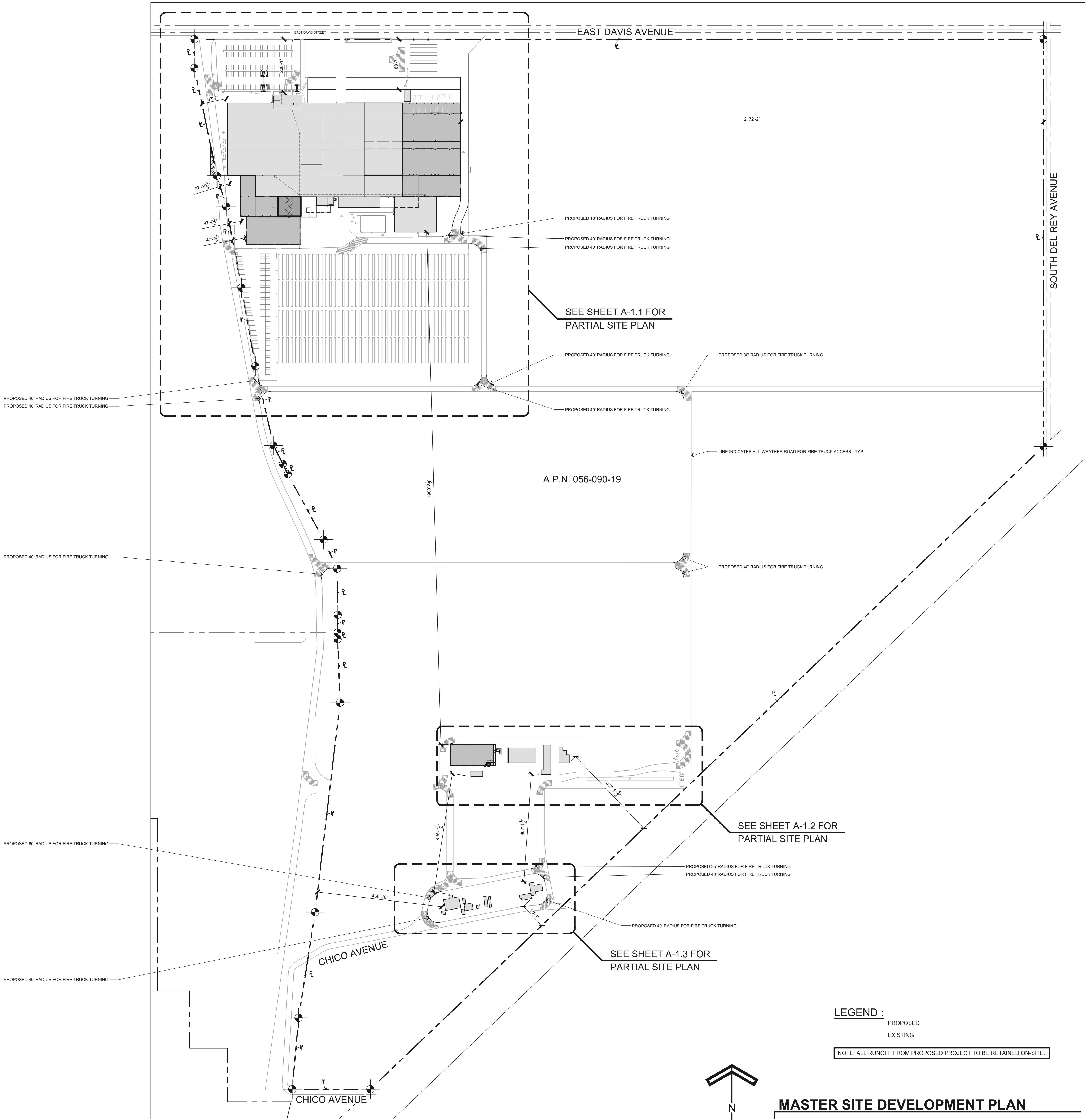
ACCESSIBILITY NOTES :

1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. (2022 CBC 11B-208.2.1)
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE, UNLESS THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. (2022 CBC 11B-208.2.2)
3. ACCESSIBLE ROUTES SHALL COINCIDE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS, WHERE CIRCULATION PATHS ARE INTERIOR, REQUIRED ACCESSIBLE ROUTES SHALL ALSO BE INTERIOR. (2022 CBC 11B-208.3)
4. DIRECTIONAL SIGNS COMPLYING W/ 2022 CBC SECTION 11B-703.5, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING W/ 2022 CBC SECTION 11B-703.7.2.1, INDICATING THE ACCESSIBLE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE SHALL BE PROVIDED AT JUNCTIONS WHEN THE ACCESSIBLE ROUTE DIVERGES FROM THE REGULAR CIRCULATION PATH. (2022 CBC SECTION 11B-216.6)
5. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). WHEN THE SLOPE OF ANY WALKING SURFACE EXCEEDS 1:20 (5%), IT SHALL COMPLY WITH THE PROVISIONS OF THE 2022 CBC SECTION 11B-405, (2022 CBC SECTION 11B-403.3)
6. THE RUNNING SLOPE OF CURB RAMPS SHALL NOT BE STEEPER THAN 1:12 (8.33%). THE RUNNING SLOPE OF BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 (2%) MAX. (2022 CBC SECTION 11B-406.2.1, 11B-406.3.1, 11B-406.4.1 AND 11B-406.5.7)
7. THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES, WHERE APPLICABLE, SHALL COMPLY WITH 2022 CBC SECTION 11B-405.4, 11B-406.5.5, AND 11B-405.10
8. DETECTABLE WARNINGS AT CURB RAMPS SHALL EXTEND 36 INCHES IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE RAMP RUN LESS 2 INCHES MAX. ON EA. SIDE, EXCLUDING ANY FLARED SIDES AND BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MIN. AND 8 INCHES MAX. FROM THE LINE AT THE FACE OF THE CURB MARKING THE TRANSITION BETWEEN THE CURB AND GUTTER, STREET OR HIGHWAY. ON PARALLEL CURB RAMPS, DETECTABLE WARNINGS SHALL BE PLACED ON THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN STREET AND SIDEWALK. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES PER 2022 CBC SECTION 11B-705.1 AND FIGURE 11B-705.1, AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES PER 2022 CBC 11B-705.1.3.
9. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO AN ACCESSIBLE ENTRANCE. (2022 CBC SECTION 11B-208.3.1)
10. PROVIDE THE APPROPRIATE NUMBER OF ACCESSIBLE PARKING SPACES AS REQUIRED BY 2022 CBC TABLE 11B-208.3.1)
11. ONE IN EVERY SIX ACCESSIBLE PARKING SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 36 INCHES WIDE MINIMUM PLACED ON THE SIDE OPPOSITE THE DRIVER'S SIDE WHEN THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE AND SHALL BE DESIGNATED VAN ACCESSIBLE AS REQUIRED BY 2022 CBC SECTION 11B-502 (2022 CBC SECTION 11B-208.2.4)
12. PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND PARKING SPACES OTHER THAN TO PASS BEHIND THE PARKING SPACE IN WHICH THEY PARKED. (2022 CBC SECTION 11B-502.7.1)
13. THE MAXIMUM CROSS SLOPE IN ANY DIRECTION OF AN ACCESSIBLE PARKING SPACE OR THE ADJACENT ACCESS AISLE SHALL NOT EXCEED 1:48 (2%). (2022 CBC SECTION 11B-502.4)
14. PROVIDE THE FOLLOWING INFORMATION FOR ACCESSIBLE PARKING:
 - A. EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE, OR PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE CONSISTING OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250". SIGNS SHALL BE 60 INCHES MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE A MIN. OF 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. (2022 CBC SECTION 11B-502.6)
 - B. THE SURFACE OF EACH ACCESSIBLE STALL SHALL HAVE A SURFACE IDENTIFICATION COMPLYING WITH EITHER 2022 CBC SECTION 11B-502.6.4.1 OR 11B-502.6.4.2 (2022 CBC SECTION 11B-502.6.4)
 - C. AN APPROVED SIGN TO BE POSTED IN CONSPICUOUS PLACE AT EACH ENTRANCE TO THE OFF-STREET PARKING FACILITY OR IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND/OR VISIBLE FROM EA. PARKING SPACE WHICH DISPLAYS THE TOW-AWAY WARNING PER 2022 CBC SECTION 11B-502.8.2 (2022 CBC SECTION 502.8)
15. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2" INCH HIGH MAX. CHANGE IN LEVEL BETWEEN 1/4 INCH HIGH MIN. AND 1/2 INCH HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 (50%). CHANGE IN LEVEL GREATER THAN 1/2 INCH HIGH SHALL BE RAMPED, AND SHALL COMPLY WITH 2022 CBC SECTION 11B-405 OR 11B-406. (2022 CBC SECTION 11B-404.2.5, 11B-302, AND 11B-303)
16. EXISTING ACCESSIBLE PATH OF TRAVEL ELEMENTS TO BE VERIFIED TO BE COMPLIANT WITH THE CURRENT OR PRECEDING EDITION OF THE CALIFORNIA BUILDING CODE CHAPTER 11B.

FIRE NOTES :

1. AN APPROVED KNOX BOX SHALL BE INSTALLED IN AN APPROVED LOCATION AT A HEIGHT OF APPROXIMATELY 5 FEET ABOVE GRADE NEAR THE MAIN ENTRANCE TO THE BUILDING. OBTAIN AN ORDER FORM FROM FRESNO COUNTY FIRE PROTECTION DISTRICT. THE KEY BOX SHALL CONTAIN LABELED KEYS TO GAIN ACCESS INTO ALL PORTIONS OF THE BUILDING OR SPECIFIC PORTIONS OF THE BUILDING AS REQUIRED BY THE FIRE CODE OFFICIAL. THE OPERATOR OF THE BUILDING SHALL IMMEDIATELY NOTIFY THE FIRE CODE OFFICIAL AND PROVIDE A NEW KEY WHEN A LOCK IS CHANGED OR REKEYED. THE KEY TO SUCH LOCK BE SECURED IN THE KEY BOX BY THE FIRE CODE OFFICIAL. (CFC 506)
2. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED SO THAT THE TOP IS NOT MORE THAN 5 FEET ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE PORTABLE FIRE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES.
3. PORTABLE FIRE EXTINGUISHERS SHALL BE CURRENTLY SERVICED AND HAVE A CALIFORNIA STATE FIRE MARSHALL SERVICE TAG AFFIXED TO THEM.
4. PROVIDE A FLOW TEST ON THE EXISTING HYDRANT LOCATED ADJACENT TO THE PROPOSED BUILDING ADDITION.
5. PRIOR TO OCCUPANCY, THE EMERGENCY RESPONDER RADIO COVERAGE BOOSTER PROVIDER SHALL PERFORM A RADIO FREQUENCY TEST THROUGHOUT THE BUILDING TO DETERMINE THE NECESSARY BI-DIRECTIONAL AMPLIFIER/DISTRIBUTED ANTENNA SYSTEM RADIO BOOSTER SYSTEM EQUIPMENT REQUIREMENTS AND SHALL INSTALL SAID SYSTEM APPROPRIATELY IN ORDER TO ENSURE EMERGENCY RESPONDER RADIO COVERAGE THROUGHOUT THE FACILITY. THE SYSTEM SHALL AT LEAST MEET THE MIN. REQUIREMENTS DELINEATED IN SECTION 510 OF THE 2022 CFC.
6. DESIGNATED ("HIGHLIGHTED") CURBS WILL BE PAINTED RED WITH 3" LETTERS STATING "FIRE LANE" "NO PARKING" EVERY 50 FEET, 6" RED STRIPE IF NO CURBS EXIST.
7. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. THEY SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (80,000) POUNDS. THE GRADE OF FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10%. FIRE APPARATUS ACCESS ROADS SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES AND SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. THE MINIMUM WIDTHS AND CLEARANCES SHALL BE MAINTAINED AT ALL TIMES. FIRE APPARATUS ACCESS ROADS SHALL BE IDENTIFIED UTILIZING AN APPROVED METHOD. (CFC 503)
8. "LAYOUT AND DETAILS OF THE FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED TO AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO SUBMITTING TO THE COUNTY OF FRESNO FOR PERMIT AND INSTALLATION. ONE SET OF APPROVED PLANS SHALL BE MAINTAINED ON THE JOB SITE AND ONE SET RETAINED BY THE COUNTY OF FRESNO." THE SPRINKLER SYSTEM SHALL BE INSTALLED, INSPECTED AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO ISSUANCE OF OCCUPANCY PERMIT. "THIS PROJECT HAS BEEN DESIGNED WITH A UNIFORM LOAD OF 2.0 POUNDS/S.F. TO SUPPORT THE FIRE SPRINKLER SYSTEM. ADDITIONALLY, I HAVE DESIGNED THE MAIN SUPPORT MEMBERS (PURLINS, FRAMES, JOIST, ETC.) TO SUPPORT CONCENTRATED LOADS OF LARGER SPRINKLER LINES."

SIGNED
ENGINEER LIC. #2663



LEGEND :

- PROPOSED
- EXISTING

NOTE: ALL RUNOFF FROM PROPOSED PROJECT TO BE RETAINED ON-SITE.

MASTER SITE DEVELOPMENT PLAN

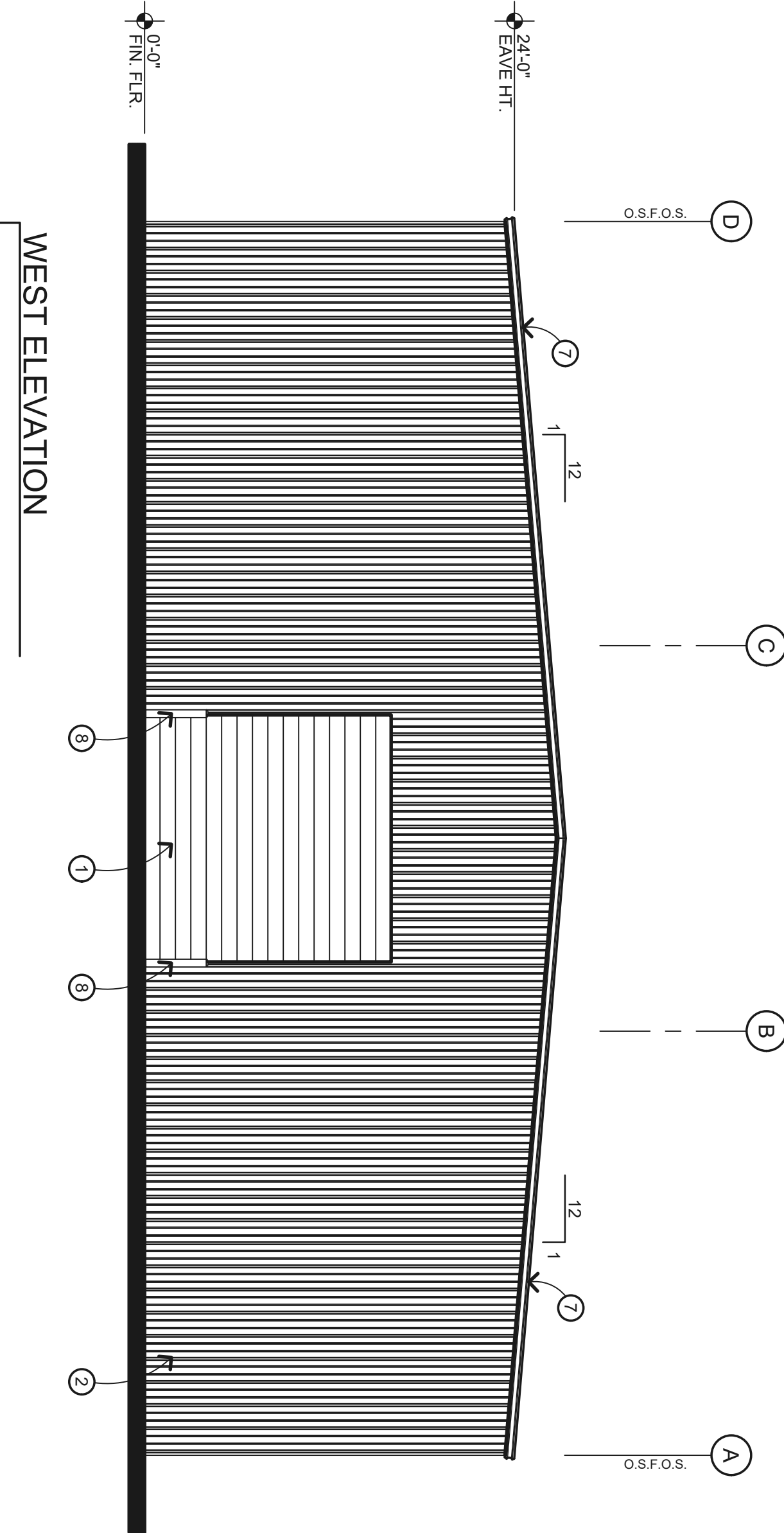
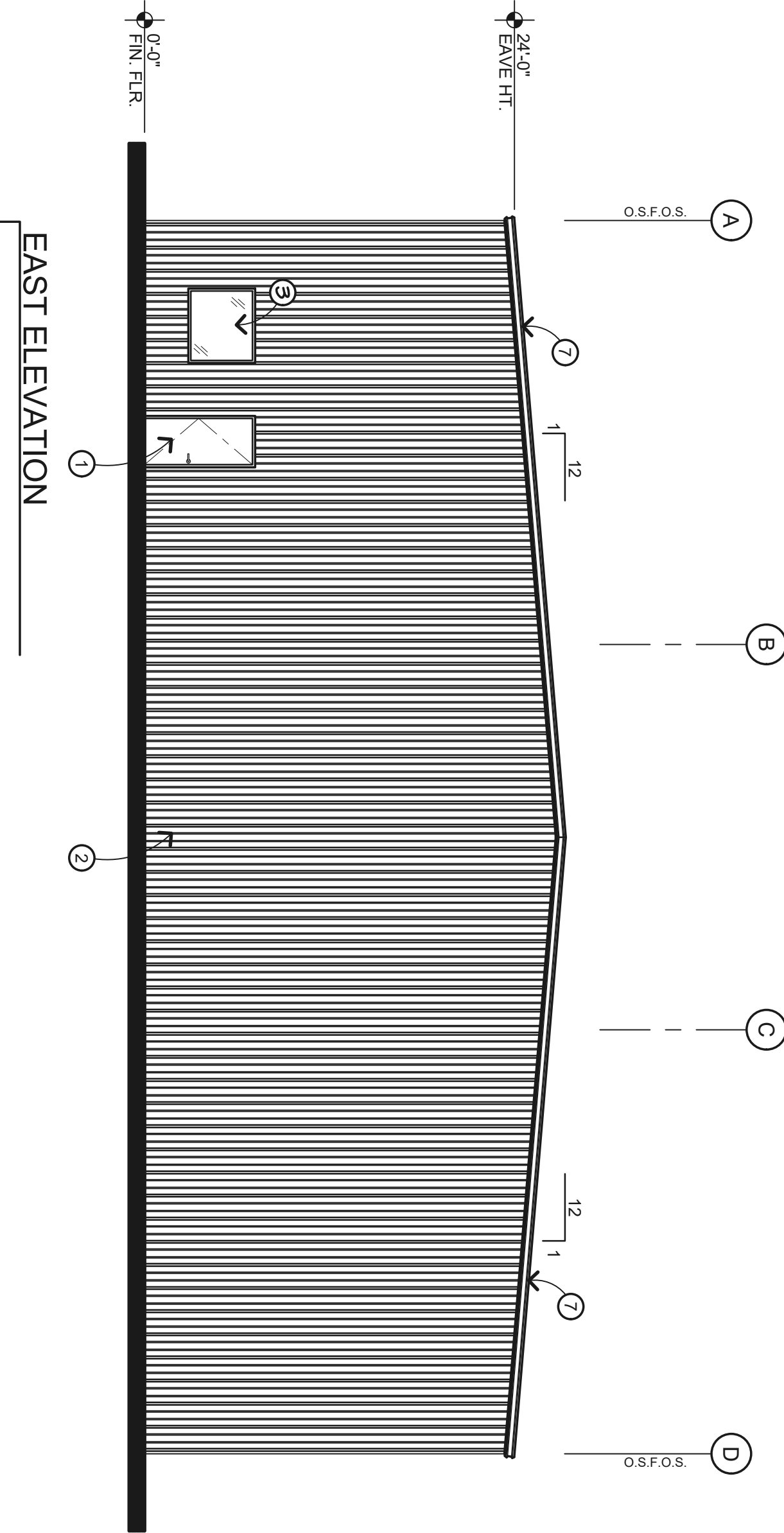
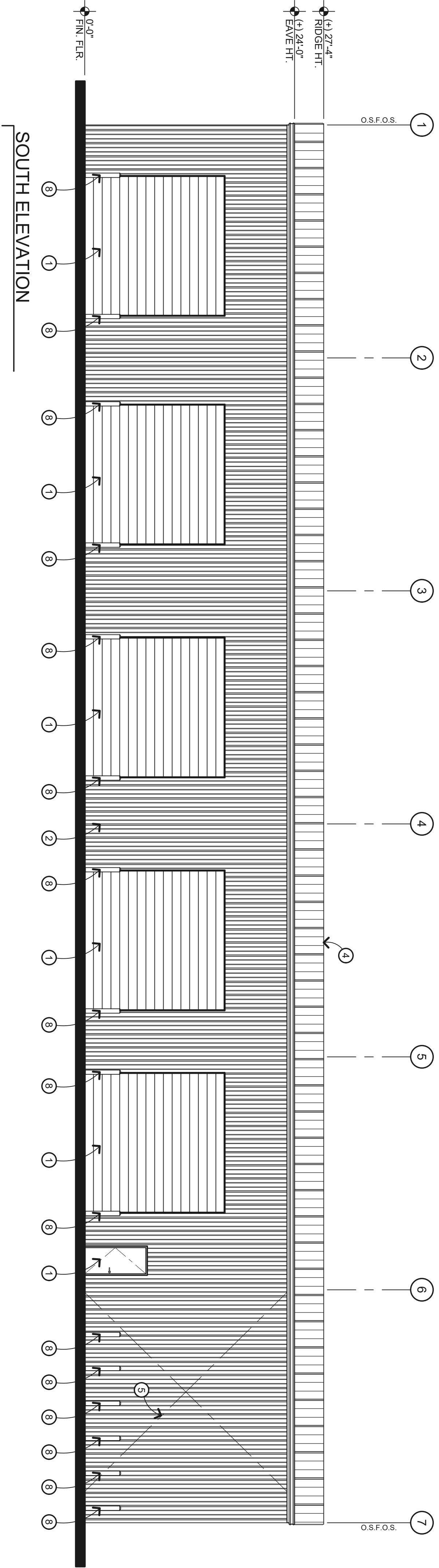
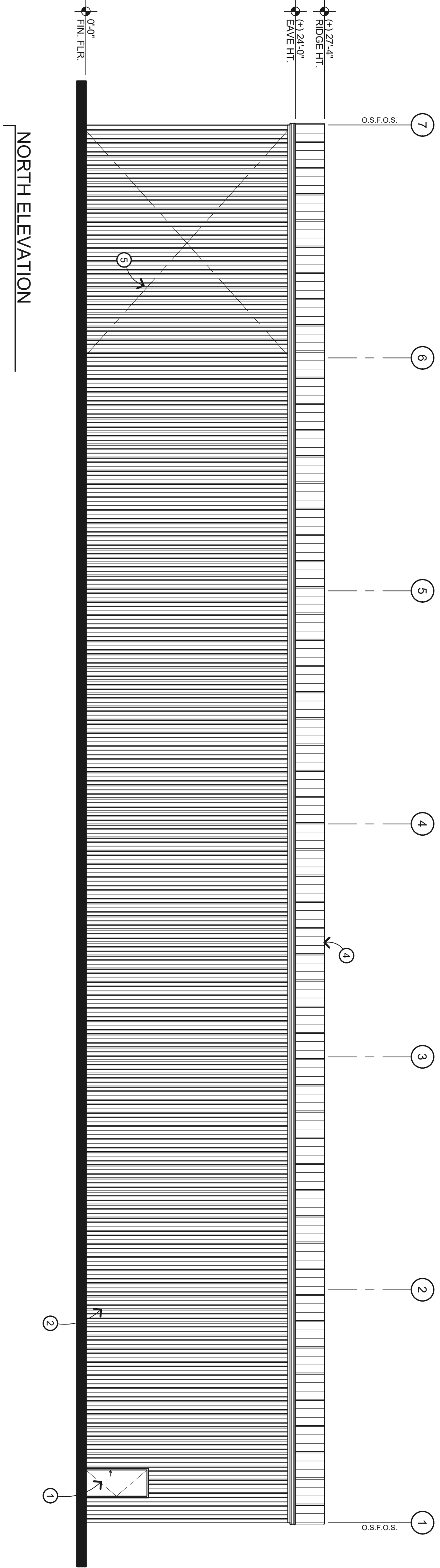
DESIGNED BY
GMA
GERALD MELE & ASSOCIATES, INC.
2037 N. FIRST ST., SUITE 110 FRESNO, CA 93702 (559)455-1411 gmaengineering.com
ENGINEERS • ARCHITECTS

PROJECT
CANOPY ADDITION

PROPOSED PROJECT FOR
MIKE JACKSON FARMS
10388 EAST DAVIS ST.
KINGSBURG, CA 93631
PHONE: (559) 897-3222
FAX: (559) 897-4754

No.	Issue/Revision	By	App.	Date

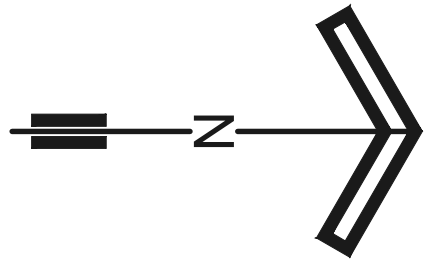
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Scale	1" = 150'-0"
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024.109
Dwg. No.	24109MSD
Sheet	A-1
Revision No.	



- EXTERIOR MATERIAL LIST:**
- | MARK | DESCRIPTION |
|------|----------------------------|
| 1 | DOOR - SEE FLOOR PLAN |
| 2 | METAL SIDING - BY M.B.M. |
| 3 | WINDOW - SEE FLOOR PLAN |
| 4 | METAL ROOFING - BY M.B.M. |
| 5 | WALL X-BRACING - BY M.B.M. |
| 6 | ROOF X-BRACING - BY M.B.M. |
| 7 | RAKE TRIM - BY M.B.M. |
| 8 | PIPE BOLLARD - SEE PLAN |

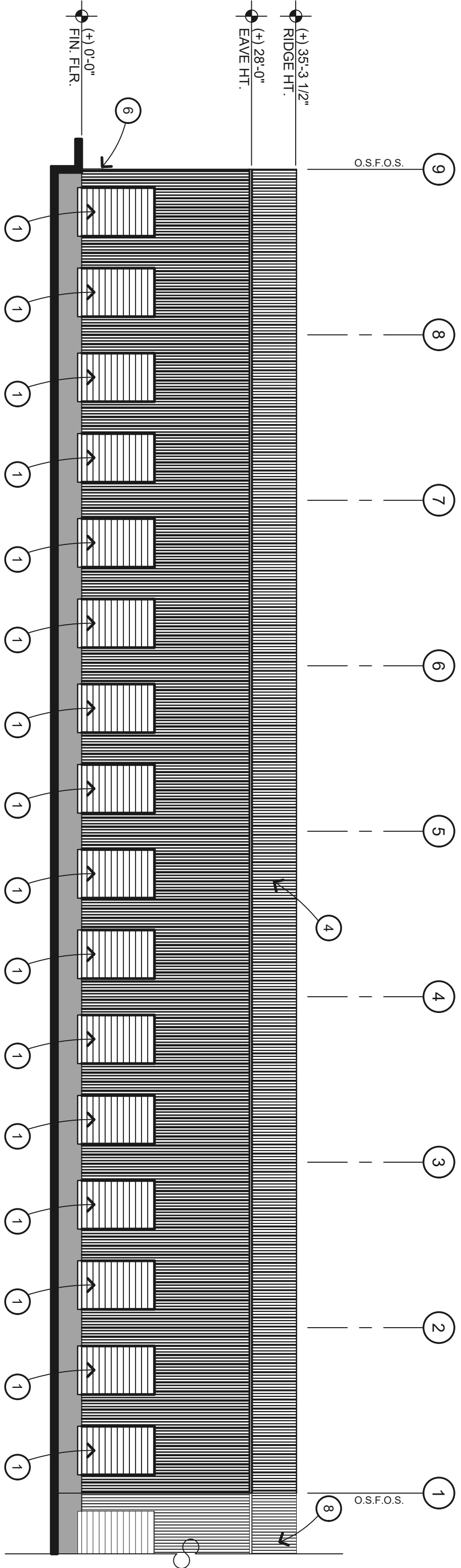
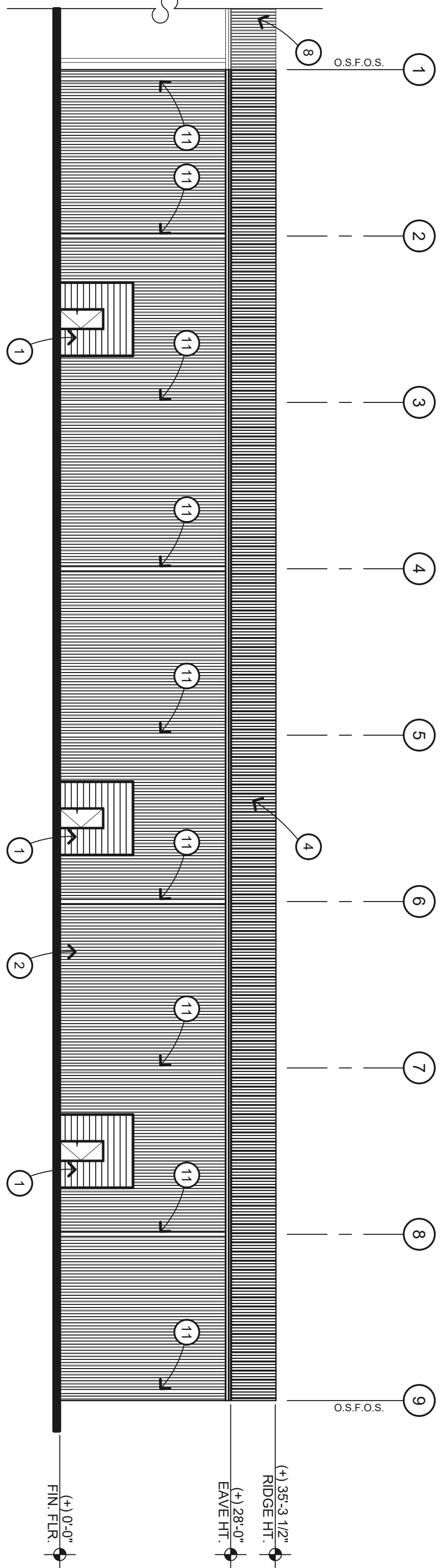
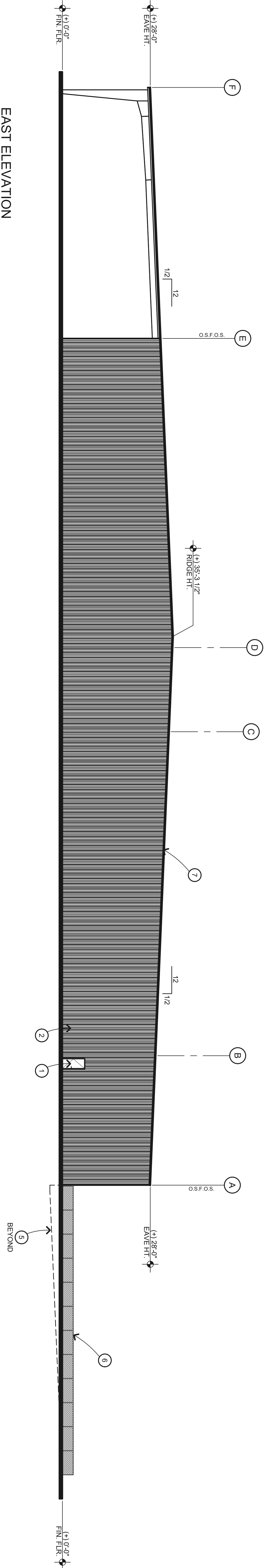
LEGEND :

OSF.O.S. ——— OUTSIDE FACE OF STEEL



EXTERIOR ELEVATIONS

PHASE 2 FARM SHOP BUILDING



- EXTERIOR MATERIAL LIST
- | MARK | DESCRIPTION |
|------|---------------------------|
| 1 | DOOR - SEE FLOOR PLAN |
| 2 | METAL SIDING - BY M.B.M. |
| 3 | NOT USED |
| 4 | METAL ROOFING - BY M.B.M. |
| 5 | LOADING DOCK |
| 6 | CHAIN LINK FENCE |
| 7 | RAKE TRIM - BY M.B.M. |
| 8 | EXISTING BUILDING BEYOND |
| 9 | NOT USED |
| 10 | NOT USED |
| 11 | COLUMN |

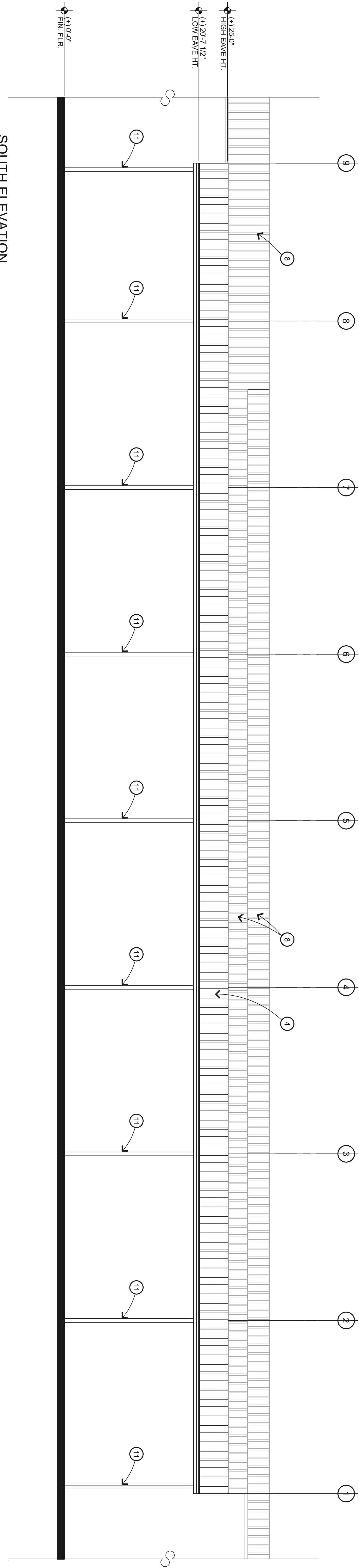
LEGEND :
O.S.F.O.S. ——— OUTSIDE FACE OF STEEL

EXTERIOR ELEVATIONS

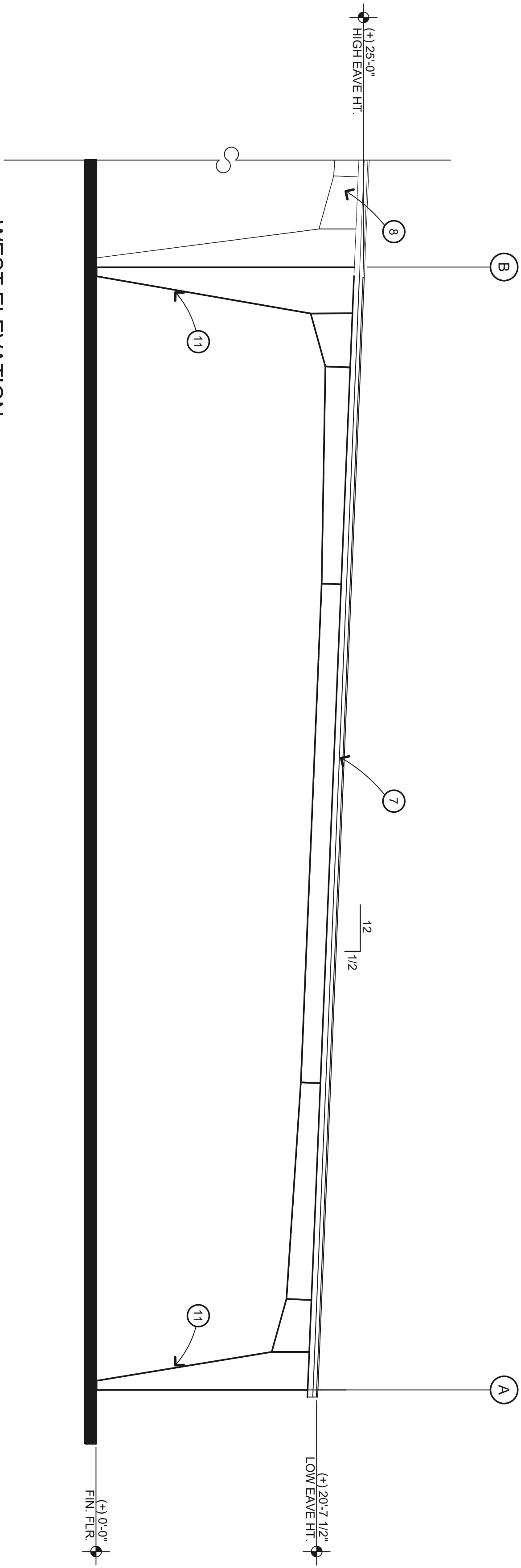
PHASE 2 COLD STORAGE BUILDING w/ CANOPY

No.	Issue/Revision	By	App.	Date

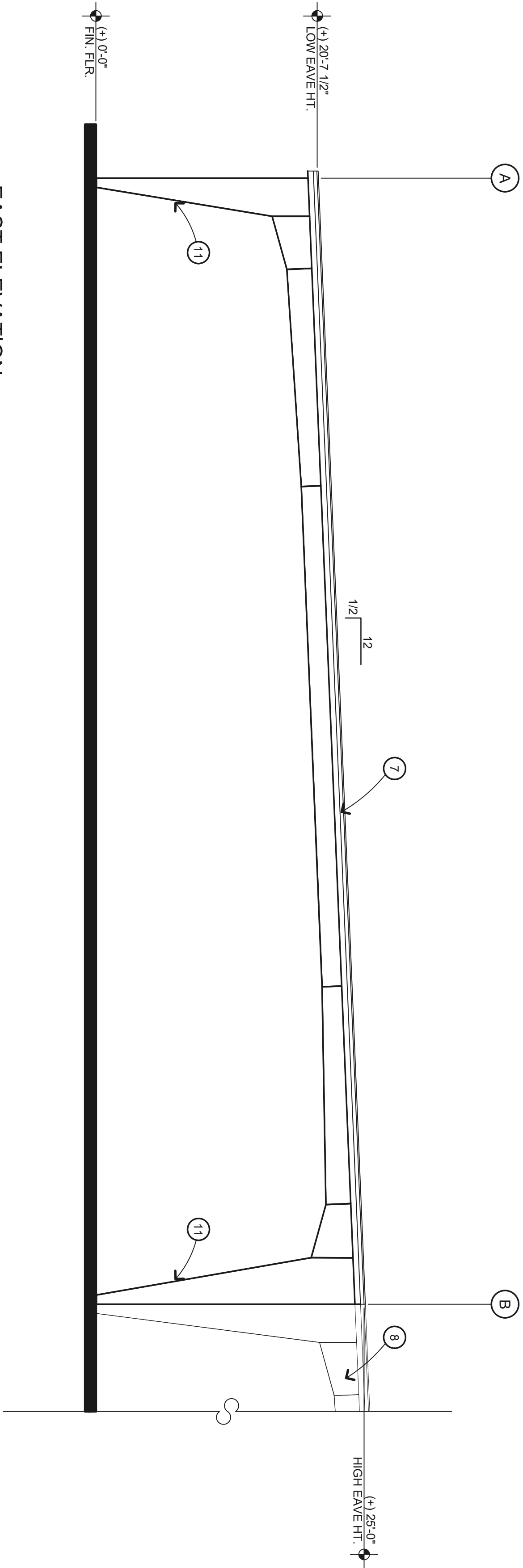
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Scale	1/16" = 1'-0"
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024-109
Dwg No.	24109ELV
Sheet	A-3.3
Revision No.	



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

EXTERIOR MATERIAL LIST	
MARK	DESCRIPTION
1	NOT USED
2	NOT USED
3	NOT USED
4	METAL ROOFING - BY M.B.M.
5	NOT USED
6	NOT USED
7	RAKE TRIM - BY M.B.M.
8	EXISTING CANOPY BEYOND
9	NOT USED
10	NOT USED
11	COLUMN

EXTERIOR ELEVATIONS

PHASE 2 CANOPY B

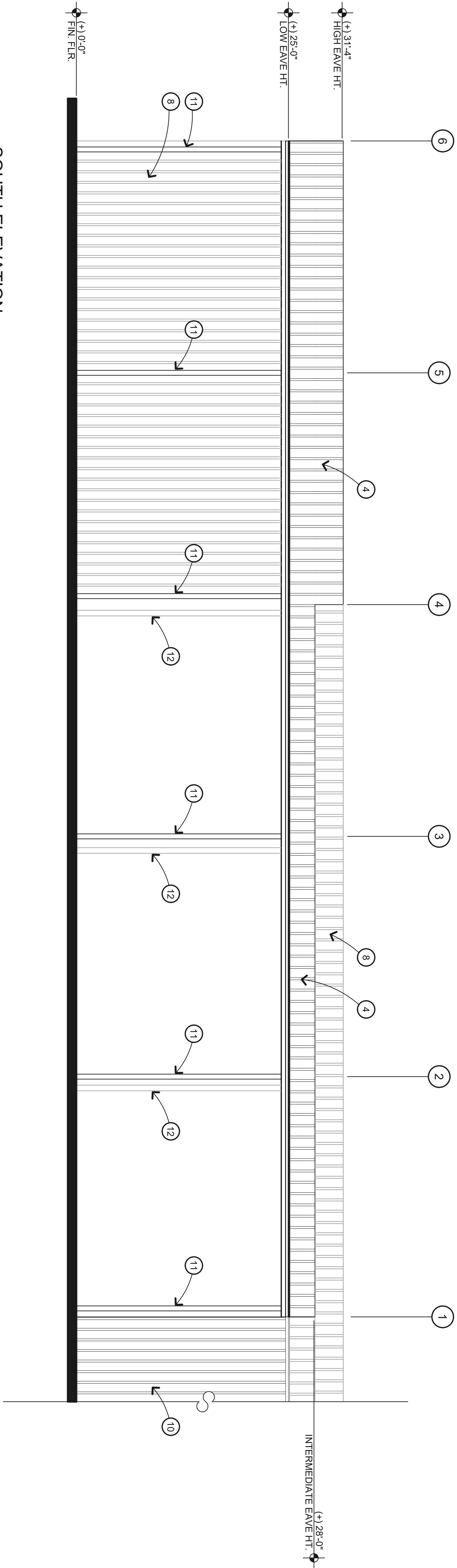
No.	Issue/Revision	By	App.	Date

PROPOSED PROJECT FOR	
MIKE JACKSON FARMS	
10693 EAST DAVIS ST. KINGSBURG, CA 93631 PHONE: (559) 897-3222 FAX: (559) 897-6754	

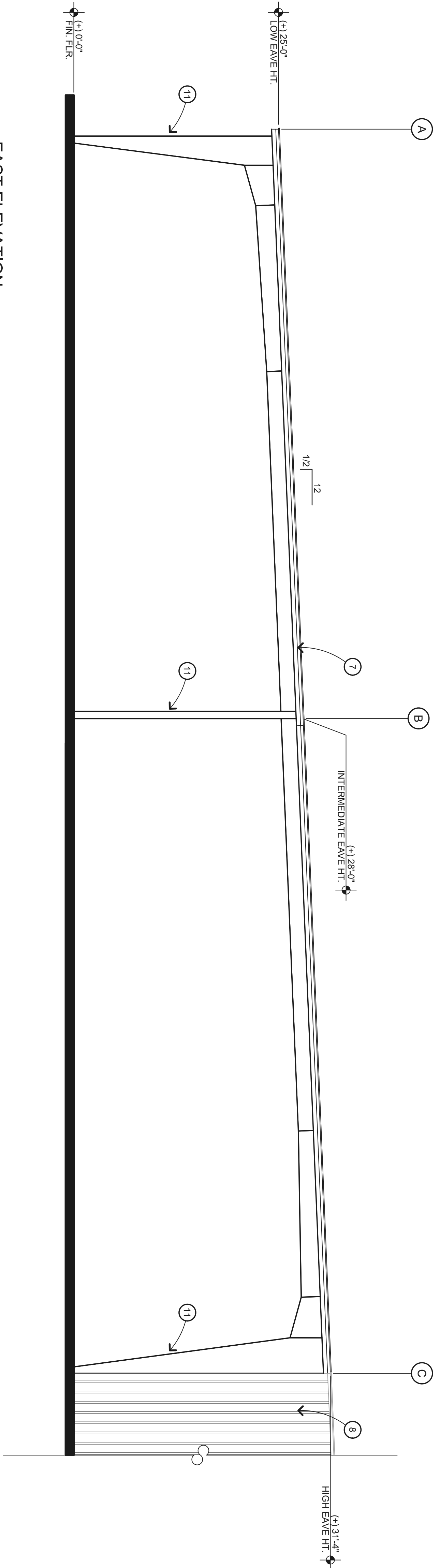
PROJECT
CANOPY ADDITION

DESIGNED BY
GMA GERALD MELE & ASSOCIATES, INC. 7337 N. FIRST ST., SUITE 110 FRESNO, CA 93720 (559)435-1411 gmaengineering.com ENGINEERS • ARCHITECTS

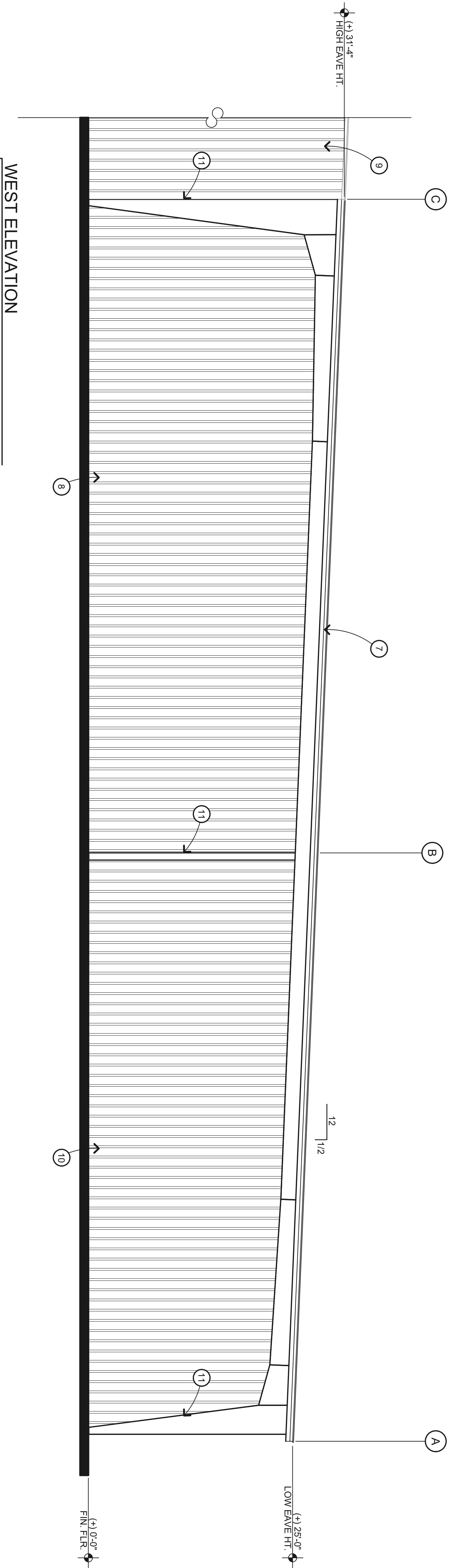
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Scale	1/8" = 1'-0"
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024-109
Dwg No.	24-109ELEV
Sheet	
Revision No.	A-3.2



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

MARK	DESCRIPTION
1	NOT USED
2	NOT USED
3	NOT USED
4	METAL ROOFING - BY M.B.M.
5	NOT USED
6	NOT USED
7	RADE TRIM - BY M.B.M.
8	EXISTING CANOPY BEYOND
9	EXISTING CANOPY IN FOREGROUND
10	PHASE 1 CANOPY
11	COLUMN
12	EXISTING COLUMN BEYOND

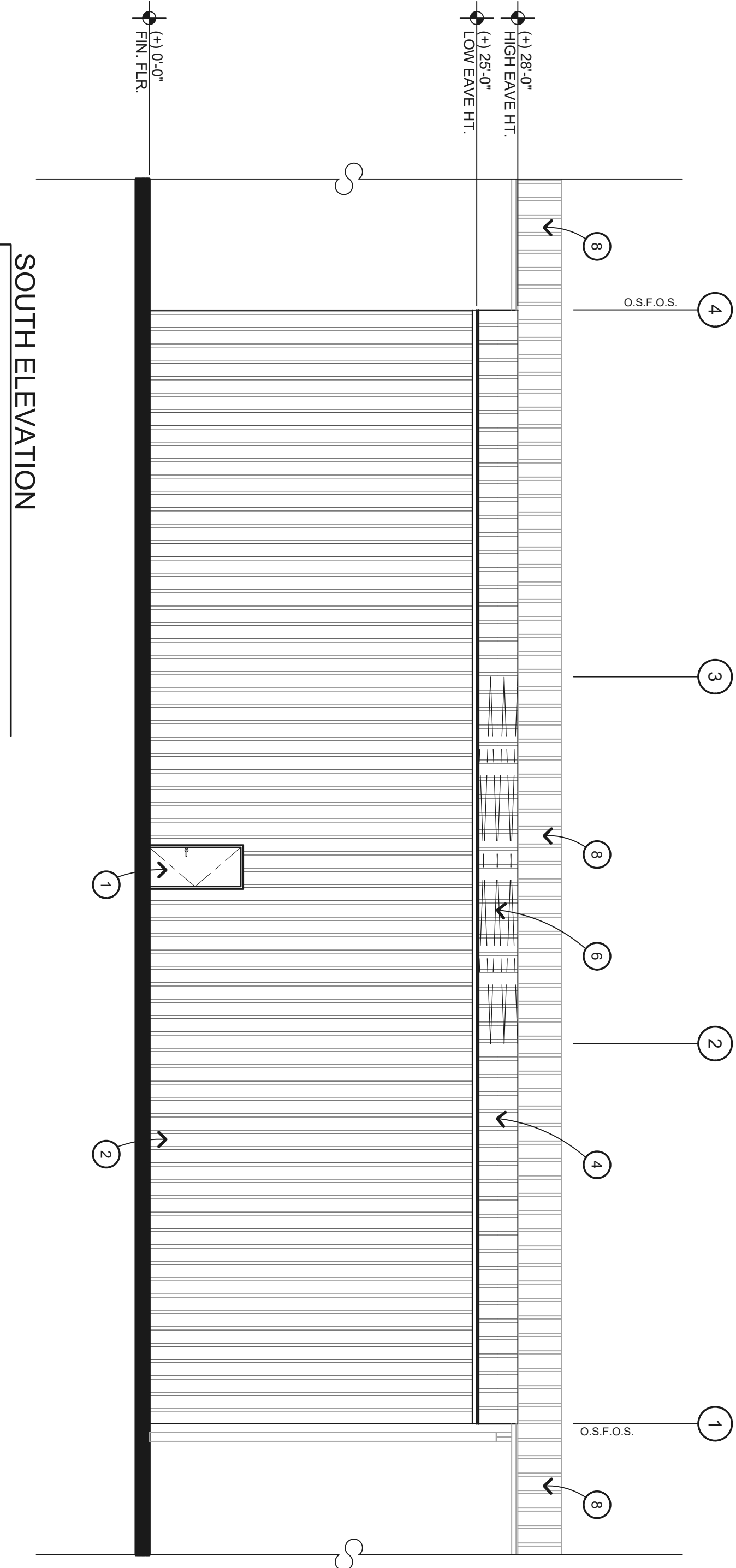
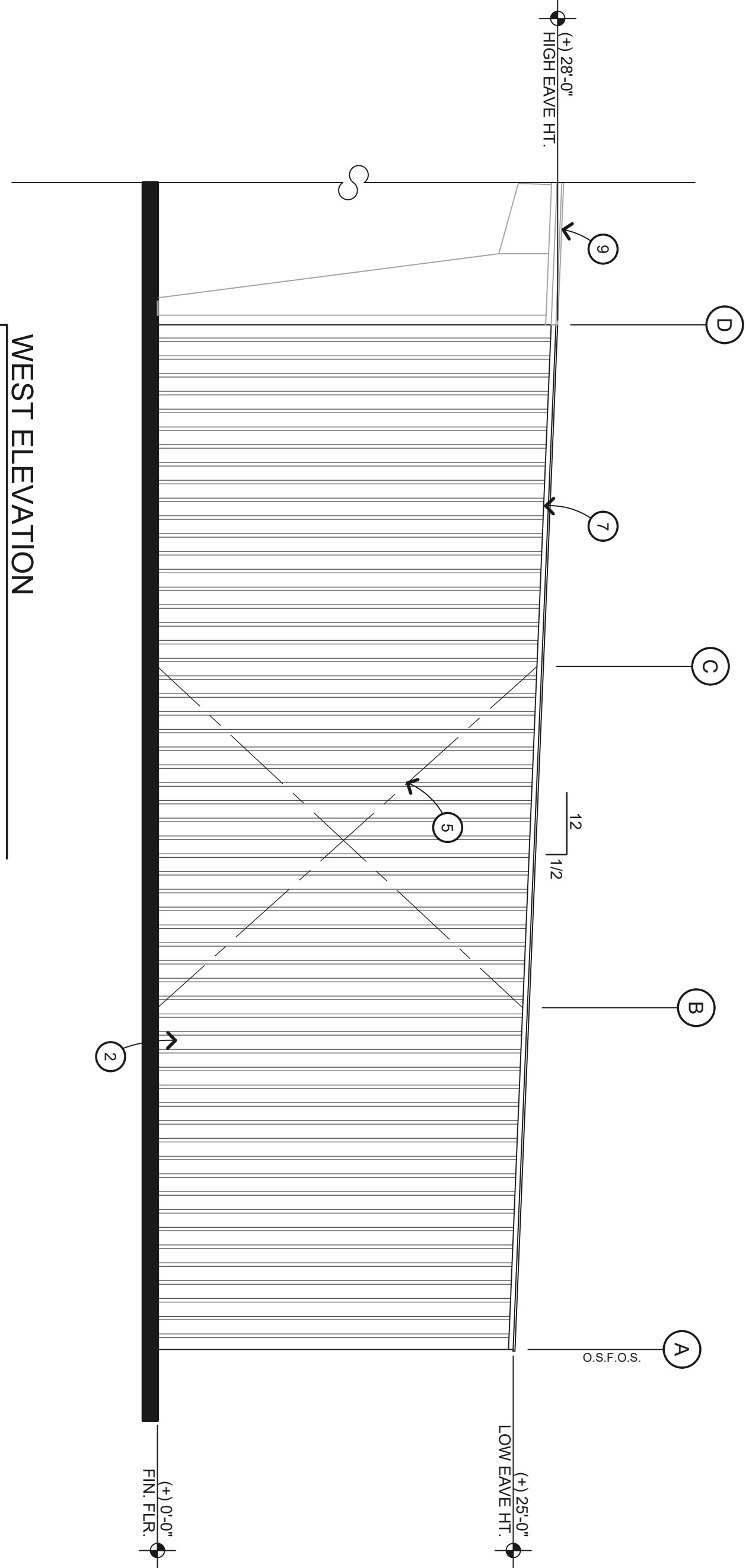
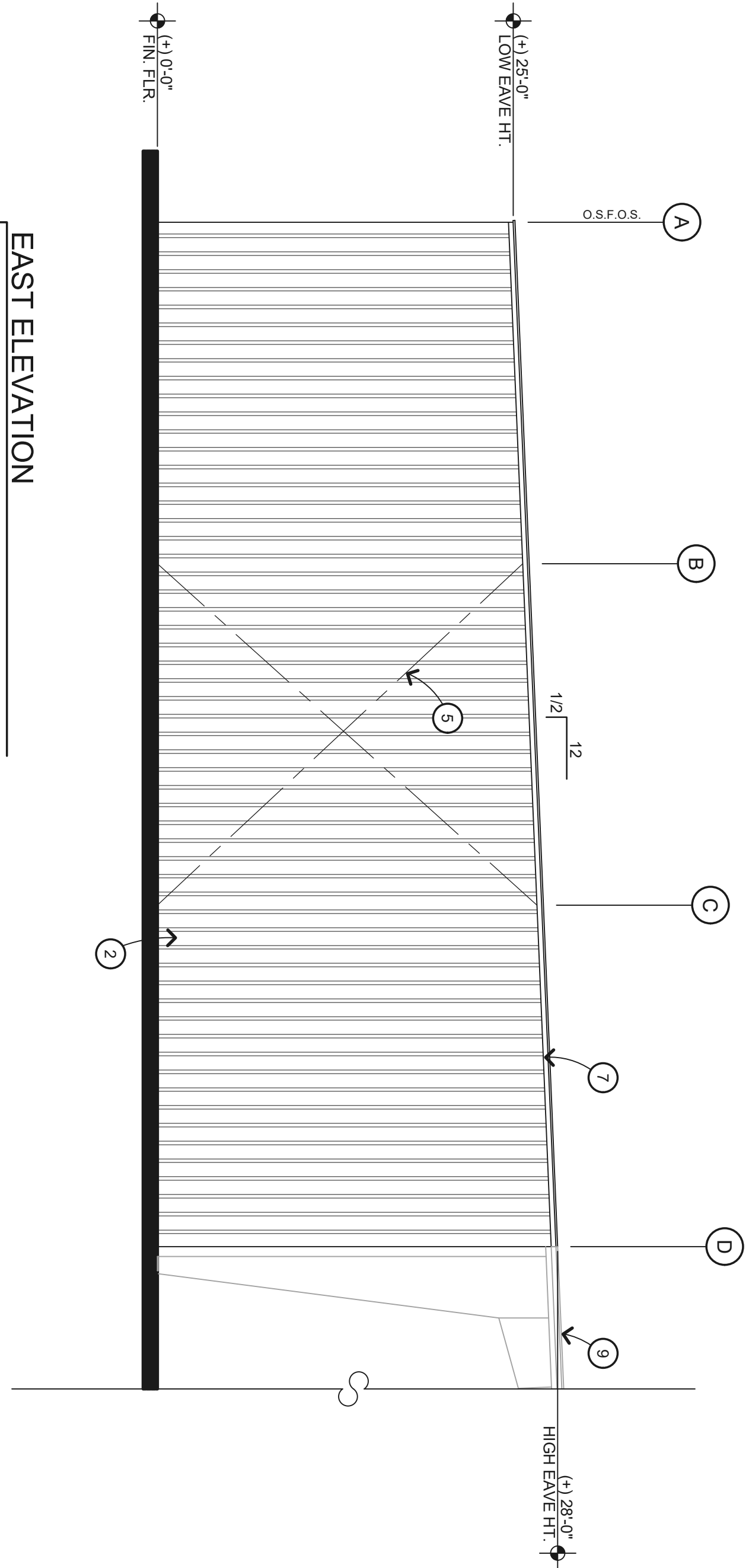
EXTERIOR MATERIAL LIST

EXTERIOR ELEVATIONS

PHASE 2 CANOPY A

No.	Issue/Revision	By	App.	Date

Date	1/08/25
Scale	1/8" = 1'-0"
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024-109
Dwg No.	24109ELV
Sheet	
Revision No.	A-3.1

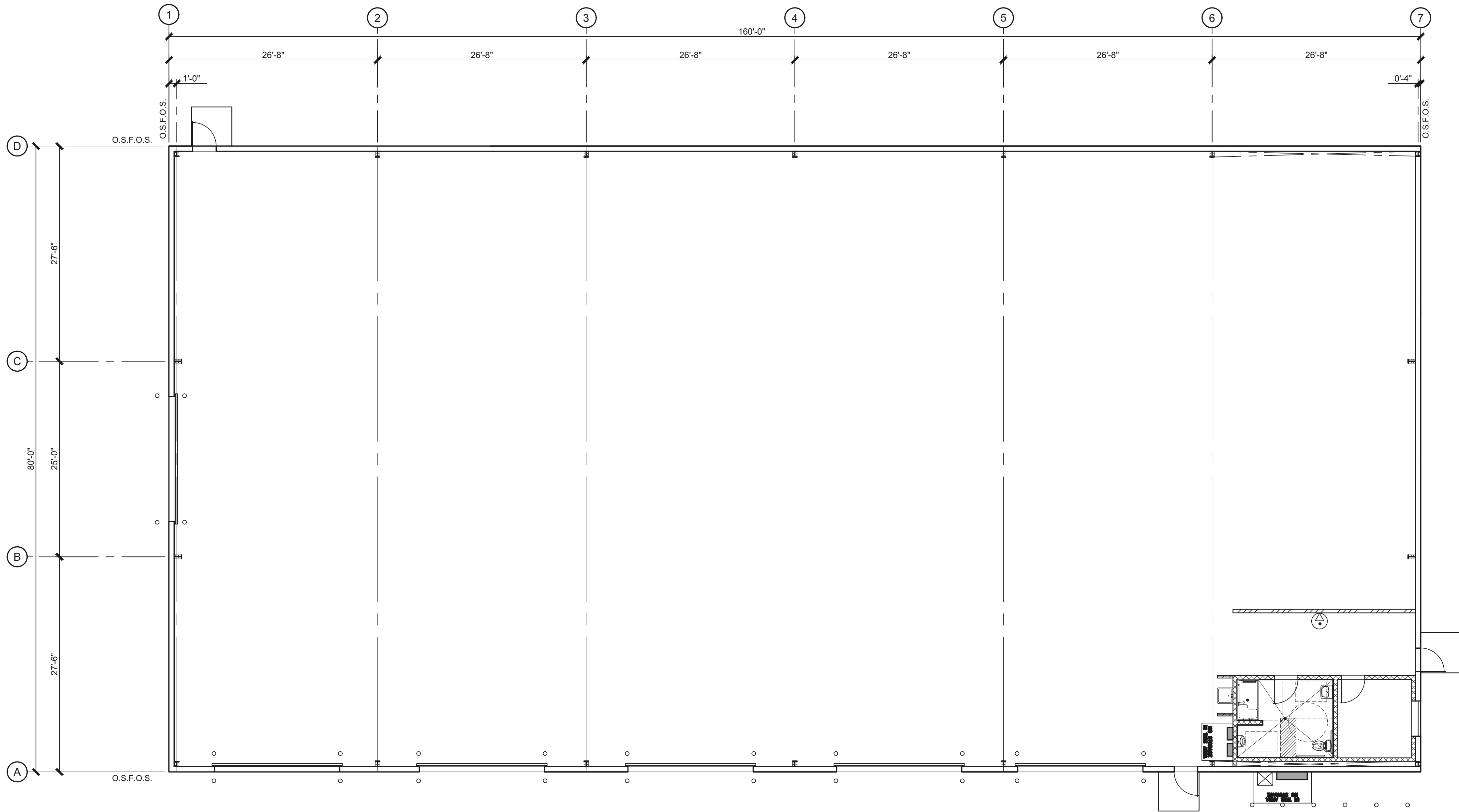


EXTERIOR MATERIAL LIST

MARK	DESCRIPTION
1	DOOR - SEE FLOOR PLAN
2	METAL SIDING - BY M.B.M.
3	NOT USED
4	METAL ROOFING - BY M.B.M.
5	WALL XBRACING - BY M.B.M.
6	ROOF XBRACING - BY M.B.M.
7	RAKE TRIM - BY M.B.M.
8	EXISTING CANOPY BEYOND
9	EXISTING CANOPY IN FOREGROUND

LEGEND :

OSF.O.S. ——— OUTSIDE FACE OF STEEL.

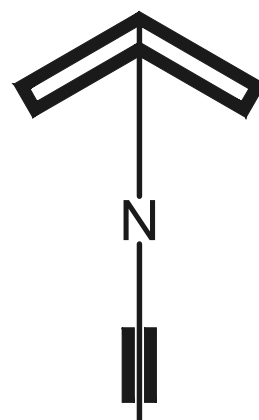


GENERAL FLOOR PLAN NOTES:

- SEE SHEET A-8 FOR DOOR AND GLAZING CODE REQUIREMENTS.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY (DECAL) AT MAIN ENTRANCE DOOR (5' SQ.).
- CONTRACTOR TO VERIFY ROUGH OPENING SIZES FOR ALL DOORS AND WINDOWS, AND COORDINATE WITH SUPPLIER PRIOR TO ORDERING.
- USE MINIMUM 60" X 80" LANDING AT ALL EXTERIOR DOORS SWINGING ONTO A LANDING AND A 48" X 48" LANDING AT A DOOR THAT SWINGS AWAY FROM LANDING. DOOR LANDINGS SHALL HAVE A SURFACE THAT IS STABLE, FIRM, AND SLIP RESISTANT. SLOPE AT LANDINGS TO BE 1:48 (2% SLOPE) MAX. IN ANY DIRECTION. CHANGES IN LEVEL OTHER THAN THE 1" HIGH MAX. CHANGE IN LEVEL AT DOOR THRESHOLD ARE NOT PERMITTED. (CBC 2022 SECTION 11B-404.2.4.4, 11B-302 AND 11B-303) EXTERIOR DOOR LANDING TO HAVE A MINIMUM 24" OF MANEUVERING SPACE EXTENDING FROM THE DOOR LATCH EDGE WHERE THE DOOR SWINGS OUT (CBC 2022 TABLE 11B-404.2.4.1).
- COORDINATE ROOM FINISHES w/ OWNER.
- PROVIDE MINIMUM 2A:10B-C PORTABLE FIRE EXTINGUISHERS PER NFPA-10 AT A RATE OF ONE EXTINGUISHER PER 3,000 SQ. FT. OR FRACTION THEREOF, WITH TRAVEL DISTANCE NOT TO EXCEED 75 FT. FROM ANY POINT TO A FIRE EXTINGUISHER.
- INTERNATIONAL "NO SMOKING" SYMBOL IN RED OR 1 INCH HIGH LETTERS SAYING "NO SMOKING". THE SIGN SHALL BE A MINIMUM OF 40 SQUARE INCHES IN SIZE AND LOCATED 60 INCHES ABOVE THE FINISHED FLOOR.
- SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48" MINIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATION SHALL BE SUCH THAT A PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR. (CBC 11B-703.1)
- THE COLOR AND DESIGN OF LETTERING, ARROWS AND OTHER SYMBOLS ON EXIT SIGNS SHALL BE IN HIGH CONTRAST WITH THEIR BACKGROUND. WORDS ON THE SIGN SHALL BE IN BLOCK LETTERS 6" IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4". SIGNS SHALL BE INTERNALLY ILLUMINATED OR SHALL BE OF AN APPROVED SELF-LUMINOUS TYPE. WHEN THE LUMINANCE ON THE FACE OF AN EXIT SIGN IS FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5.0 FOOTCANDLES FROM EITHER LAMP. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE. MIN. 90 MINUTE BACK-UP POWER REQUIRED.
- THE PATH OF TRAVEL TO ANY EXIT SHALL NOT BE BLOCKED. (2022 CBC SECTION 1003.6)
- OCCUPANT LOAD SIGNAGE TO BE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. FOR INTENDED CONFIGURATIONS. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT.

LEGEND :

- METAL BUILDING WALL - BY M.B.M.
- 2x6 DF-L #2 GRADE WOOD STUD WALLS AT 16"o.c. w/ DF-L #2 GRADE DBL. TOP-PLATES AND w/ 1" GYP BD. EA. SIDE AND R-19 INSULATION
- 2x6 DF-L #2 GRADE WOOD STUD WALLS AT 16"o.c. w/ DF-L #2 GRADE DBL. TOP-PLATES AND w/ 1" GYP BD. EA. SIDE
- 2x4 WOOD STUDS AT 16"o.c. PARTIAL HT. WALL w/ 1" GYP. BD. EA. SIDE - T.O. WALL (+) 3'-6" SEE DTL. 3/A-5
- PORTABLE FIRE EXTINGUISHERS PER NFPA-10, 2A:10B-C - SEE GEN. FLOOR PLAN NOTE 14/A-2
- INDICATES ILLUMINATED EXIT SIGN - SEE GENERAL FLOOR PLAN NOTE 28/A-2
- INDICATES TACTILE EXIT SIGN - SEE DETAIL 1/A-5
- INDICATES FLOOR DRAIN - SEE PLUMBING PLAN
- INDICATES EXHAUST FAN - MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE. AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- P.E. INDICATES PRIMARY ENTRANCE
- O.S.F.O.S. OUTSIDE FACE OF STEEL



BUILDING COORDINATION PLAN

PHASE 2 FARM SHOP BUILDING

DESIGNED BY

GMA GERALD MELE & ASSOCIATES, INC.
7337 N. FIRST ST., SUITE 110 PESQUERA, CA 92061 (659)455-1411 gma@mele.com

CANOPY ADDITION

PROJECT

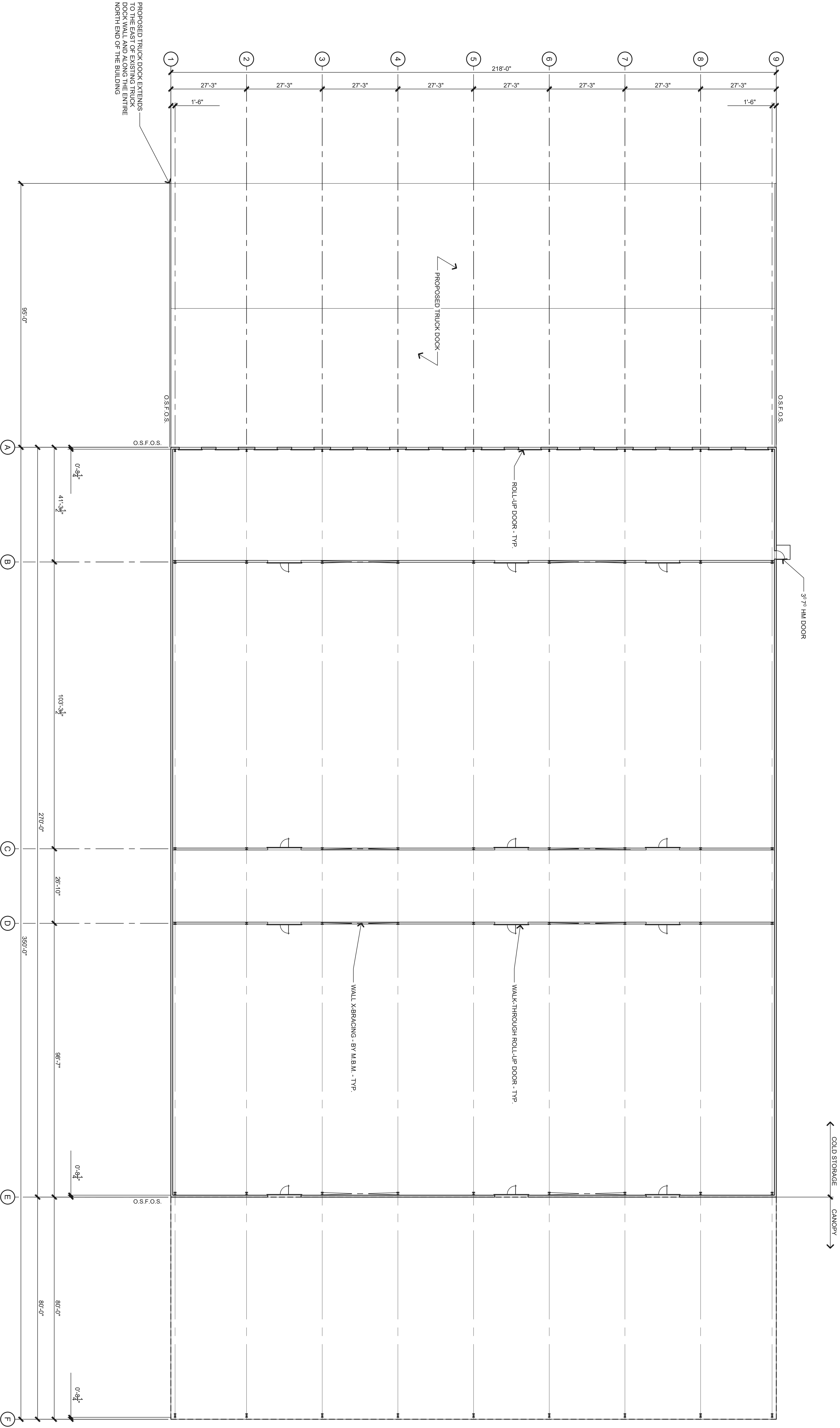
PROPOSED PROJECT FOR

MIKE JACKSON FARMS

10388 EAST RAVENS ST.
KINGSBURG, CA 98381
PHONE: (509) 897-3222
FAX: (509) 897-4754

No.	Issue/Revision	By	App.	Date

Date	1/08/25
Scale	1/8" = 1'-0"
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024.109
Dwg. No.	24109BCP
Sheet	A-2.4
Revision No.	



GENERAL FLOOR PLAN NOTES:

- SEE SHEET A-8 FOR DOOR AND GLAZING CODE REQUIREMENTS.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY (DECAU) AT MAIN ENTRANCE DOOR (P. 50).
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY (DECAU) AT MAIN ENTRANCE DOOR (P. 50).
- USE MINIMUM 60" X 80" LANDING AT ALL EXTERIOR DOORS SWINGING ONTO A LANDING AND A 48" X 48" LANDING AT A DOOR THAT SWINGS AWAY FROM LANDING. DOOR LANDING SHALL HAVE A SURFACE THAT IS STABLE, FIRM, AND SLIP RESISTANT. THE SURFACE SHALL BE FINISHED WITH A NON-SKID FINISH. THE FINISH SHALL BE MAINTAINED AT ALL TIMES. THE FINISH SHALL BE MAINTAINED AT ALL TIMES. THE FINISH SHALL BE MAINTAINED AT ALL TIMES.
- PROVIDE MINIMUM 24" (635 mm) CLEARANCE FROM THE DOOR TO THE LANDING. THE CLEARANCE SHALL BE MAINTAINED AT ALL TIMES. THE CLEARANCE SHALL BE MAINTAINED AT ALL TIMES. THE CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
- PROVIDE MINIMUM 24" (635 mm) CLEARANCE FROM THE DOOR TO THE LANDING. THE CLEARANCE SHALL BE MAINTAINED AT ALL TIMES. THE CLEARANCE SHALL BE MAINTAINED AT ALL TIMES. THE CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
- INTERNATIONAL NO SMOKING SYMBOL IN RED OR 1" (25 mm) HIGH LETTERS SAYING "NO SMOKING". THE SIGN SHALL BE A MINIMUM 18" (457 mm) X 18" (457 mm) IN SIZE. THE SIGN SHALL BE MAINTAINED AT ALL TIMES. THE SIGN SHALL BE MAINTAINED AT ALL TIMES. THE SIGN SHALL BE MAINTAINED AT ALL TIMES.
- SURFACE MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND. SURFACE MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND. SURFACE MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND.
- THE PATH OF TRAVEL TO ANY EXIT SHALL NOT BE BLOCKED. (2022 CBC SECTION 1003.6)
- OCCUPANT LOAD SIGNAGE TO BE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY. THE SIGN SHALL BE MAINTAINED AT ALL TIMES. THE SIGN SHALL BE MAINTAINED AT ALL TIMES. THE SIGN SHALL BE MAINTAINED AT ALL TIMES.

LEGEND :

- METAL BUILDING WALL - BY M.B.M.
- INTERIOR WALL
- O.S.F.O.S. - OUTSIDE FACE OF STEEL



DESIGNED BY

GMA

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7337 N. FIRST ST., SUITE 110 FRESNO, CA 93720 (559)435-1411 gmaengineering.com
ENGINEERS • ARCHITECTS

PROJECT

CANOPY ADDITION

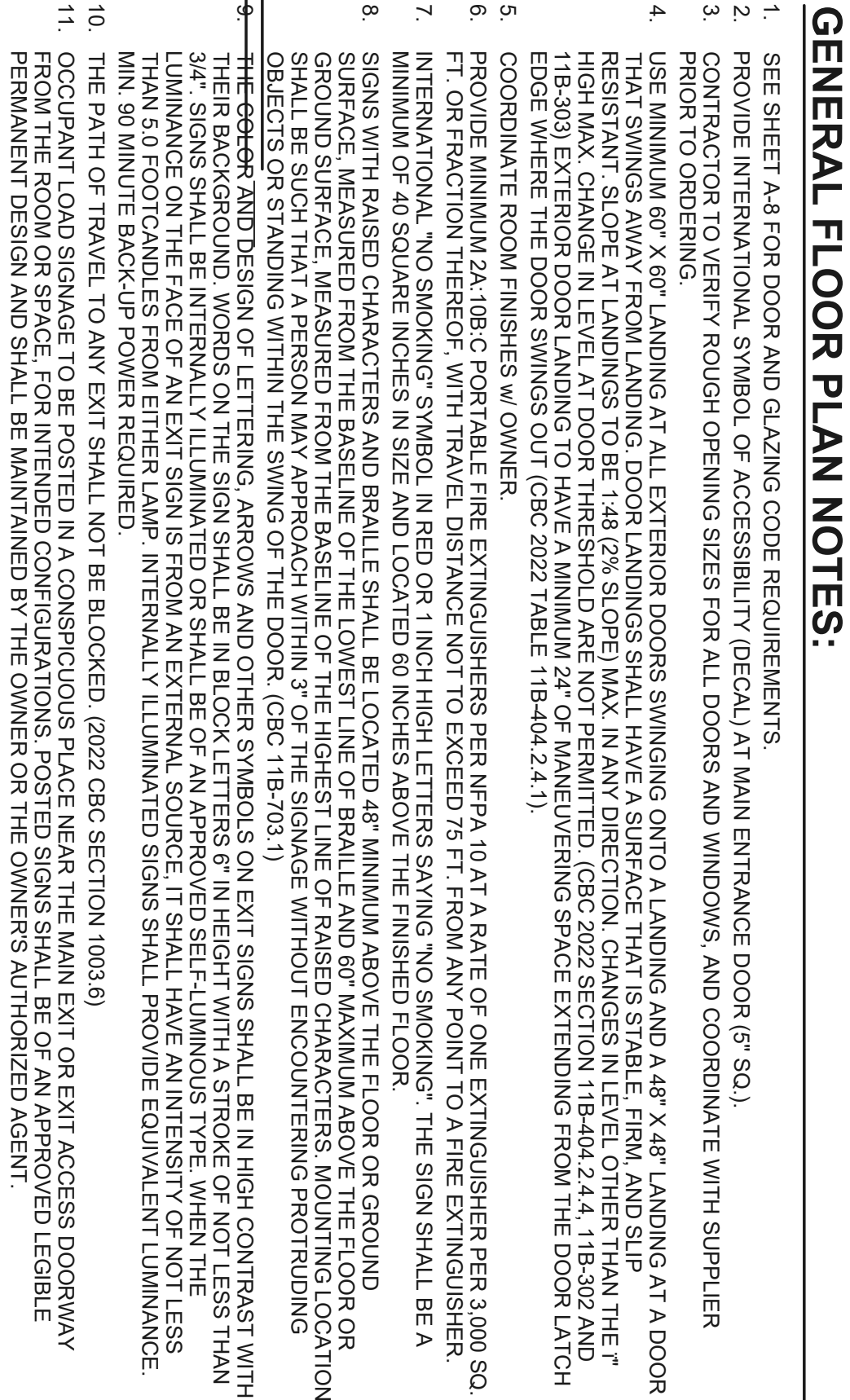
PROPOSED PROJECT FOR

MIKE JACKSON FARMS

10893 EAST DAVIS ST.
KINGSBURG, CA 93631
PHONE: (559) 897-3222
FAX: (559) 897-6754

No.	Issue/Revision	By	App.	Date

Date	1/10/25
Scale	1/16" = 1'-0"
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024-109
Dwg No.	24109BCP
Sheet	A-2.3
Revision No.	

[illegible]

- [illegible]



No.	Issue/Revision	By	App.	Date

PROPOSED PROJECT FOR

MIKE JACKSON FARMS

10693 EAST DAVIS ST.
KINGSBURG, CA 93631
PHONE: (559) 897-3222
FAX: (559) 897-6754

PROJECT

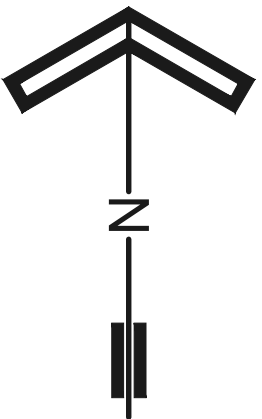
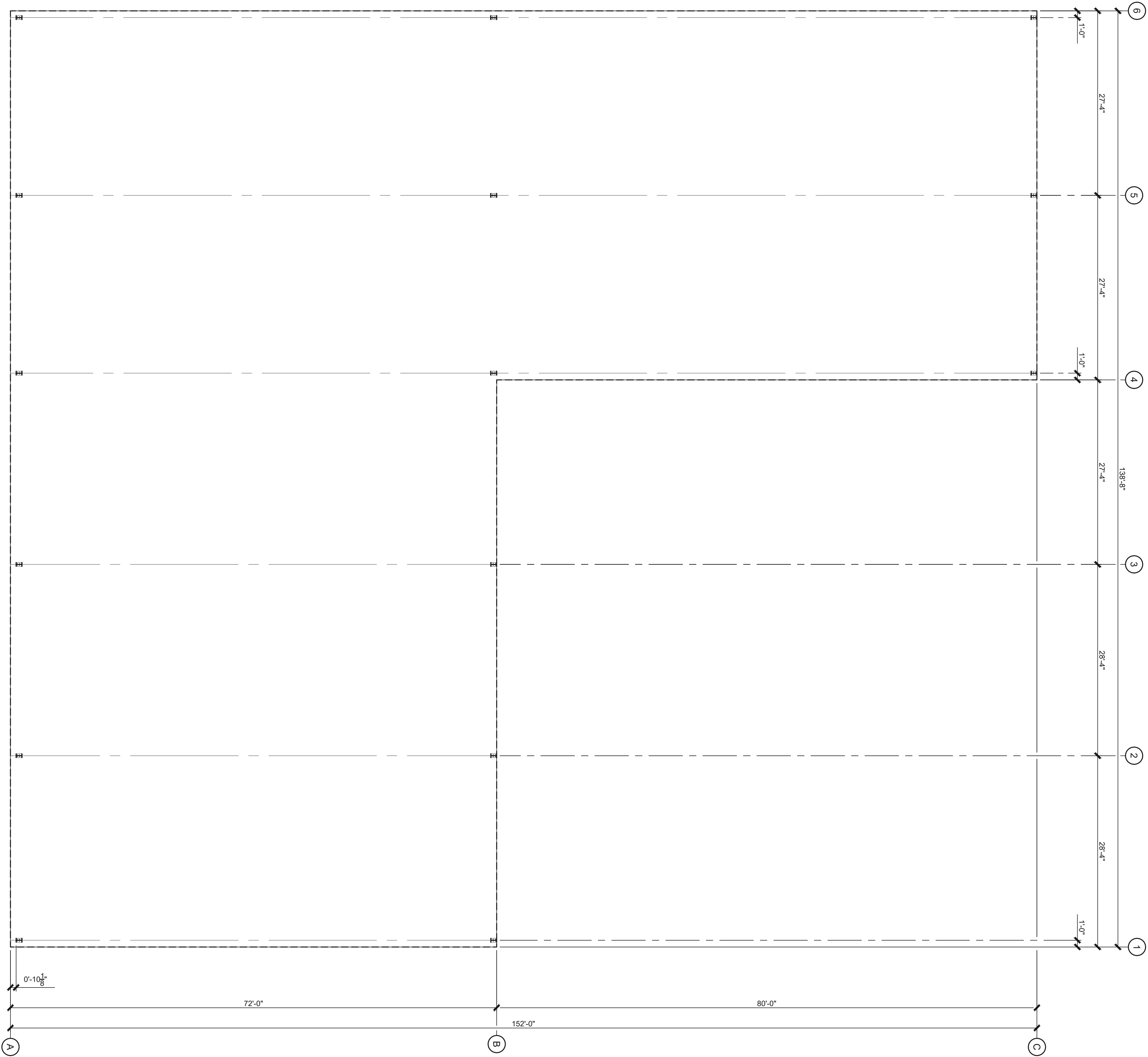
CANOPY ADDITION

DESIGNED BY

GMA **GERALD MELE & ASSOCIATES, INC.**
7337 N. FIRST ST., SUITE 110 FRESNO, CA. 93720 (559)435-1411 gme@gmeering.com

ENGINEERS • ARCHITECTS

1. SEE SHEET "A8 FLOOR AND GLAZING CODE REQUIREMENTS".
2. INTERNATIONAL SYMBOL OF ACCESSIBILITY (IDEA) AT MAIN ENTRANCE DOOR (6" S.O.).
3. CONTRACTOR TO VERIFY HORIZONTAL OPENING SIZES FOR ALL DOORS AND WINDOWS, AND COORDINATE WITH SUPPLIER.
4. MINIMUM 9'6" X 8'0" LANDING AT ALL EXTERIOR DOORS SWINGING OUTTO A LANDING AND A 4'6" X 4" LANDING AT A DOOR THAT SWINGS AWAY FROM LANDING. DOOR LANDINGS SHALL HAVE A SURFACE THAT IS STABLE, FIRM, AND SLIP RESISTANT. CHANGE IN LEVEL DOORS OR THRESHOLDS DO NOT PERMIT DIFFERENT LEVEL ORINGS. (104-202 AND 118-303) EXTERIOR DOOR LANDINGS TO HAVE A MINIMUM 24" OF MAINTENANCE SPACE EXTENDING FROM THE DOOR LATCH SIDE.
5. DOOR THRESHOLDS SHALL NOT EXCEED 1/2" (104-2.01.2).
6. PROVIDE MINIMUM 24" RISE OR PORTABLE FIRE EXTINGUISHERS PER NFPA 10, AT A RAMP OR ONE EXTINGUISHER PER 3,000 S.F. OR FRACTION THEREOF, WITH TRAVEL DISTANCE NOT TO EXCEED 75' FROM ANY RAMP TO A FIRE EXTINGUISHER.
7. INTERNATIONAL AND SMOKING SYMBOL, MINIMUM 6" X 10" HIGH LETTERS SAYING "NO SMOKING". THE SIGN SHALL BE A SIGN WITH RAISED CHARACTERS AND BALLS SHALL BE LOCATED 4" MINIMUM ABOVE THE FLOOR OR GROUND SURFACE MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BALLS AND 9" MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE.
8. SIGN SHALL BE SUCH THAT A PERSON ANY APPROACH WITHIN 3' OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR. (CFC 118-703.1)
9. THE ARCHITECT'S RESPONSIBILITY IS TO ENSURE THAT ALL SIGNAGE IS IN ACCORDANCE WITH THE CITY OF LOS ANGELES SIGNAGE ORDINANCE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL SIGNAGE. THE CITY OF LOS ANGELES SIGNAGE ORDINANCE (118-703.1) SHALL BE THE BASIS FOR THE DESIGN OF ALL SIGNAGE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL SIGNAGE. THE CITY OF LOS ANGELES SIGNAGE ORDINANCE (118-703.1) SHALL BE THE BASIS FOR THE DESIGN OF ALL SIGNAGE.
10. THE PATH OF TRAVEL TO ANY RAMP SHALL NOT BE BLOCKED. (2022 CBC SECTION 1003.0)
11. FROM THE ROOF OR SPACE FOR INTENDED CONFIGURATIONS, POSTED SIGNS SHALL BE PLACED IN AN APPROPRIATE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT.



BUILDING COORDINATION PLAN

No.	Issue/Revision	By	App.	Date

PROPOSED PROJECT FOR

MIKE JACKSON FARMS

10693 EAST DAVIS ST.
KINGSBURG, CA 93631
PHONE: (559) 897-3222
FAX: (559) 897-6754

PROJECT

CANOPY ADDITION

DESIGNED BY

GMA **GERALD MELE & ASSOCIATES, INC.**
7337 N. FIRST ST., SUITE 110 FRESNO, CA. 93720 (209)435-1411 gmaengineering.com

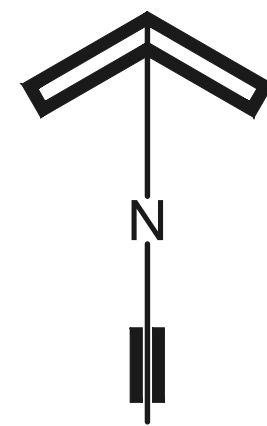
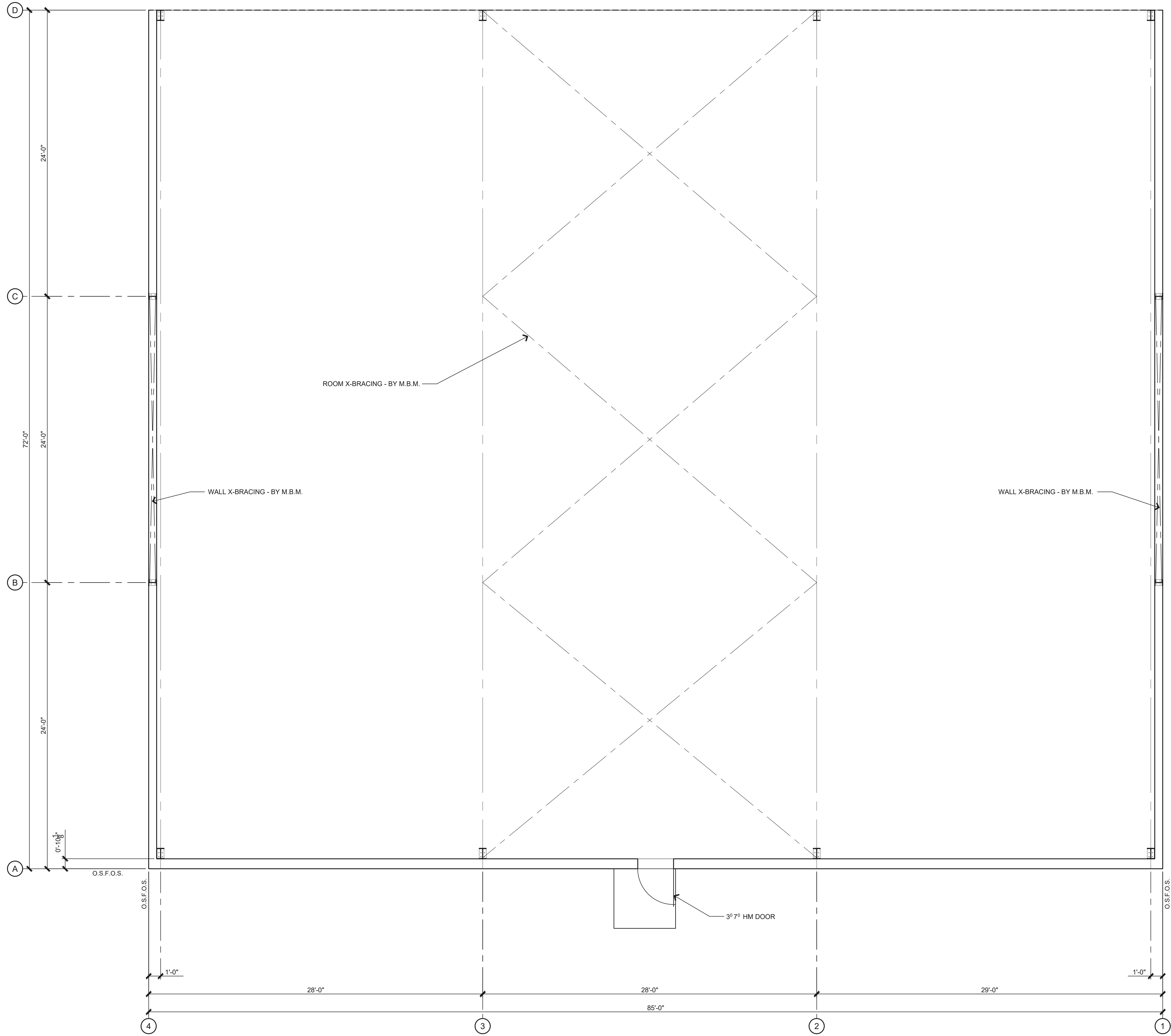
ENGINEERS • ARCHITECTS

GENERAL FLOOR PLAN NOTES:

- SEE SHEET A-8 FOR DOOR AND GLAZING CODE REQUIREMENTS.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY (DECAL) AT MAIN ENTRANCE DOOR (5' SQ.).
- CONTRACTOR TO VERIFY ROUGH OPENING SIZES FOR ALL DOORS AND WINDOWS, AND COORDINATE WITH SUPPLIER PRIOR TO ORDERING.
- USE MINIMUM 60" X 60" LANDING AT ALL EXTERIOR DOORS SWINGING ONTO A LANDING AND A 48" X 48" LANDING AT A DOOR THAT SWINGS AWAY FROM LANDING. DOOR LANDINGS SHALL HAVE A SURFACE THAT IS STABLE, FIRM, AND SLIP RESISTANT. SLOPE AT LANDINGS TO BE 1/48 (2% SLOPE) MAX. IN ANY DIRECTION. CHANGES IN LEVEL OTHER THAN THE 1" HIGH MAX. CHANGE IN LEVEL AT DOOR THRESHOLD ARE NOT PERMITTED. (CBC 2022 SECTION 11B-404.2.4.4, 11B-302 AND 11B-303) EXTERIOR DOOR LANDING TO HAVE A MINIMUM 24" OF MANEUVERING SPACE EXTENDING FROM THE DOOR LATCH EDGE WHERE THE DOOR SWINGS OUT (CBC 2022 TABLE 11B-404.2.4.1).
- COORDINATE ROOM FINISHES w/ OWNER.
- PROVIDE MINIMUM 2A-10B/C PORTABLE FIRE EXTINGUISHERS PER NFPA 10 AT A RATE OF ONE EXTINGUISHER PER 3,000 SQ. FT. OR FRACTION THEREOF, WITH TRAVEL DISTANCE NOT TO EXCEED 75 FT. FROM ANY POINT TO A FIRE EXTINGUISHER.
- INTERNATIONAL "NO SMOKING" SYMBOL IN RED OR 1 INCH HIGH LETTERS SAYING "NO SMOKING". THE SIGN SHALL BE A MINIMUM OF 40 SQUARE INCHES IN SIZE AND LOCATED 60 INCHES ABOVE THE FINISHED FLOOR.
- SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48" MINIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE. MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATION SHALL BE SUCH THAT A PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR. (CBC 11B-703.1)
- THE COLOR AND DESIGN OF LETTERING, ARROWS AND OTHER SYMBOLS ON EXIT SIGNS SHALL BE IN HIGH CONTRAST WITH THEIR BACKGROUND. WORDS ON THE SIGN SHALL BE IN BLOCK LETTERS 6" IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4". SIGNS SHALL BE INTERNALLY ILLUMINATED OR SHALL BE OF AN APPROVED SELF-LUMINOUS TYPE. WHEN THE LUMINANCE ON THE FACE OF AN EXIT SIGN IS FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5.0 FOOTCANDLES FROM EITHER LAMP. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE. MIN. 90 MINUTE BACK-UP POWER REQUIRED.
- THE PATH OF TRAVEL TO ANY EXIT SHALL NOT BE BLOCKED. (2022 CBC SECTION 1003.6)
- OCCUPANT LOAD SIGNAGE TO BE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE, FOR INTENDED CONFIGURATIONS. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT.

LEGEND :

- METAL BUILDING WALL - BY MBM
- O.S.F.O.S. ——— OUTSIDE FACE OF STEEL



BUILDING COORDINATION PLAN

PHASE 1 CANOPY

PROPOSED PROJECT FOR

MIKE JACKSON FARMS

10388 EAST DAVIS ST.
KINGSBURG, CA 94831
PHONE: (559) 897-3222
FAX: (559) 897-4754

No.	Issue/Revision	By	App.	Date

Date	1/08/25
Scale	1/4" = 1'-0"
Dr. By	N. MOHAMMED
App. By	X
Job No.	2024.109
Dwg. No.	24109BCP
Sheet	A-2.0
Revision No.	

PROJECT

CANOPY ADDITION

DESIGNED BY

GMA GERALD MELE & ASSOCIATES, INC.
7337 N. FIRST ST., SUITE 110 PESQUERA, CA 93726 (559)455-1411 gmaengineering.com
ENGINEERS • ARCHITECTS

RECORDING REQUESTED BY
CHICAGO TITLE COMPANY
AND WHEN RECORDED MAIL THIS DEED AND, UNLESS
OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:
MICHAEL G. JACKSON, CO-TRUSTEE
40952 Road 32
Kingsburg, California 93631

93172667

CHICAGO TITLE

RECORDED IN OFFICIAL RECORDS OF
FRESNO COUNTY, CALIFORNIA
AT _____ MIN PAST _____ A.M.
NOV 5 1993
WILLIAM C. GREENWOOD
County Recorder
FEE
\$3.1



Order No. 43606

Recrow No. 000415882 - SB

SPACE ABOVE THIS LINE FOR RECORDERS USE

433114

GRANT DEED

The undersigned declares that the documentary transfer tax is \$1,294.15

and is

- ☒ computed on the full value of the interest or property conveyed, or is
☐ computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale.
The undersigned declares that the city/county transfer tax is \$-

The land, tenements or realty is located in ☒ unincorporated area ☐ City of

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
KINGS RIVER RANCH LTD., a California Limited Partnership

hereby GRANT(S) to

MICHAEL G. JACKSON, CO-TRUSTEE AND LORI R. JACKSON, CO-TRUSTEE OF THE MICHAEL G.
JACKSON FAMILY TRUST OF 1990, DATED AUGUST 27, 1990

the following described real property in the City of

County of Fresno, State of California:

LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE

Dated October 14, 1993

KINGS RIVER RANCH, LTD, a California
Limited Partnership

STATE OF CALIFORNIA

COUNTY OF Tulare) SS

BY: SAN JOAQUIN FARMING COMPANY,
a California General Partnership

On November 3, 1993

before me,

S. Bowling

BY: PACIFIC VALLEY AG, INC.,
a California corporation as
general partner of
San Joaquin Farming Company

a Notary Public in and for said County and State, personally appeared
Sheryl L. Adams

Sheryl L. Adams
Sheryl L. Adams, President

personally known to me (or proved to me on the basis of satisfactory
evidence) to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s)
on the instrument the person(s), or the entity upon behalf of which the
person(s), acted, executed the instrument.

WITNESS my hand and official seal.



Signature of Notary

FOR NOTARY SEAL OR STAMP

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE: IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

DEED-05/03/93-4
Name

Street Address

City, State & Zip

FRESNO COUNTY RECORDERS OFFICE

NOV - 5 1993

056-090 19

Page 1
Escrow No. 415982 +SB

LEGAL DESCRIPTION EXHIBIT

This deed is being recorded pursuant to the consummation of a Lease Option by and between the grantor and grantee herein, as evidenced by a Memorandum of Lease Option recorded March 2, 1993, as File No. 93029937, Fresno County Records.

FRESNO COUNTY RECORDERS OFFICE

NOV - 5 1993

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DEEDLEGAL/08/03-16

Order No. 433119 -SKL
Page 1

DESCRIPTION

PARCEL 1:

All that portion of the Northerly three-quarters of Section 8, Township 17 South, Range 22 East, Mount Diablo Base and Meridian, according to the Official Plat thereof, lying East of the center line of Ward Drainage Canal, described as follows:

Commencing at the Northeast corner of said Section 8; thence West, along the North line of said Section 8, a distance of 3164.77 feet to the center line of the Ward Drainage Canal; thence leaving said North line of Section 8 and Southerly along the center line of the Ward Drainage Canal as follows: South 0° 30' East, 142.00 feet; South 18° 47' 51" East, 410.00 feet; South 14° 10' 04" East, 120.60 feet; South 5° 50' 06" East, 322.19 feet; South 6° 49' 23" East, 272.39 feet; South 6° 04' 24" East, 303.18 feet; South 10° 14' 59" East, 77.93 feet; South 28° 49' 08" East, 41.83 feet; South 31° 44' 51" East, 277.68 feet; South 22° 58' 17" East, 119.55 feet; South 2° 13' 29" East, 171.93 feet; South 3° 13' 48" West, 66.71 feet; South 2° 49' 40" East, 260.97 feet; South 6° 11' 41" West, 786.42 feet; South 6° 34' 15" West, 398.19 feet; and South 7° 30' 36" West, a distance of 287.37 feet to a point on the South line of the Northerly three-quarters of said Section 8; thence North 89° 59' 10" East, along said South line, a distance of 291.32 feet, more or less, to the line common to Fresno and Kings County; thence North 45° 46' East, along said County line, a distance of 3556.81 feet to the East line of said Section 8; thence leaving said County line, North 0° 22' 30" West, along the East line of Section 8, a distance of 1479.21 feet to the point of commencement.

Except the East 60 feet thereof.

PARCEL 2:

That portion of Lot 31 in Section 9, Township 17 South, Range 22 East, Mount Diablo Base and Meridian, of Laguna De Tache Grant, according to the map thereof recorded September 11, 1902, in Book 2 Page 35 of Record of Surveys, Fresno County Records, lying and being within the County of Fresno.

FRESNO COUNTY RECORDERS OFFICE

NOV - 5 1993

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201706000017

LP-1

Certificate of Limited Partnership (LP)

To form a limited partnership in California, you can fill out this form, and submit for filing along with:

- A \$70 filing fee.
- A separate, non-refundable \$15 service fee also must be included, if you drop off the completed form or document.

Important! LPs in California may have to pay a minimum \$800 yearly tax to the California Franchise Tax Board. For more information, go to <https://www.ftb.ca.gov>.

Note: Before submitting the completed form, you should consult with a private attorney for advice about your specific business needs.

FILED

Secretary of State
State of California

FEB 21 2017

This Space For Office Use Only

For questions about this form, go to www.sos.ca.gov/business/be/filing-lips.htm.

LP Name

① Finca del Rio, LP

Proposed LP Name

The name must end with: "Limited Partnership," "LP," or "L.P.," and may not contain "bank," "insurance," "trust," "trustee," "incorporated," "inc.," "corporation," or "corp." For general entity name requirements and restrictions, go to www.sos.ca.gov/business/be/name-availability.htm.

LP Addresses

② a. 10693 E DAVIS AVE, Kingsburg CA 93631

Initial Street Address of Designated Office in CA

City (no abbreviations)

State Zip

b. Initial Mailing Address of LP, if different from 2a City (no abbreviations) State Zip

Service of Process (List a California resident or an active 1505 corporation in California that agrees to be your initial agent to accept service of process in case your LP is sued. You may list any adult who lives in California. You may not list an LP as the agent. Do not list an address if the agent is a 1505 corporation.)

③ a. Michael G. Jackson

Agent's Name

b. 40952 Road 32, Kingsburg CA 93631

Agent's Street Address (if agent is not a corporation)

City (no abbreviations)

State Zip

General Partners (List the name and address of each general partner. Attach additional pages, if necessary.)

④ a. RMGK, LLC

General Partner's Name

Address

City (no abbreviations)

State Zip

b. 10593 E DAVIS AVE, Kingsburg, CA 93631

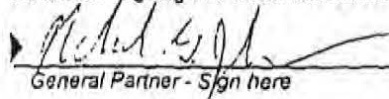
General Partner's Name

Address

City (no abbreviations)

State Zip

Read and sign below: This form must be signed by all of the general partners listed in Item 4. If a trust, association, attorney-in-fact, or any other person is signing, go to www.sos.ca.gov/business/be/filing-lips.htm for more information. If you need more space, attach extra pages that are 1-sided and on standard letter-sized paper (8 1/2" x 11"). All attachments are part of this certificate. Signing this document affirms under penalty of perjury that the stated facts are true.


General Partner - Sign here

Michael G. Jackson Manager of
RMGK, LLC, ...
Print your name here

General Partner - Sign here

Print your name here

Make check/money order payable to: Secretary of State
Upon filing, we will return one (1) uncertified copy of your filed document for free, and will certify the copy upon request and payment of a \$5 certification fee.

By Mail
Secretary of State
Business Entities, P.O. Box 944225
Sacramento, CA 94244-2250

Drop-Off
Secretary of State
1500 11th Street., 3rd Floor
Sacramento, CA 95814