



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: May 10, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director
Development Services and Capital Projects, Attn: Chris Motta, Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga,
Principal Planner
Development Services and Capital Projects, Attn: Attn: James Anders,
Principal Planner
Development Services and Capital Projects, Current/Environmental
Planning, Attn: David Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, Attn:
Mohammad Khorsand, Senior Planner; Alex Pretzer; Dominique Navarette
Development Services and Capital Projects, Zoning & Permit Review,
Attn: Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Development Engineering,
Attn: Laurie Kennedy, Office Assistant III
Water and Natural Resources Division, Attn: Augustine Ramirez, Division
Manager
Water and Natural Resources Division, Attn: Roy Jimenez, Senior Planner
Water and Natural Resources Division, Transportation Planning, Attn:
Hector Luna, Senior Planner/Darren Findley, Senior Engineering
Technician/Brody Hines, Planner
Water and Natural Resources Division, Community Development, Attn:
Yvette Quiroga, Principal Planner
Design Division, Attn: Mohammad Alimi, Division Manager;
Erin Haagenson, Principal Staff Analyst
Resources Division, Attn: Daniel Amann, Division Manger
Resources Division, Special Districts, Attn: Christopher Bump, Principal
Staff Analyst,
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,
Supervising Engineer
Department of Public Health, Environmental Health Division, Attn: Deep
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
Environmental Health Specialist;
Agricultural Commissioner, Attn: Melissa Cregan
Sheriff's Office, Attn: Captain Ryan Hushaw, Kevin Lolkus, Lt. Brandon
Purcell, Kathy Curtice, Adam Maldonado
CA Highway Patrol (CHP), Attn: Captain Austin Matulonis
Pacific Gas and Electric, Centralized Review Team, Attn: PGEPlanReview@pge.com

Clovis Unified School District, Attn: Corrine Folmer, Ed. D. Superintendent, Michael Johnson, Associate Superintendent, Cherie Larson, Senior Analyst, Denver Stairs, Assistant Superintendent
Fresno County Fire, Attn: Diane Rodriguez
North Kings GSA, Attn: Kassy D Chauhan P.E. Executive Officer Designate
Clovis Memorial District, Attn: Miya Ubick, Administrative Assistant
Sierra Resource Conservation District, Attn: Kelly Kucharski, District Manager

FROM: Reymundo Peraza, Planner
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4765

APPLICANT: Felipe & Norma Becerra

DUE DATE: **May 27, 2024**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a permanent second residence not to exceed 2,000 sqft. on a 4.79-acre parcel located within the R-R (Rural-Residential, 5-acre minimum parcel size) Zone District.

Project Location: The subject parcel is located on the south side of Sierra Avenue, approximately 2.6-miles from the City of Clovis. (APN: 308-190-46) (ADDRESS: 11575 E. Sierra Avenue) (Sup. Dist. 5).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **May 27, 2024**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Reymundo Peraza, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4224, or email rperaza@fresnocountyca.gov

RP
G:\4360Devs&PIn\PROJSEC\PROJDOCS\DRA\4700-4799\4765\Routing\DRA 4765 Routing Ltr.doc

Activity Code (Internal Review): 2392

Enclosures



Fresno County Department of Public Works and Planning

| | |
|----------------|-------------------|
| Date Received: | (Application No.) |
|----------------|-------------------|

MAILING ADDRESS:
 Department of Public Works and Planning
 Development Services and Capital Projects Division
 2220 Tulare St., 6th Floor
 Fresno, Ca. 93721

LOCATION:
 Southwest corner of Tulare & "M" Streets, Suite A
 Street Level
 Fresno Phone: (559) 600-4497

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application
- Amendment to Text
- Conditional Use Permit
- Variance (Class)/Minor Variance
- Site Plan Review/Occupancy Permit
- No Shoot/Dog Leash Law Boundary
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for _____
- Director Review and Approval
- for 2nd Residence
- Determination of Merger
- Agreements
- ALCC/RLCC
- Other _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

Personal Secondary home

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: _____ side of _____

between _____ and _____

Street address: 11575 E Sierra Ave Clovis ca 93619

APN: 308-190-46 Parcel size: 4.79 Acres Section(s)-Twp/Rg: S ___ - T ___ S/R ___ E

ADDITIONAL APN(s): _____

I, Norma Benner (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

11575 E Sierra Ave Clovis 93619 559-367-5175
 Owner (Print or Type) Address City Zip Phone

Applicant (Print or Type) Address City Zip Phone

Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

| | |
|---------------------------------|-----------|
| Application Type / No.: | Fee: \$ |
| Application Type / No.: | Fee: \$ |
| Application Type / No.: | Fee: \$ |
| Application Type / No.: | Fee: \$ |
| PER/Initial Study No.: | Fee: \$ |
| Ag Department Review: | Fee: \$ |
| Health Department Review: | Fee: \$ |
| Received By: _____ Invoice No.: | TOTAL: \$ |

UTILITIES AVAILABLE:

WATER: Yes / No
 Agency: _____

SEWER: Yes / No
 Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: _____ - T ___ S/R ___ E

Related Application(s): _____

APN # _____ - _____ - _____

Zone District: _____

APN # _____ - _____ - _____

Parcel Size: _____

APN # _____ - _____ - _____

APN # _____ - _____ - _____

over.....

RECORDING REQUESTED BY
Financial Title Company
AND WHEN RECORDED MAIL TO

Name **Felipe Becerra**
Street Address **Norma Becerra**
11575 East Sierra Avenue
City, State Zip **Clovis, CA 93619**
Order No. **44045647-757-LEL**

2



FRESNO County Recorder
Robert C. Werner
DOC- 2005-0043519

Acct 1-Financial Title Company (C)
Friday, FEB 25, 2005 08:00:00
Ttl Pd \$439.00 Nbr-0001749666
EMF/R5/1-2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

THE UNDERSIGNED GRANTOR(s) DECLARE(s):
City of _____ or Unincorporated Area
City Conveyance Tax is \$ _____
Parcel No. 308-190-46

Documentary Transfer Tax is \$429.00
 computed on full value of interest or property conveyed, or
 full value less value of liens or encumbrances remaining at
the time of sale

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Kristie H. Preuss
hereby GRANT(s) to
Felipe Becerra and Norma Becerra, husband and wife as joint tenants
the following real property:
See Exhibit A attached hereto and made a part hereof.

Dated: November 30, 2004

STATE OF CALIFORNIA
COUNTY OF Orange } s.s.

On December 04, 2004 before me,
Ghanshyam V. Patel

a Notary Public in and for said County and State, personally appeared

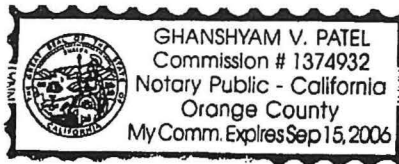
Preuss, Kristie H. Preuss

Kristie H. Preuss
~~Preuss, Kristie H. Preuss~~

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Ghanshyam V. Patel



(This area for official notarial seal)

MAIL TAX STATEMENTS TO PARTY SHOWN ON THE FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE

Name _____ Street Address _____ City & State _____

Exhibit A

Parcel 1:

Lot 135 of Tract No. 2150, Sierra View Ranchos, as per map recorded September 11, 1970 in Book, 25, Pages 53 to 58 inclusive of Plats, Fresno County Records.

Parcel 2:

Easements for road purposes and public utilities over those portions of Tract No. 2150, Sierra View Ranchos, as per map recorded in Book 25 Pages 53 to 58 inclusive of Plats, Fresno County Records, designated on said map as private road "Offered for Dedication for Public Utilities and for Road Purposes."





**Development Services
and
Capital Projects
Division**

Email To: fnshfd@hotmail.com

Pre-Application Review

Department of Public Works and Planning

NUMBER: 23-002473
 APPLICANT: Felipe & Norma Becerra
 PHONE: 559-367-5175

PROPERTY LOCATION: 11575 E Sierra Ave Clovis CA 93611
 APN(s): 308-190-46 ALCC: No^x Yes # VIOLATION NO. N/A
 CNEL: No^x Yes (level) LOW WATER: No Yes^x WITHIN 1/2 MILE OF CITY: No Yes
 ZONE DISTRICT: RRS; SRA: No^x Yes HOMESITE DECLARATION REQ'D.: No^x Yes
 LOT STATUS:
 Zoning: Conforms; Legal Non-Conforming lot; Deed Review Req'd (see Form #236)
 Merger: May be subject to merger: No^x Yes ZM# Initiated In process
 Map Act: Lot of Rec. Map; On '72 rolls; Other; () Deeds Req'd (see Form #236)
 SCHOOL FEES: No Yes^x DISTRICT: Clovis Unified PERMIT JACKET: No Yes^x
 FMFCD FEE AREA: Outside District No.: FLOOD PRONE: No^x Yes
 PROPOSAL Director's Review and Approval to allow a permanent second residence on an existing 4.79 acre parcel in the RRS zone district.

COMMENTS:
 ORD. SECTION(S): 820.5 BY: H. Hamlin DATE: 2/24/23

GENERAL PLAN POLICIES: Rural Residential GPA: MINOR VA:
 LAND USE DESIGNATION: AA: HD: \$432.00
 COMMUNITY PLAN: CUP: AG COMM:
 REGIONAL PLAN: DRA: \$1570.00 ALCC:
 SPECIFIC PLAN: VA: IS/PER*:
 SPECIAL POLICIES: AT: Viol. (35%):
 SPHERE OF INFLUENCE: TT: Other:
 ANNEX REFERRAL (LU-G17/MOU):

PROCEDURES AND FEES:

Filing Fee: \$
 Pre-Application Fee: - \$247.00
 Total County Filing Fee: \$1755.00

COMMENTS:

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- Statement of Variance Findings
- Statement of Intended Use (ALCC)
- Dependency Relationship Statement
- Resolution/Letter of Release from City of _____
- Nitrogen Loading Analysis or RWQCB supplemental treatment

OTHER FILING FEES:

- Archaeological Inventory Fee: \$75 at time of filing (Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,764) (Separate check to Fresno County Clerk for pass-thru to CDFW. Must be paid prior to IS closure and prior to setting hearing date.)

BY: _____ DATE: _____
 PHONE NUMBER: (559) _____

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- COVENANT
- MAP CERTIFICATE
- PARCEL MAP
- FINAL MAP
- FMFCD FEES
- ALUC or ALCC
- SITE PLAN REVIEW
- BUILDING PLANS
- BUILDING PERMITS
- WASTE FACILITIES PERMIT
- SCHOOL FEES
- OTHER (see reverse side)

PLU # 113 Fee: \$247.00
 Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.
 4.79 - acres
 Low Water
 Clovis Unified
 Fresno County Fire
 North Kings CSHA
 Clovis Memorial
 Sierra Resource Conservation
 5th sup. Dist. OVER.....
 Table Mountain



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

May 2, 2023

Felipe & Norma Becerra
11575 E. Sierra Avenue
Clovis Ca, 93619

Dear: Felipe & Norma Becerra

Pre-Application Review No. 23-002473

Proposal: Director Review and Approval to allow a permanent second residence not to exceed 2,000 sqft. on a 4.79-acre parcel located within the R-R (Rural-Residential, 5-acre minimum parcel size) Zone District.

Project Location: The subject parcel is located on the south side of Sierra Avenue, approximately 2.6-miles from the City of Clovis. (APN: 308-190-46) (ADDRESS: 11575 E. Sierra Avenue) (Sup. Dist. 5).

Director Review and Approval – Second Residence:

A Director Review and Approval (DRA) is required to allow a permanent second residence in the R-R (Rural-Residential, 5-acre minimum parcel size) Zone District. I am enclosing the necessary forms to return for a complete application.

You should be aware that in order to approve a Director Review and Approval, the Fresno County Ordinance Code requires that four mandatory Findings of Fact must exist before a Director Review and Approval may be granted (see enclosed Director Review and Approval handout). Your application will be reviewed and a staff recommendation made based upon these four mandatory Findings.

LAMP:

Septic systems are subject to the requirements of the Fresno County Local Agency Management Program (LAMP), effective May 13, 2018. Septic system density will be limited to one system per two acres. Any new development or secondary dwelling will require a nitrogen loading analysis by a qualified professional, demonstrating to the Department of Public Works and Planning that the regional characteristics are such that an exception to the septic system density limit can be accommodated. The Department will refer any analysis to the Regional Water Quality Control Board for their concurrence and input.

Water-Short Area:

Please note your project is in a water-short area. Pursuant to County General Plan policy, prior to any action on a land use application, the County must make a determination of availability/sustainability of water for the project and any water-related impacts on surrounding properties. Special studies related to this determination may be required.

Covenant – DRA (Owner to Occupy):

As part of the DRA process, if approved, it may be necessary to record a Covenant between the County and the owner, which will run with the land, requiring that one of the dwelling units be occupied by the property owner(s) or another owner of record. The Covenant must be signed, notarized, and recorded.

Offers Of Dedication / Irrevocable Offers (Usually For 2nd Residence – If In Doubt Ask Planner):

Depending upon the scope of your project, additional road right-of-way may be required through a Condition of project approval.

FIRE PROTECTION – FOR PROJECTS ROUTED TO FIRE DISTRICT:

You are located within the jurisdiction of the Fresno County Fire Protection District. The Fresno County Fire Protection District conducts plan reviews on all projects to confirm that certain fire and life safety issues are addressed. Some examples of fire and life safety issues are fire apparatus access, fire lanes, gates, water supply systems, fire suppression systems, fire alarm systems, high-piled storage, evacuation plans, exiting systems, and hazardous materials storage. It is suggested that you contact the Fresno County Fire Protection District at (559) 319-0400 to schedule a meeting to discuss the specific fire protection requirements for the project during the design stage of the project.

Recommended that you consult with surrounding property owners:

It is recommended you contact the surrounding property owners and residents to determine if there are concerns and/or support for your project prior to the approval of your application by the Director. Surrounding property owners will receive Notices of Application and other applicable notices in the mail. Property owners will have the opportunity to comment on the project if they so wish.

Technical Studies:

If it is determined that your project would have potentially-significant impacts on the environment, you would be required to have technical studies prepared to quantify the scope of those impacts. Such studies may include (but are not limited to): traffic impact study, greenhouse gas/air quality assessment, hydro-geologic survey, noise assessment, flood inundation study, and/or property survey.

Below are the filing requirements for your project:

Application Form: This application is a green form. Please fully complete the owner, applicant, and representative portions of the application. All owners included on the Grant Deed must sign the application. An electronic version of the form is available. Please contact us via email to receive the electronic version.

Pre-Application Review: This is the single blue sheet that has been completed and returned to you with this letter. Please return the completed blue Pre-Application Review sheet with your formal application submittal. The information provided on this sheet will be needed to complete the application. **(Note: The Pre-Application Fee of \$247.00 will be applied to the Filing Fee if a formal application is submitted within six months of the date on the Pre-Application form. The following Filing Fee information assumes that the application will be filed within the six-month time period.)**

Legal Description: Submit a copy of the Grant Deed to the property with the legal description. (Note: The legal description must correlate with the property boundaries depicted on the Site Plan drawing.)

Site Plans, Floor Plans and Elevations: Four (4) folded copies of a detailed Site Plan are required. We route projects for comments electronically, therefore we request that electronic versions of all drawings be submitted in PDF format. If that is not possible, we require one black-line print in either 8½"x11" or 11"x17" size so that it can be scanned. Please refer to the enclosed *Site Plan Requirements for Second Residences* for detailed requirements on preparing Site Plans. It is important that all requirements are met in order for the Site Plan to be acceptable. Therefore, you may wish to review the Site Plan with a Planner prior to submitting the application. In addition, four (4) folded copies of both the proposed and existing Floor Plans and Elevations are required, as well as an electronic PDF version or reduction as described above.

Proposed Septic System: It is critical to clearly identify on the site plan the location of any existing and proposed septic systems. If you are choosing to use an existing septic system for both residences, clearly identify how you will be tying into the system and identify the capacity of the existing tank and length of the leach lines. Please refer to the enclosed *Location of Sewage Disposal System* handout for information on capacity and location requirements, as well as the *Site Plan Requirements for Second Residences* handout.

Preliminary Environmental Review: A Preliminary Environmental Review (PER) of your application will be conducted. If staff determines in its investigation that potential environmental impacts may be evident, staff will then require you to file a formal Initial Study Application to review all environmental impacts associated with this project.

Photographs: Provide labeled photos of the existing dwelling plus panoramic views of the property (north, northeast, east, southeast, south, southwest, west, and northwest) taken from the proposed location of the second dwelling.

Felipe & Norma Becerra
May 2, 2023
Page 4

Filing Fees:

| | |
|---|---------------------------|
| Director Review and Approval (DRA) Application | \$ 1,570.00 |
| Public Health Environmental Review | \$ <u>432.00</u> |
| Minus the \$247.00 Pre-Application Credit | \$ <u>- 247.00</u> |
| Please make check payable to "Fresno County" for: | \$ <u><u>1,755.00</u></u> |

(2.219% Transaction Fee is added for Credit Cards)

In order to save time processing your application, we recommend that you or your representative schedule a meeting to review your application submittal prior to filing a formal application.

If you have any questions regarding the information described in this letter, or wish to schedule a meeting concerning the filing of an application, please contact me at rperaza@co.fresno.ca.us or (559) 600-4224.

Sincerely,

Reymundo Peraza

Reymundo Peraza, Planner
Development Services and Capital Projects Division

RP
G:\4360Devs&PIn\PROJSEC\PRE-APPS\2023\23-002473 (DRA)\23-002473 Pre-App Letter.docx

Enclosures



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. _____

Project No(s). _____

Application Rec'd.: _____

GENERAL INFORMATION

- Property Owner: Felipe + Norma Becerra Phone/Fax: 559-281-7751
Mailing Address: 11575 E Sierra Ave Clovis Ca 93619
Street City State/Zip
- Applicant: _____ Phone/Fax: _____
Mailing Address: _____
Street City State/Zip
- Representative: Derek Becerra Phone/Fax: 559-862-9018
Mailing Address: 11575 E Sierra Ave Clovis Ca 93619
Street City State/Zip
- Proposed Project: Personal Garage^{F.B. 6-19-23} Keep existing home as secondary home on property
- Project Location: 11575 E Sierra Ave Clovis Ca 93619
- Project Address: 11575 E Sierra Ave Clovis Ca 93619
- Section/Township/Range: _____ / _____ / _____ 8. Parcel Size: 5.02 Acres
- Assessor's Parcel No. 308-190-46 OVER.....

10. Land Conservation Contract No. (If applicable): _____

11. What other agencies will you need to get permits or authorization from:

- | | |
|---|---|
| _____ LAFCo (annexation or extension of services) | _____ SJVUAPCD (Air Pollution Control District) |
| _____ CALTRANS | _____ Reclamation Board |
| _____ Division of Aeronautics | _____ Department of Energy |
| _____ Water Quality Control Board | _____ Airport Land Use Commission |
| _____ Other _____ | |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? _____ Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: RR (Residential Rural)

14. Existing General Plan Land Use Designation¹: V-B

ENVIRONMENTAL INFORMATION

15. Present land use: Residential
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

*

Describe the major vegetative cover: none

Any perennial or intermittent water courses? If so, show on map: N/A

Is property in a flood-prone area? Describe:
N/A

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Residential

South: Residential

East: Residential

West: Residential

17. What land use(s) in the area may be impacted by your Project?: None

18. What land use(s) in the area may impact your project?: None

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes ✓ No

B. Daily traffic generation:

I. Residential - Number of Units _____
Lot Size _____
Single Family _____
Apartments _____

II. Commercial - Number of Employees _____
Number of Salesmen _____
Number of Delivery Trucks _____
Total Square Footage of Building 1900.00 SQ. FT

III. Describe and quantify other traffic generation activities: None

20. Describe any source(s) of noise from your project that may affect the surrounding area: ^{FB 6-14-23} ~~N/A~~
None

21. Describe any source(s) of noise in the area that may affect your project: None

22. Describe the probable source(s) of air pollution from your project: None

23. Proposed source of water:
(✓) private well
() community system³--name: _____ OVER.....

- 24. Anticipated volume of water to be used (gallons per day)²: _____
- 25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name _____
- 26. Estimated volume of liquid waste (gallons per day)²: 10 gal.
- 27. Anticipated type(s) of liquid waste: septic
- 28. Anticipated type(s) of hazardous wastes²: no
- 29. Anticipated volume of hazardous wastes²: no
- 30. Proposed method of hazardous waste disposal²: no
- 31. Anticipated type(s) of solid waste: septic
- 32. Anticipated amount of solid waste (tons or cubic yards per day): 0
- 33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): 0
- 34. Proposed method of solid waste disposal: MW
- 35. Fire protection district(s) serving this area: fresno County fire dep.
- 36. Has a previous application been processed on this site? If so, list title and date: no
- 37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No
- 38. If yes, are they currently in use? Yes _____ No _____

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

Maria Brown
 SIGNATURE

10-6-23 9-6-23
 DATE

¹Refer to Development Services and Capital Projects Conference Checklist
²For assistance, contact Environmental Health System, (559) 600-3357
³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2023: \$3,839.25 for an EIR; \$2,764.00 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

9-6-23

Date



COUNTY OF FRESNO
DEPARTMENT OF PUBLIC WORKS AND PLANNING
DEVELOPMENT SERVICES DIVISION

WATER TEST EXEMPTION FORM

| WELL OWNER | WELL LOCATION |
|--|-----------------------------------|
| Name: <u>Edile Becerra</u> | Address: <u>1175 E Sierra Ave</u> |
| Address: <u>11599 E Sierra</u> | City: <u>Clavis</u> |
| City: <u>Clavis</u> State: <u>Ca</u> Zip: <u>93611</u> | APN: <u>305-190-46</u> GPS: _____ |

WELL INFORMATION

Completion Report No: 480328 Attached Completion Date: 8/13/19

Depth: 260 Airift Yield: 5.6 gpm

Service Connections: Single dwelling Main dwelling Secondary dwelling

EQUIPMENT INFORMATION

Pump Model & HP: FPS 10 GPM - 10FA1554

Storage tank (gallons) 2 3,000

REQUEST

I request exemption from Fresno County Ordinance #05-004 for the following reason(s):

I have an existing well and pump system.
Date installed 6/30/19 installer Drilling Services

I have an approved electrical permit for the well pump electrical service.
Permit # _____ Date _____

I am replacing my mobile home with a new model (upgrade).
Old: sq ft _____ # Bd _____ # Ba _____ New: sq ft _____ # Bd _____ # Ba _____

I am replacing my mobile home with a new single family residence (upgrade).
Old: sq ft _____ # Bd _____ # Ba _____ New: sq ft _____ # Bd _____ # Ba _____

My home was damaged due to _____ fire _____ flood _____ natural disaster and is being rebuilt.

Please mail, with supporting documentation, to:

County of Fresno
Department of Public Works and Planning
Water and Natural Resources Division
2220 Tulare Street, 6th Floor
Fresno, California 93721
Attention: Glenn Allen

Email: WaterAndNaturalResources@fresnocountyca.gov

EXEMPTION STATEMENT

I, the undersigned, state that this information is complete and accurate to the best of my knowledge and belief.

By: Luis Olvera Phone: (559) 977-4252

Sign: [Signature] Date: 12/22/23

Fresno County Office Use Only

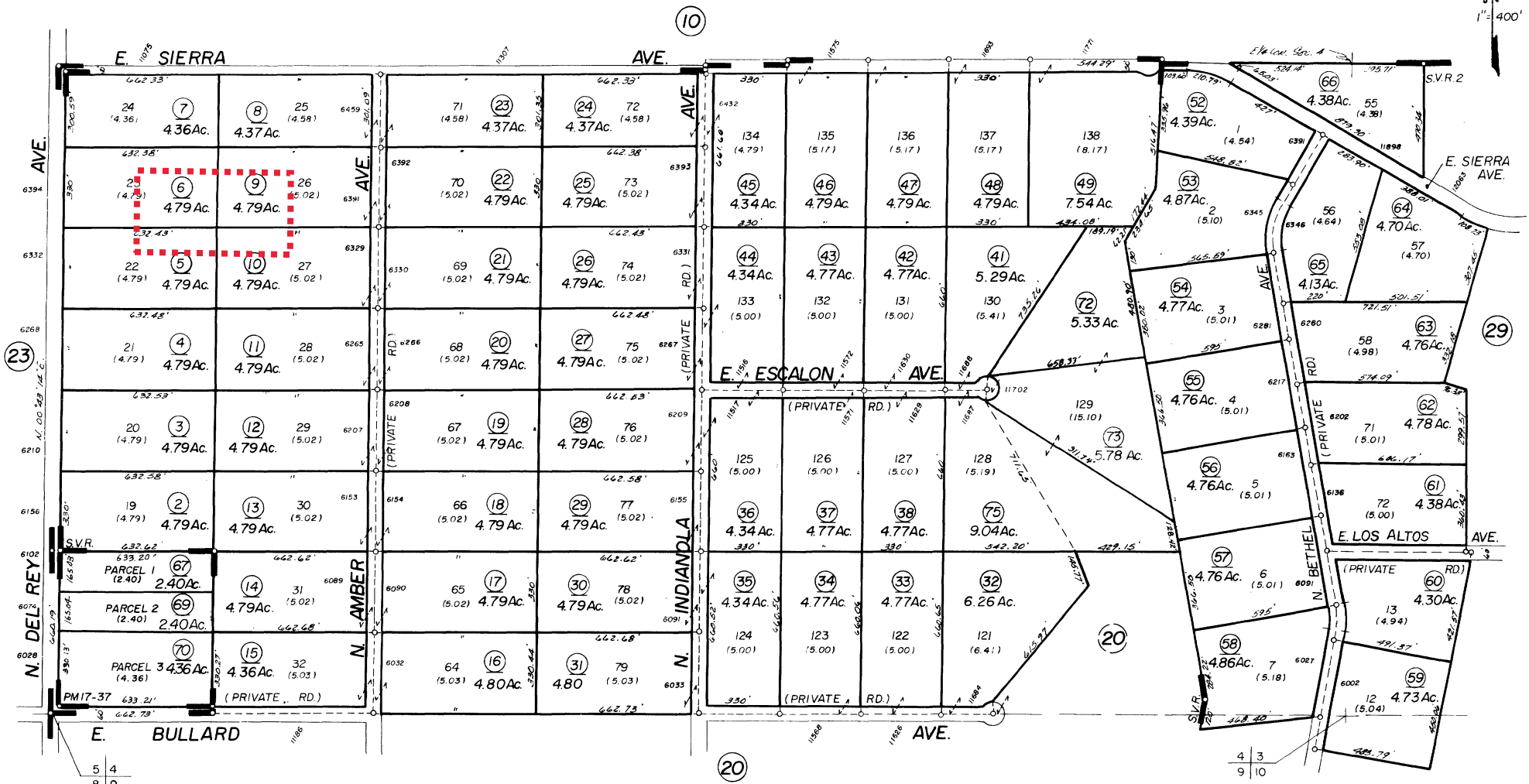
Roy Jimenez Jr. Digitally signed by Roy Jimenez

By: _____ Date: 2024.01.24 14:49:29 -08'00'

— NOTE —

This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

1" = 400'



Agricultural Preserve
 Sierra View Ranchos, Tract No. 2150 - Plat Bk. 25, Pg. 53
 Standard Fig Orchard No. 1, Plat Bk. 8, Pg. 87
 Sierra View Ranchos No. 2, Tract No. 2324 - Plat Bk. 27, Pg. 63
 Parcel Map No. 2710 - Bk. 17, Pg. 37

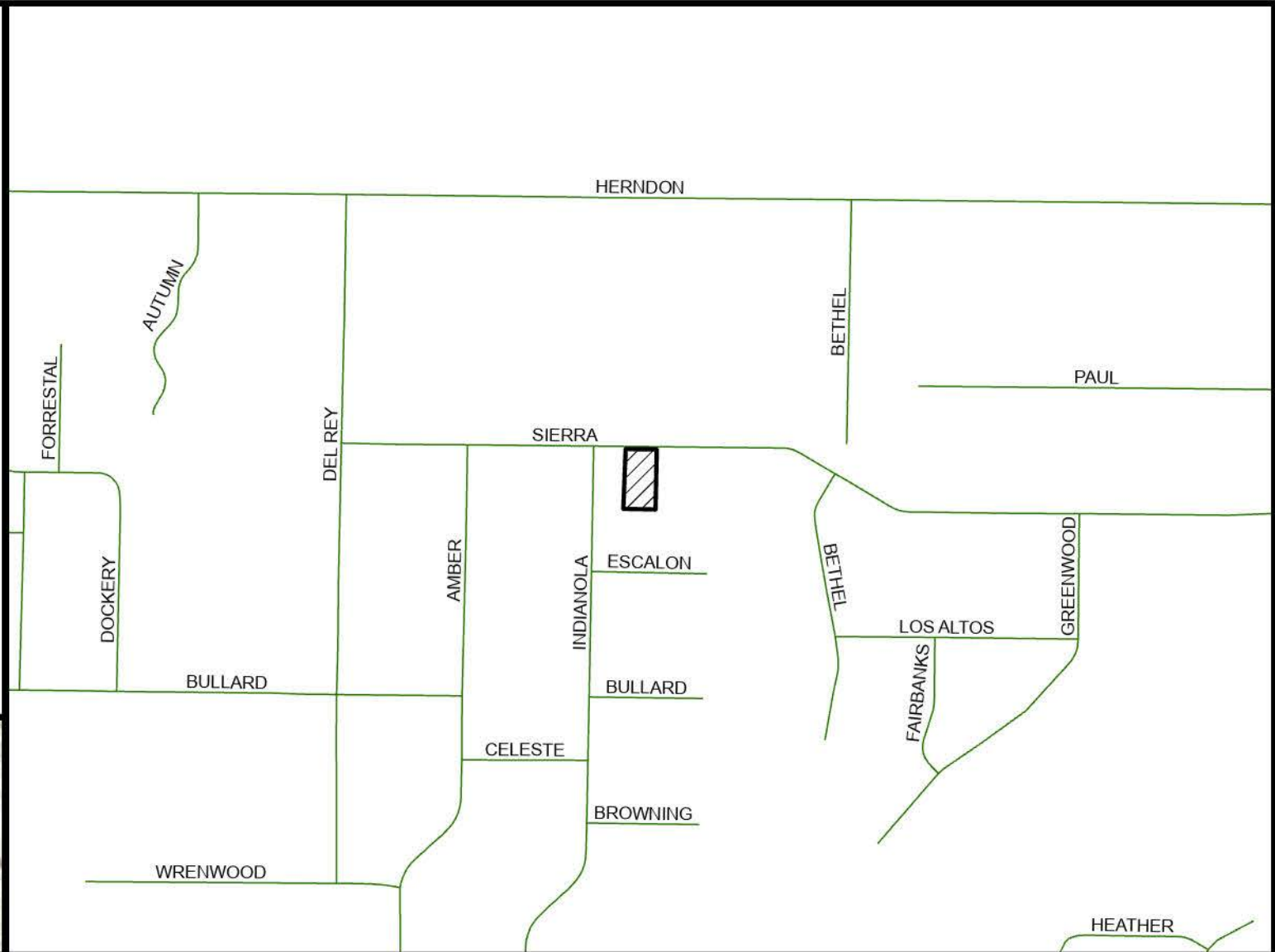
Assessor's Map Bk. 308 - Pg. 19
 County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
 Assessor's Parcel Numbers Shown in Circles.

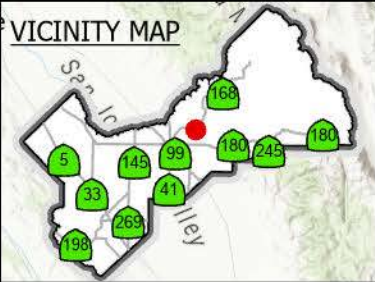
Legend



Subject Property



VICINITY MAP

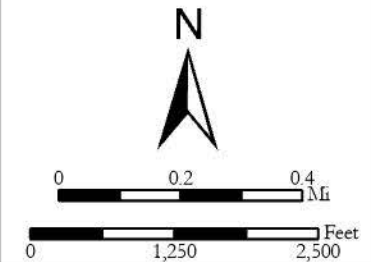


LOCATION MAP



DRA4765

2024

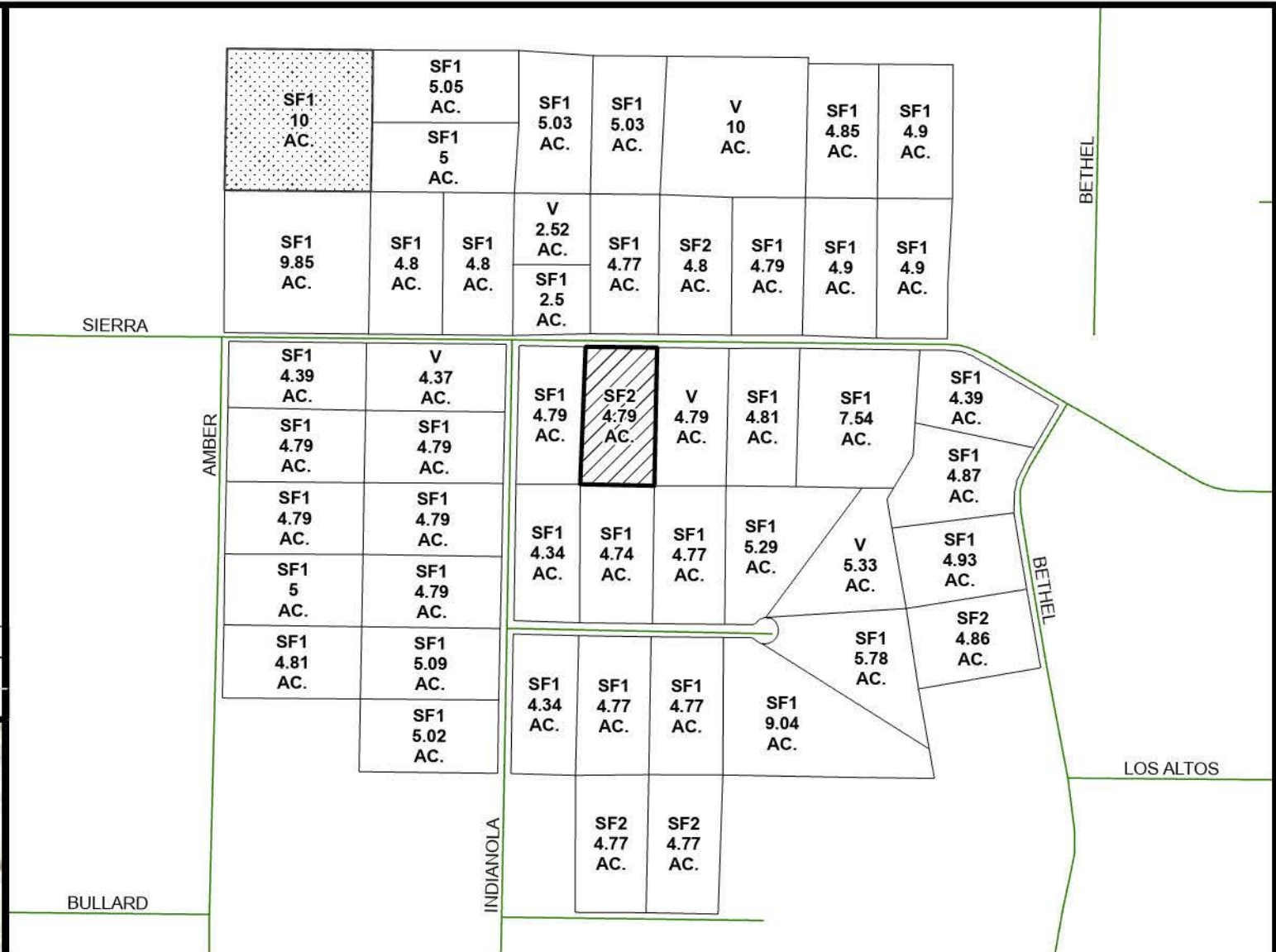
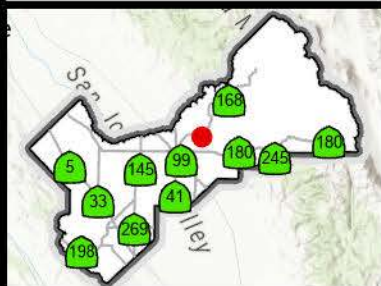
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : mayang
On Date : 4/25/2024



LEGEND:

-  Subject Property
-  Ag Contract Land

LEGEND
 SF#- SINGLE FAMILY RESIDENCE
 V - VACANT

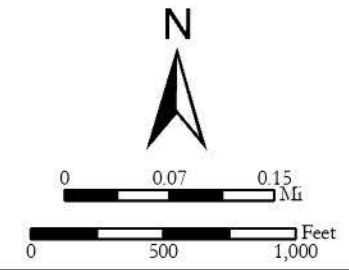


Existing Land Use Map

DRA4765

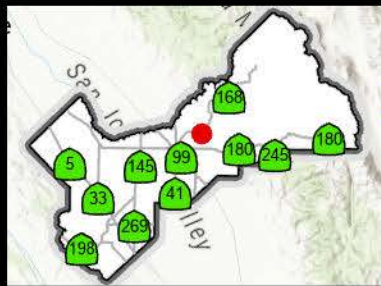
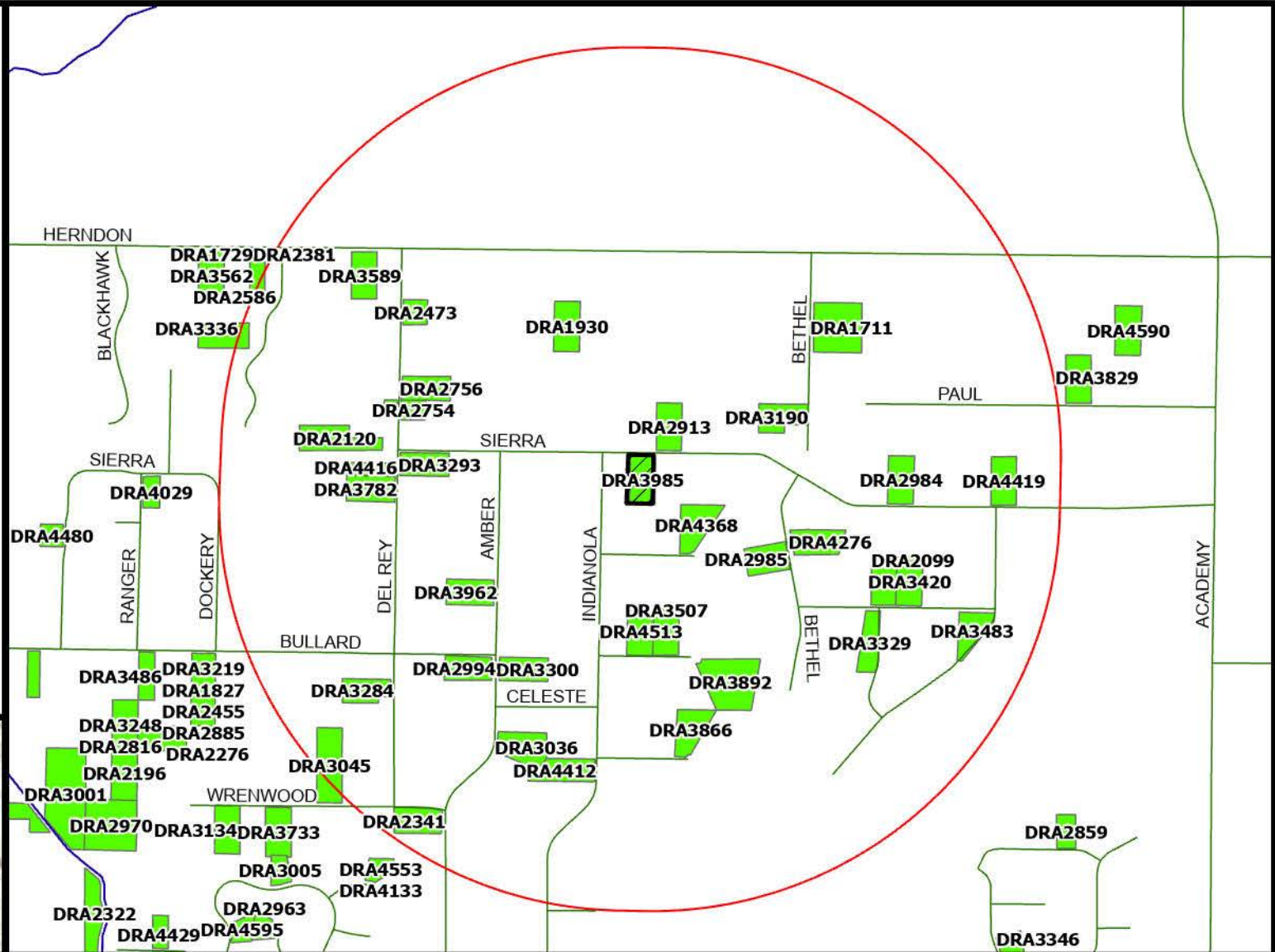
2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : mayang
 On Date : 4/25/2024



Legend

-  Mile Buffer
-  Subject Property
-  DRA Permits

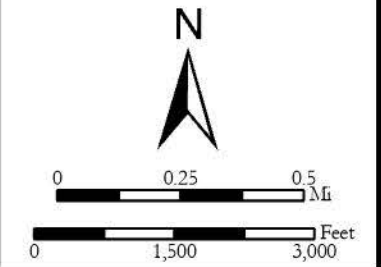


Proximity Map







DRA4765

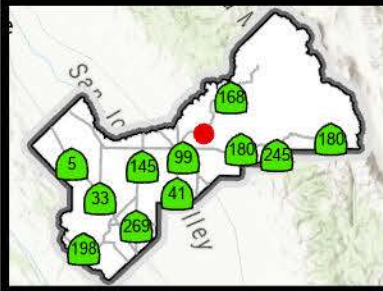
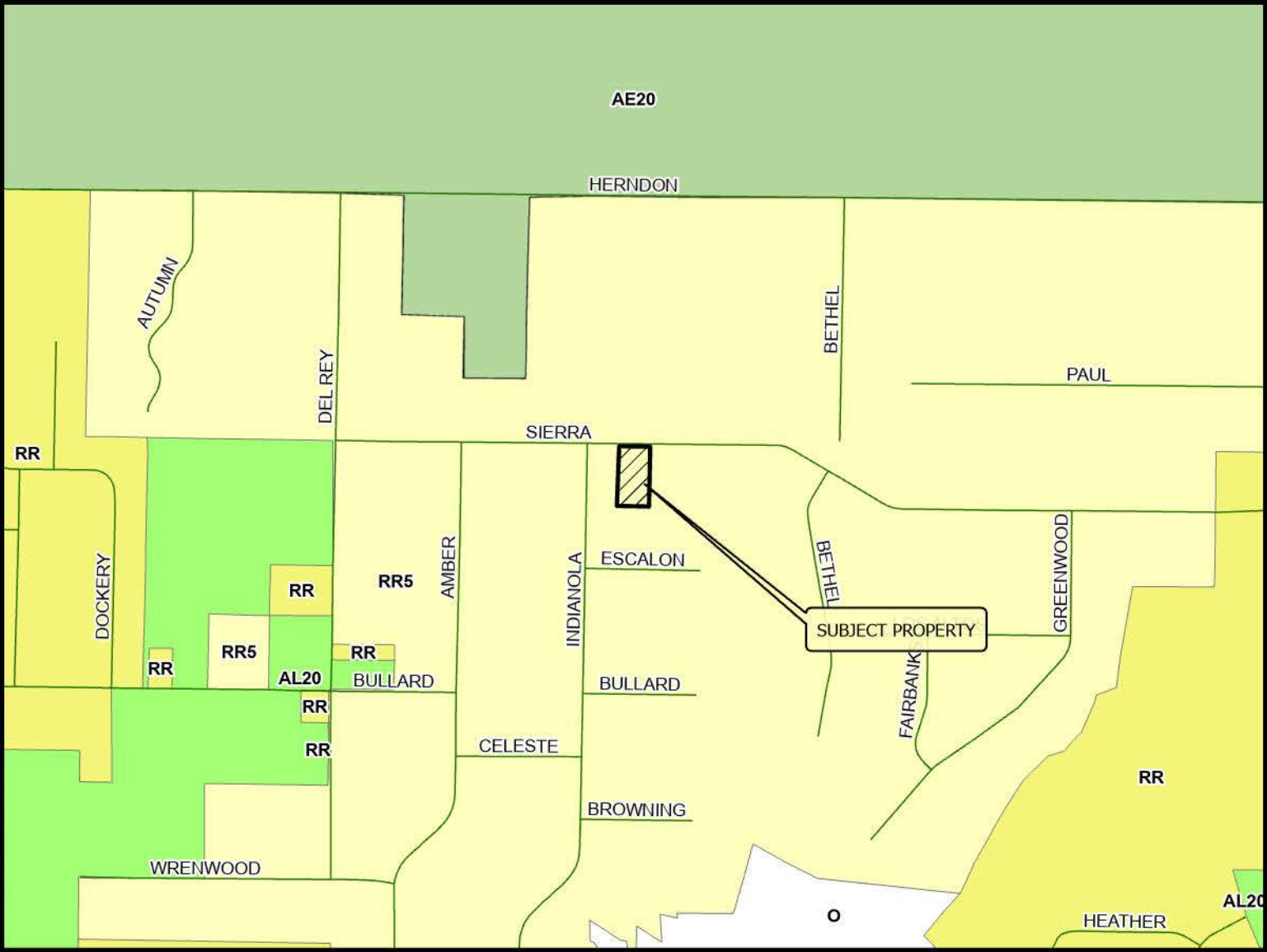
2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : mayang
 On Date : 4/25/2024



Legend

-  Subject Property
-  O
-  AE20
-  AL20
-  RR
-  RR5

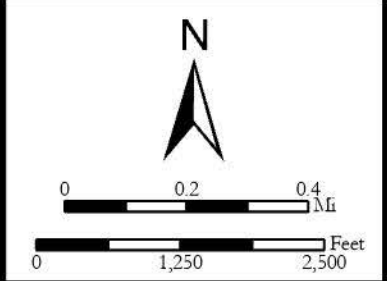


Existing Zoning Map

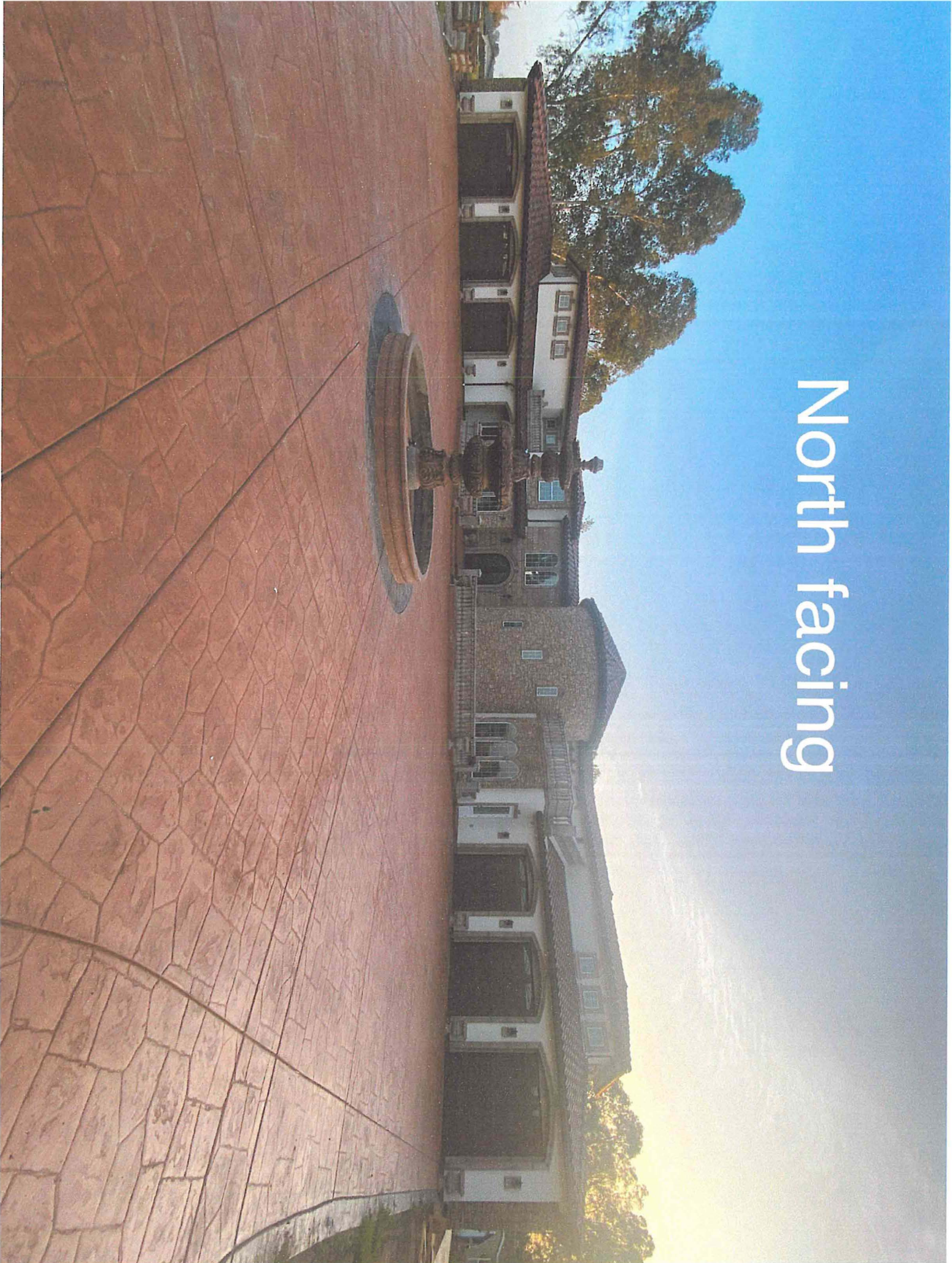
DRA4765
STR 4 - 13S / 22E

2024

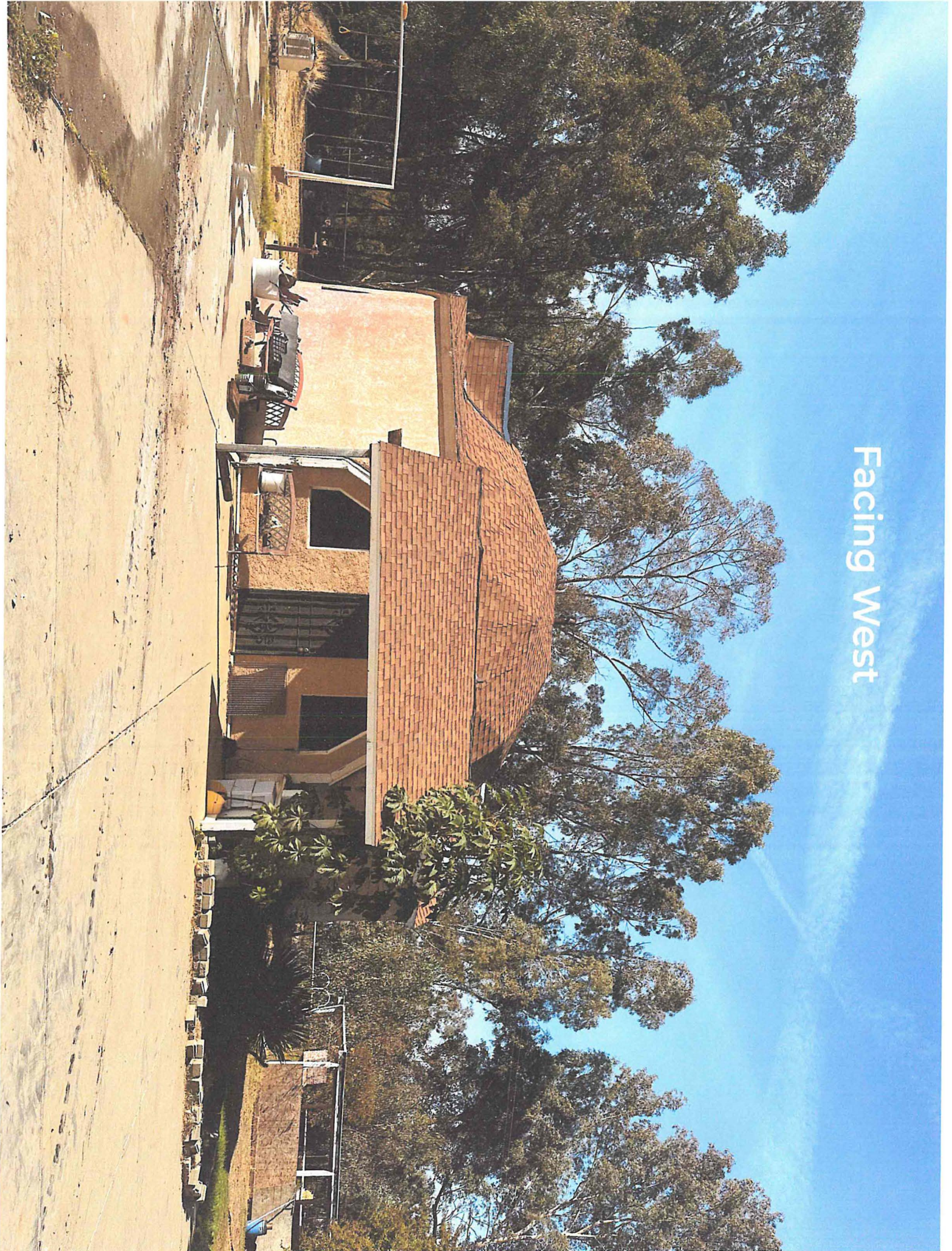
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : mayang
 On Date : 4/25/2024



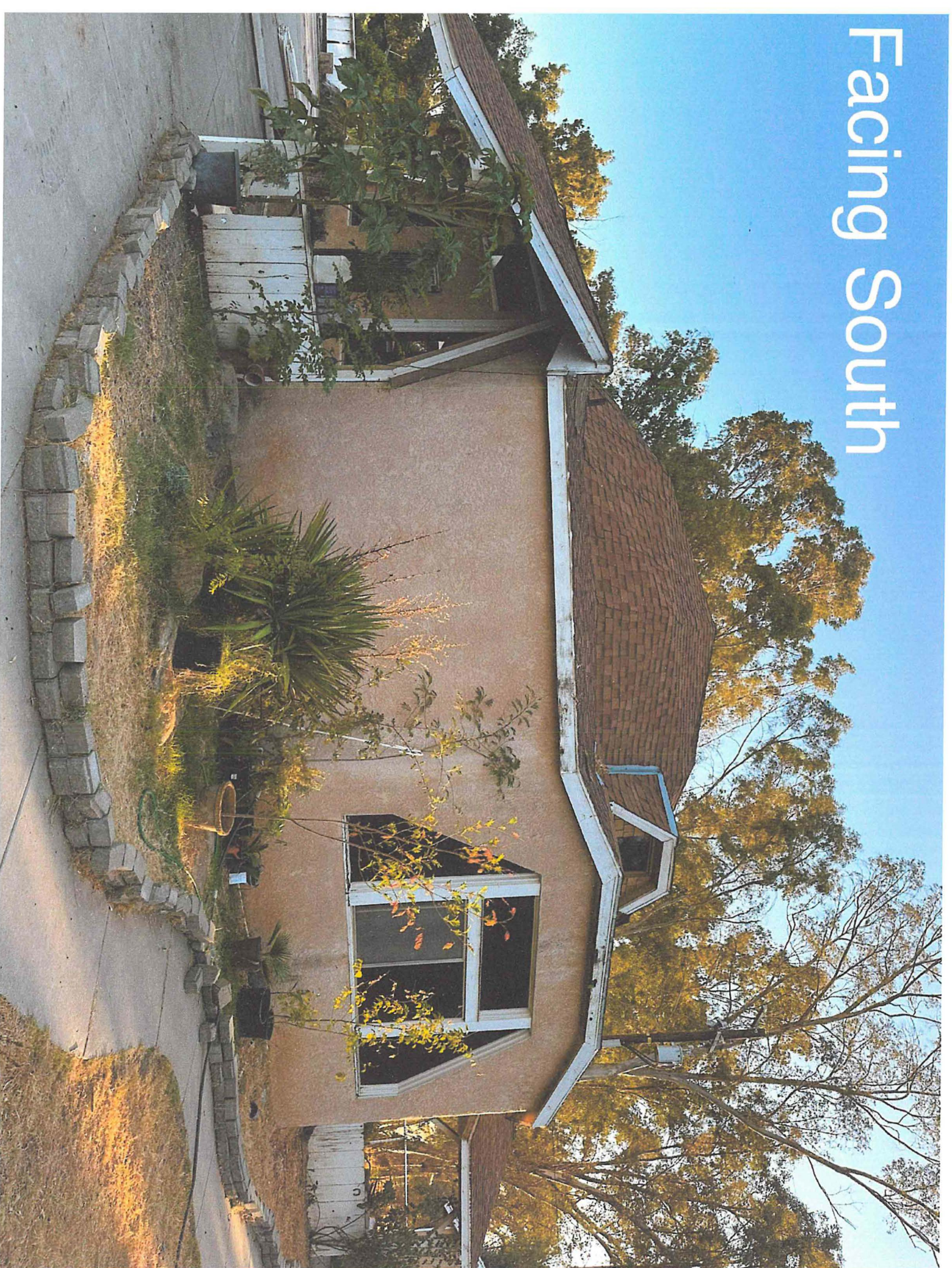
North facing



Facing West



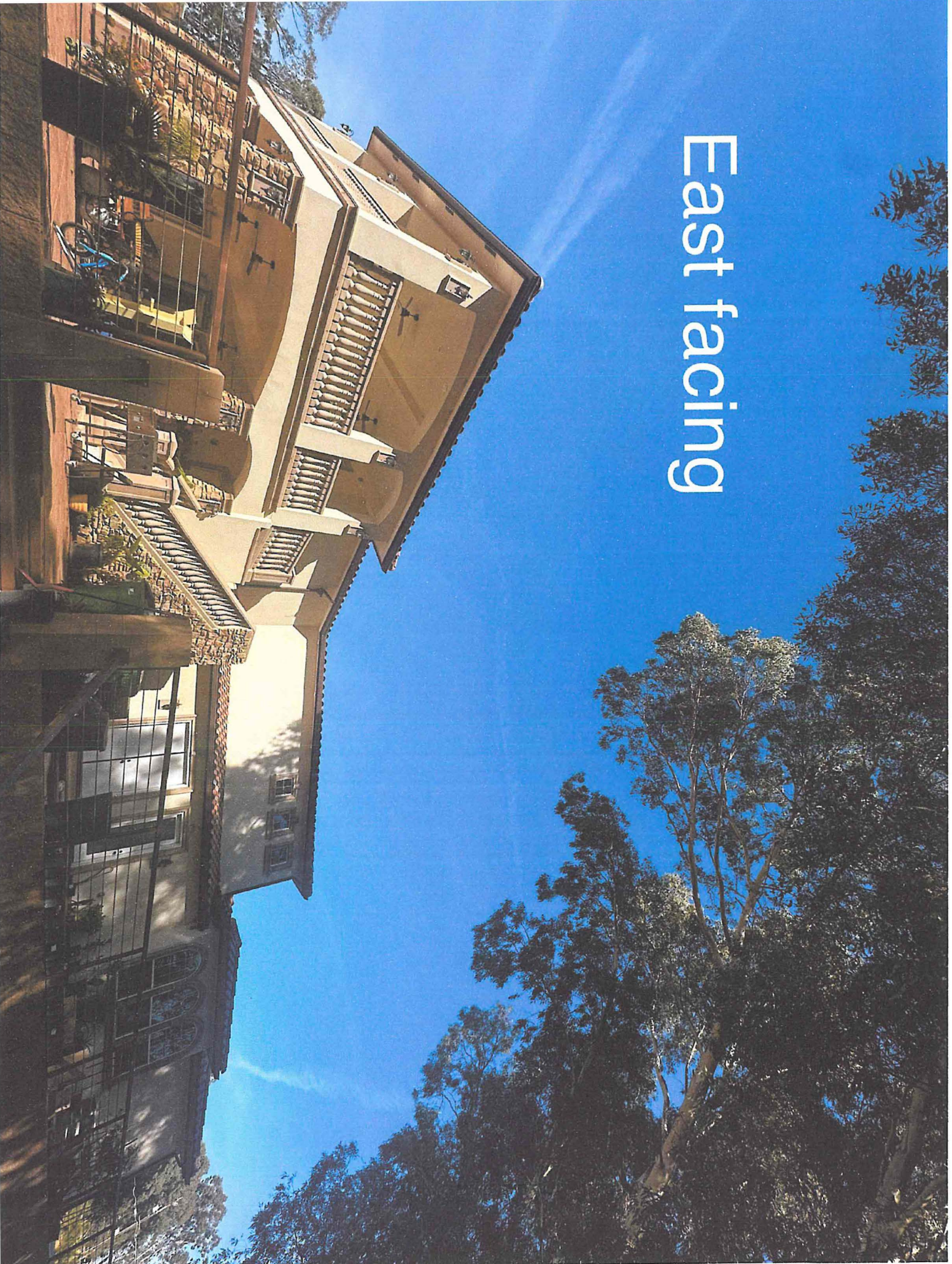
Facing South



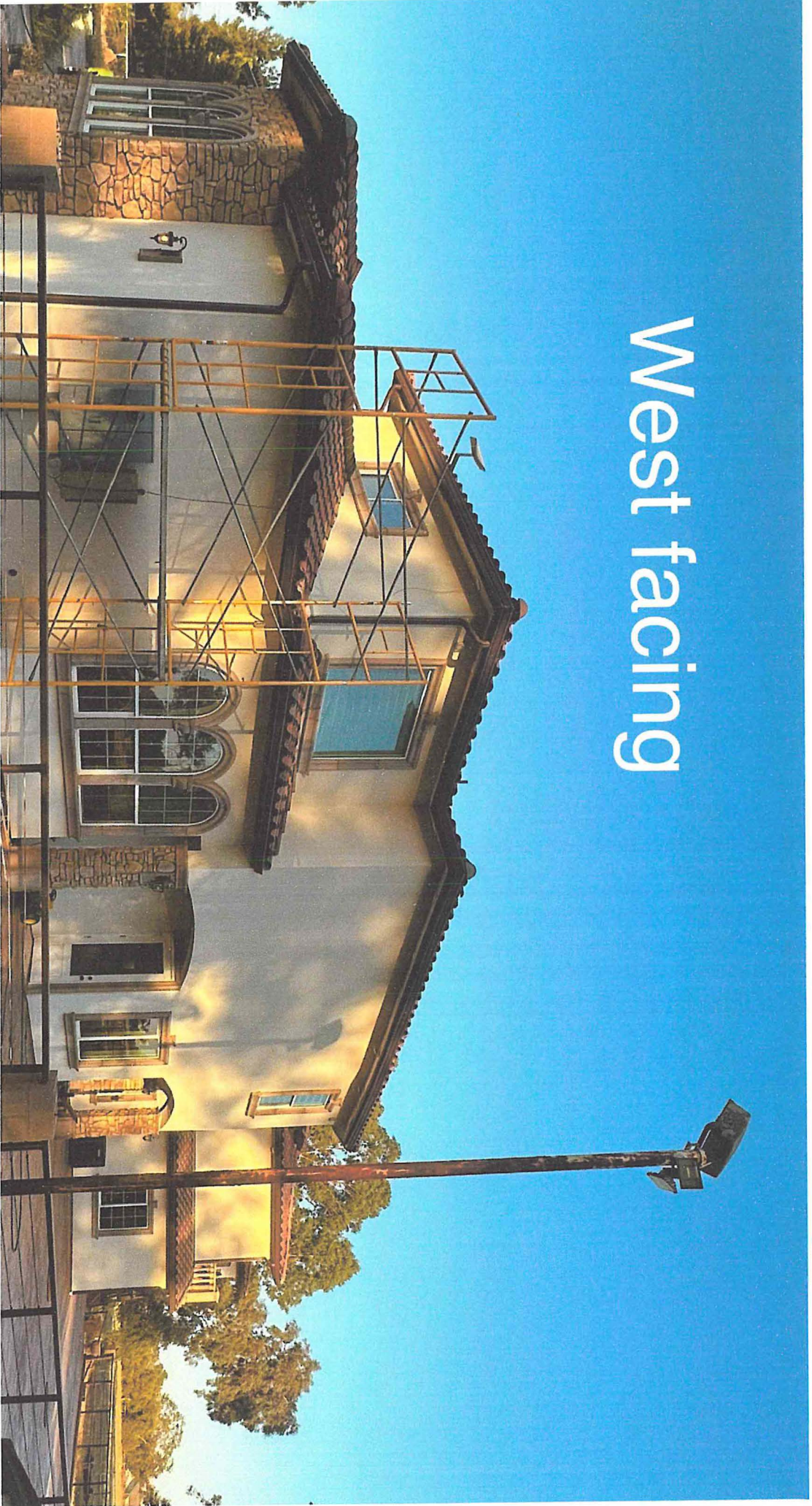
Facing East



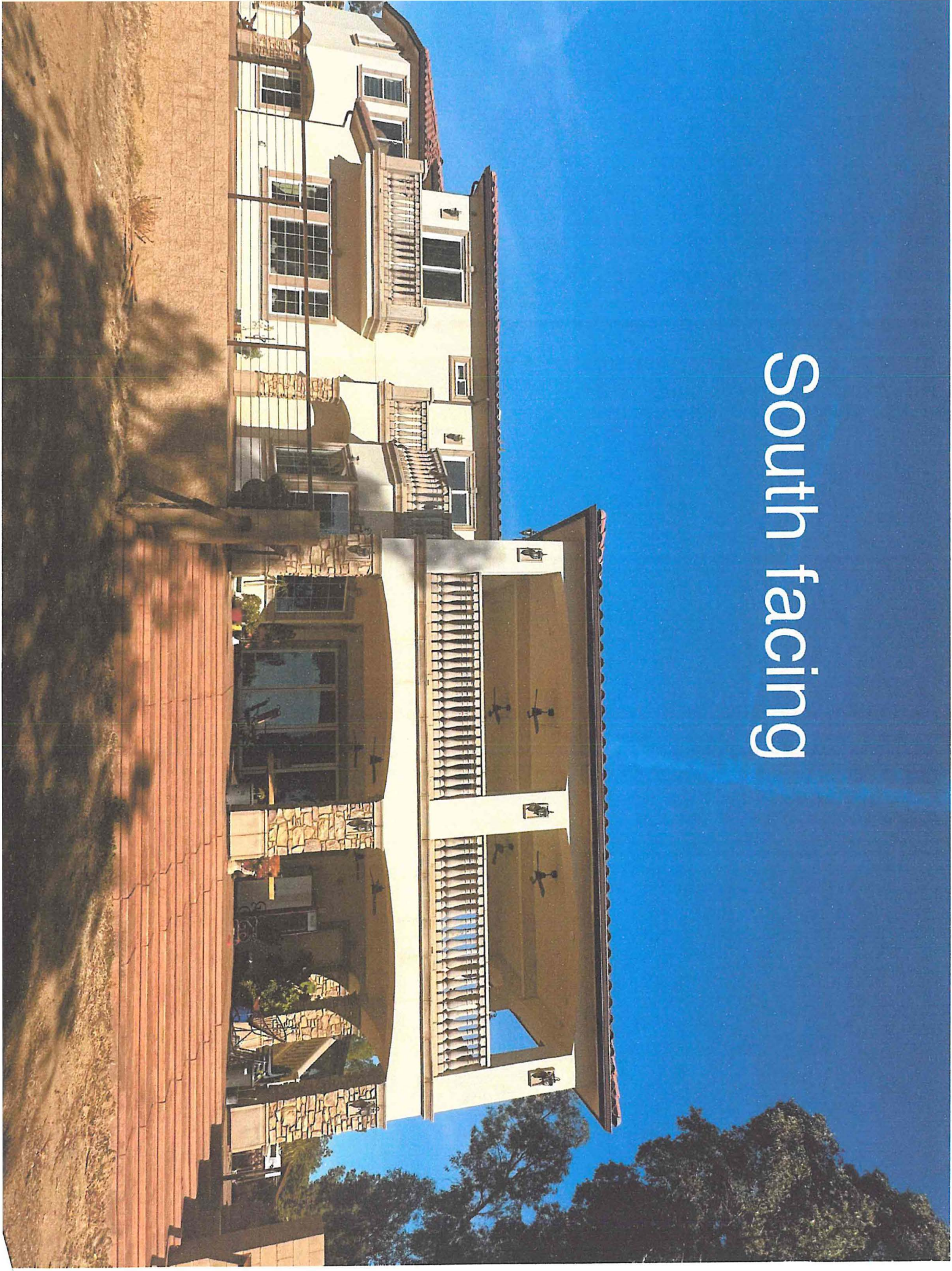
East facing

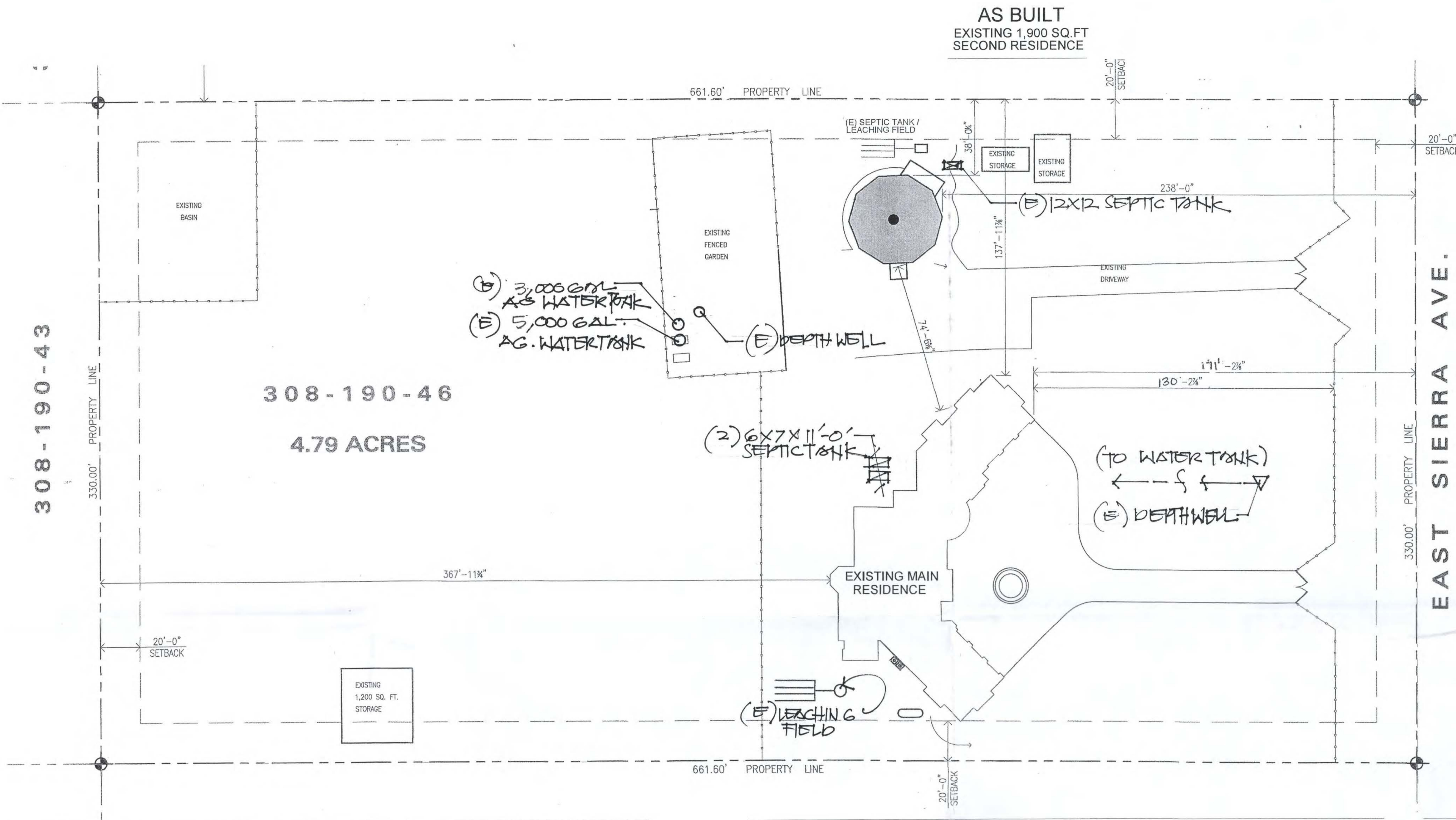


West facing



South facing





PROJECT NAME:
BECERRA RESIDENCE
 AS BUILT PLAN /SECOND HOME
APN . 308 - 190 - 46
 11575 E. SIERRA AVE.
 CLOVIS, CA 936119
 Phone# : 559 862 9018
 Email: derek_becerra@yahoo.com
 Derek Becerra



PREPARED BY: Fernando / Mart / Martinez
 10776 N. Sierra Vista Ave.
 Fresno., CA 93730
 Phone: 559-977-7619
 POC: mart@rhousdesign.com
 mart.martinez11@gmail.com

Signed: *[Signature]* Date: 05 22 2023

Permit Number 6759

SHEET INDEX
ARCHITECTURAL

- A0.1 COVER SHEET, ABBREVIATIONS, SYMBOLS, PROJECT TEAM, PROJECT INFORMATION, GENERAL, SHEET INDEX SITE PLAN
- A0.2 EXISTING FLOOR PLAN - FIRST FLOOR
- A0.3 EXISTING FLOOR PLAN - LOFT AREA
- A0.4 EXISTING FLOOR PLAN - ELEVATIONS
- A0.5 EXISTING FLOOR PLAN - ELEVATIONS

SITE AND BUILDING DATA:

| | |
|-----------------------|---------------------------------------|
| ZONING: | RR (RESIDENTIAL RURAL) |
| TYPE OF CONSTRUCTION: | V-B |
| BUILDING AREA: | EXISTING SECOND RES. 1,900.00 SQ. FT. |

CONSULTANTS

PROJECT:
11575
 E. Sierra Ave.,
 Fresno., CA 9361

AS-BUILT
 Second Residence

GENERAL NOTES

ALL CONSTRUCTION SHALL COMPLY WITH THE ADOPTED ORDINANCE AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED EDITIONS OF THE FOLLOWING:
 CALIFORNIA BUILDING CODE (CBC) 2021
 CALIFORNIA PLUMBING CODE (CPC) 2021
 CALIFORNIA MECHANICAL CODE (CMC) 2021
 CALIFORNIA FIRE CODE (CFC) 2021
 CALIFORNIA ELECTRICAL CODE (CEC) 2021
 STATE OF CALIFORNIA, TITLE 24 2021
 CALIFORNIA RESIDENTIAL CODE (CRC) 2021
 FRESNO COUNTY ORDINANCE CODE TITLE 15

PLAN CHECK PROCESS:
 CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, 2) INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN, 3) A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM AND 4) INTERIOR NON STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK (FOR A NEW PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL

ARTISANS ARE TO BE ISSUED TO ANYONE OTHER THAN A LICENSED CONTRACTOR, AN OWNER - BUILDER VERIFICATION MUST BE COMPLETED BY THE OWNER AND SUBMITTED PRIOR TO ISUANCE OF PERMITS. THE PERMITTEE WILL HIRE EMPLOYEES SUBJECT TO WORKER'S COMPENSATION LAW REQUIREMENTS AND PROVIDE CURRENT, VALID CERTIFICATE OF WORKER'S COMPENSATION INSURANCE.

INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNER BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 253, SUBCHAPTER 4.

THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIALS INSTALLED "R" VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED DENSITY FOR THE DESIRED "R" VALUE.

CONTRACTOR TO PROVIDE TO THE BUILDING DIVISION A COMPLETED CEC FORM CF-6R PRIOR TO THE REQUEST FOR A FINAL INSPECTION. IT IS UNDERSTOOD THAT NO FINAL INSPECTION WILL BE MADE UNTIL THIS FORM IS SUBMITTED.

A CHEMICAL TOILET IS REQUIRED ON SITE DURING CONSTRUCTION.

CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER OR A DEVELOPER BEFORE PROCEEDING WITH WORK.

THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY

STREET ADDRESS AND NUMBERS SHALL BE POSTED PRIOR TO THE FIRST INSPECTIONS. ADDRESS NUMBER SHALL BE A MINIMUM OF 4 INCHES (102 MM.) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. 2022 CRC R106.1.1 R319.1 & COUNTY OF FRESNO FIRE DEPARTMENT STANDARD #14. FRONTING THE PROPERTY. (CRC R319.1.)

PROJECTS LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF NOT LESS THAN 1' ABOVE THE 100 YEAR FLOOD LEVEL. 2022 CRC R106.1.1.

SURFACE WATER DRAINING WATER AWAY FROM THE BUILDING CRC 2022 R300.1 & R300.2

BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD

a. NUMBERS SHALL CONTRAST WITH THE BACKGROUND AND BE LEGIBLE.
 b. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
 CONSTRUCTION WASTE MANAGEMENT PLAN MUST BE FINALIZED PRIOR TO OCCUPANCY.

GENERAL NOTES:

9. NO ON SITE WATER RETENTION.
10. BUILDING SHALL HAVE APPROVED NUMBERS PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (CRC R319.1.)
 A). NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 B). NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2".
11. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND / OR UTILITY EASEMENT, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT.
12. PROVIDE 2% SLOPE ON THE 24" PERIMETER CONC. WALK AS SHOWN ON THE SITE PLAN.
13. PROJECT LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF AT LEAST ONE INCH (1") ABOVE THE 100 YEAR FLOOD LEVEL.
14. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
15. REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
16. OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION. COMPACTION REQUIRED.
1. DECREPAANCIES OR EMISSION, ERRORS SHALL INFORM THE DESIGNER OR CONTRACTOR FOR CORRECTIONS BEFORE THE WORK AFFECTED THEREBY IS EXECUTED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AT THE JOB SITE PRIOR TO BEGIN OR START COMMENCING WITH ANY WORK.
3. THE SET OF CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON THE JOB SITE DURING CONSTRUCTION AND SITE INSPECTION.
4. NO DRAINAGE SHOULD NOT ALLOWED ACROSS TO THE ADJACENT PRIVATE PROPERTY.
5. THE CONSTRUCTION DOCUMENTS SUCH AS PLANS SHALL BE SCALED ONLY WHERE FIGURE OR OTHER MEANS OF ASCERTAINING MEASUREMENTS ARE NOT GIVEN.
6. REQUIRED SLOPE OF A MINIMUM 0.5%, FROM THE BACK TO THE FRONT WITH A MAXIMUM DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PROPERTIES SHOULD NOT BE LESS THAN 1'-0" WITH OUT THE RETAINING WALL.
7. NO PORTION OF THE DRIVEWAY SHALL NOT EXCEED A GRADE OF 18 PERCENT (18%).
8. CONTRACTOR MAY ADJUST PLACEMENT OF RESIDENCE IF NECESSARY AS LONG AS ALL MINIMUM SETBACK ARE OBSERVED AS PER REQUIRED BY THE CITY REQUIREMENTS.

VICINITY MAP

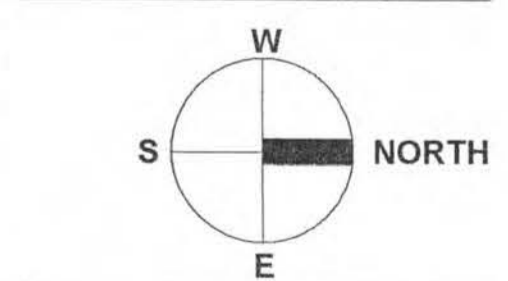
PROJECT LOCATION

EXISTING SECOND RES. / AS BUILT
 11575 E. SIERRA AVE.
 Clovis, CA 93619



RHOUDESIGN EXPRESSLY RESERVES ITS COMM LAW COPYRIGHT AND OTHER APPLICABLE PROPE RIGHTS IN THESE PLANS. THESE PLANS ARE NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY F OR MANNER WHATSOEVER, NOW AND THIS TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSI OF RHOUDESIGN. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD RHOUDESIGN HARMLE AND SHALL BEAR THE COST OF THE LEGAL FEES ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

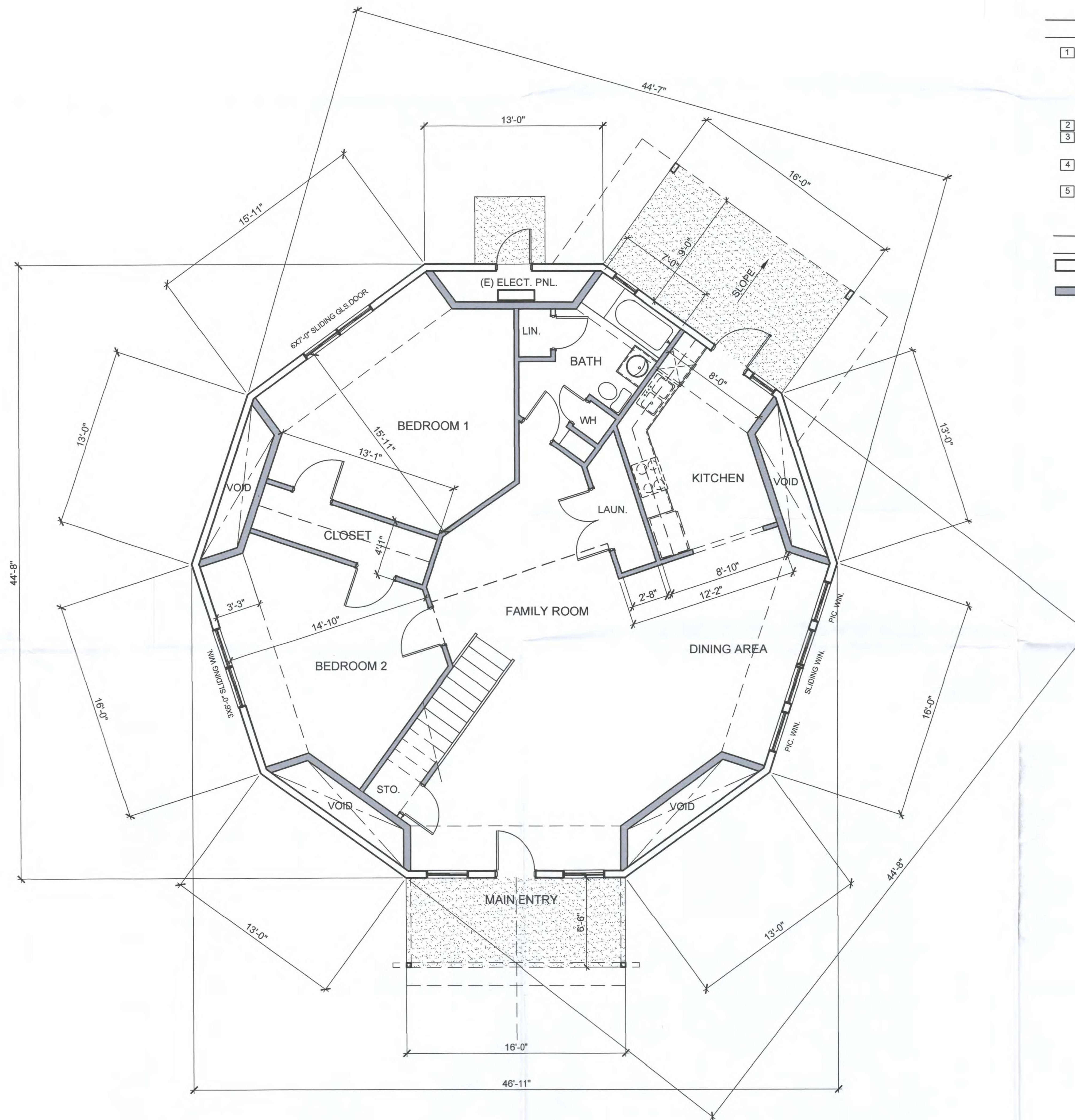
TITLE SHEET:
COVER SHEET
GENERAL NOTE
SITE PLAN



REVISIONS
 FOR PERMIT
 NO. DATE:

DRAWN: FPMARTINEZ
 SCALE: 1" = 20'-0"

A0.1
 OF



- GENERAL KEY NOTES:**
- EMERGENCY EGRESSES, ONE SASH IN EA. SLIPPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESSES WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA 5.7 SQUARE FEET. THE MIN. NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24" AND THE MIN. NET OPENABLE WIDTH BE 24 INCHES AND THE MIN. NET OPENABLE DIM. SHALL BE 20". THE EGRESSES WINDOW SHALL HAVE A FINISHES SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 - TEMPERED GLAZING. CRC R308.4
 - EMERGENCY EXIT IN BEDROOM SHALL PROVIDE A MINIMUM 20" WIDE & 24" HIGH OPENING WITH A MINIMUM OPEN AREA OF 5.7 SQ.FT. (821 SQ.IN.) (R310.1.1, 310.1.2, 310.1.3)
 - EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM EDGE OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FINISH FLOOR. (R310.1)
 - LANDING OR FLOOR AT THE REQUIRED EGRESSE DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD.

- WALL LEGEND:**
- 2 X 6 WOOD STUDS @ 16" O.C. EXTERIOR WALL
 - 2 X 4 WOOD STUDS @ 24" O.C. INTERIOR WALL



Creative Homes | Custom Living
RHOUSEDIGI STUDIO
 www.rhousedesign.com

CONSULTANTS

PROJECT:
 11575
 E. Sierra Ave.,
 Fresno., CA 9361

AS-BUILT
 Second Residence

RHOUSEDIGI EXPRESSLY RESERVES ITS COMM. LAW COPYRIGHT AND OTHER APPLICABLE PROPR. RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF RHOUSEDIGI. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD RHOUSEDIGI HARMLESS AND SHALL BEAR THE COST OF THE LEGAL FEES ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

TITLE SHEET:

FLOOR PLAN

REVISIONS

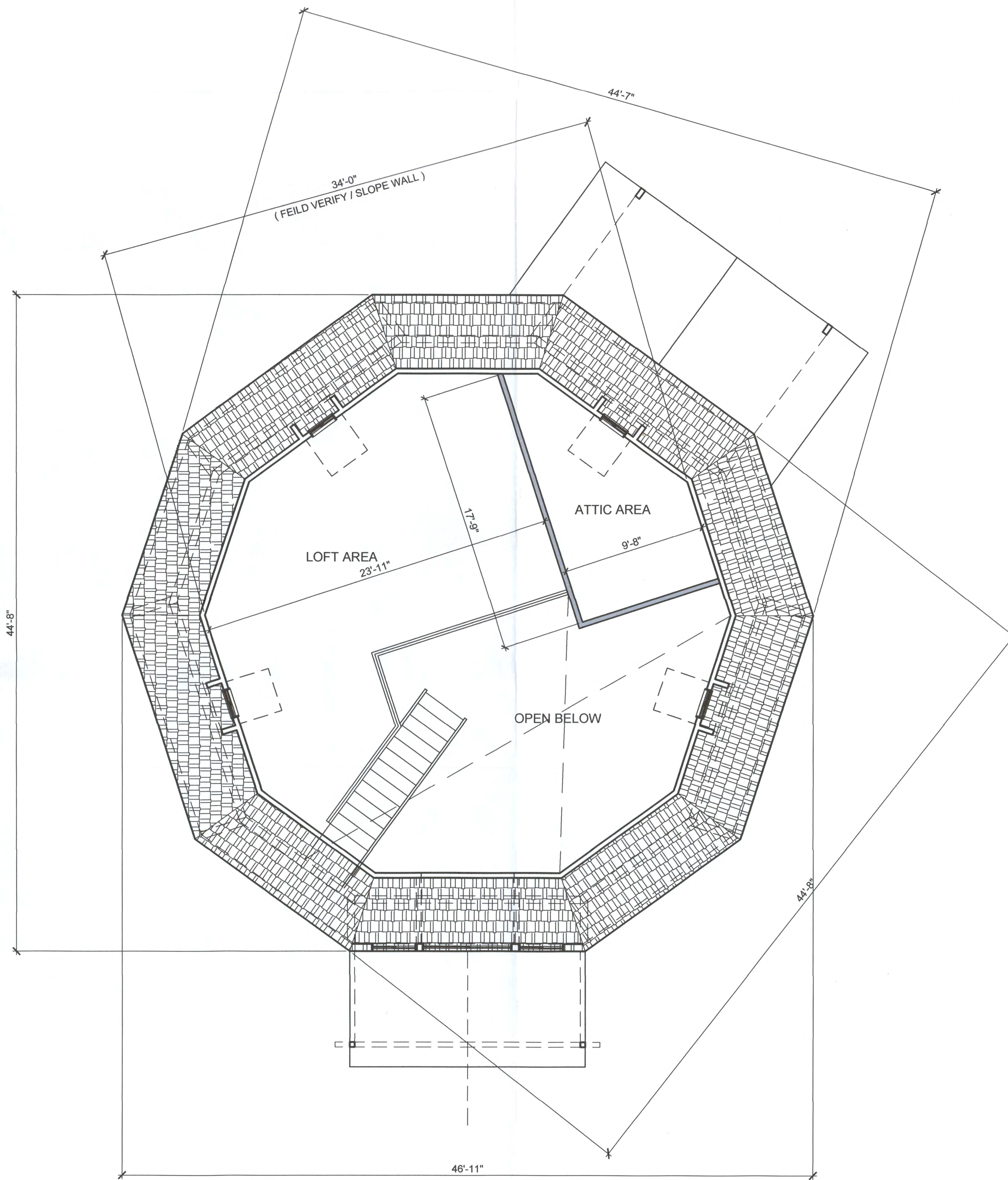
| NO. | DATE |
|-----|------|
| | |
| | |
| | |

DRAWN: FPMARTINEZ
 SCALE: 1/4" = 1' - 0"

FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

A0.2
 OF





SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

GENERAL KEY NOTES:

- 1 EMERGENCY EGRESSES, ONE SASH IN EA. SLIPPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESSES WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA 5.7 SQUARE FEET. THE MIN. NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24" AND THE MIN. NET OPERABLE WIDTH BE 24 INCHES AND THE MIN. NET OPENABLE DIM. SHALL BE 20". THE EGRESSES WINDOW SHALL HAVE A FINISHES SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- 2 TEMPERED GLAZING. CRC R308.4
- 3 EMERGENCY EXIT IN BEDROOM SHALL PROVIDE A MINIMUM 20" WIDE & 24" HIGH OPENING WITH A MINIMUM OPEN AREA OF 5.7 SQ.FT. (821 SQ.IN.) (R310.1.1, 310.1.2, 310.1.3)
- 4 EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM EDGE OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FINISH FLOOR. (R310.1)
- 5 LANDING OR FLOOR AT THE REQUIRED EGRESSES DOOR SHALL NOT BE MORE THAN 1 1/2' LOWER THAN THE TOP OF THE THRESHOLD.

WALL LEGEND:

-  2 X 6 WOOD STUDS @ 16" O.C. EXTERIOR WALL
-  2 X 4 WOOD STUDS @ 24" O.C. INTERIOR WALL



Creative Homes | Custom Living
RHOUDESIGN
 STUDIO
 www.rhousedesign.com

CONSULTANTS

PROJECT:

11575
 E. Sierra Ave.,
 Fresno., CA 9361

AS-BUILT
 Second Residence

RHOUDESIGN EXPRESSLY RESERVES ITS COMM. LAW COPYRIGHT AND OTHER APPLICABLE PROPR. RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF RHOUDESIGN. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD RHOUDESIGN HARMLESS AND SHALL BEAR THE COST OF THE LEGAL FEES ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

TITLE SHEET:

FLOOR PLAN

REVISIONS

FOR PERMIT

NO. DATE:

DRAWN: FPMARTINEZ

SCALE: 1/4" = 1' - 0"

A0.3
 OF

ELEVATION GENERAL NOTES;

SURFACE WATER WILL BE DRAINED AWAY FROM THE BUILDING FOR AT LEAST THE FIRST 10 FEET WITH A MIN. GRADE OF 6". WHERE THIS REQUIREMENT CAN NOT BE MET AND ALTERNATIVE METHOD WILL BE REQUIRED. PER 2016 CRC R401.3.

ALL PATIO / PORCHES / PAVED AREAS THAT THE WEEP SCREED SHALL BE PLACED 4" FROM EARTH AND 2" FROM PAVED AREAS. (CRC 2019 R703.6.6.1)

INSULATION: PER TITLE 24 ENERGY DOCUMENTATION CEILING 5/8" THK. GYPSUM BOARD AT 2X FRAMING MEMBERS @ 24" O.C. / 1/2" THK. GYPSUM BOARD @ 2X FRAMING MEMBERS @ 16" O.C.

FLOOR CONSTRUCTION ASSEMBLY: 3 1/2" THK. CONCRETE SLAB ON GRADE AS NOTED ON FOUNDATION PLAN.

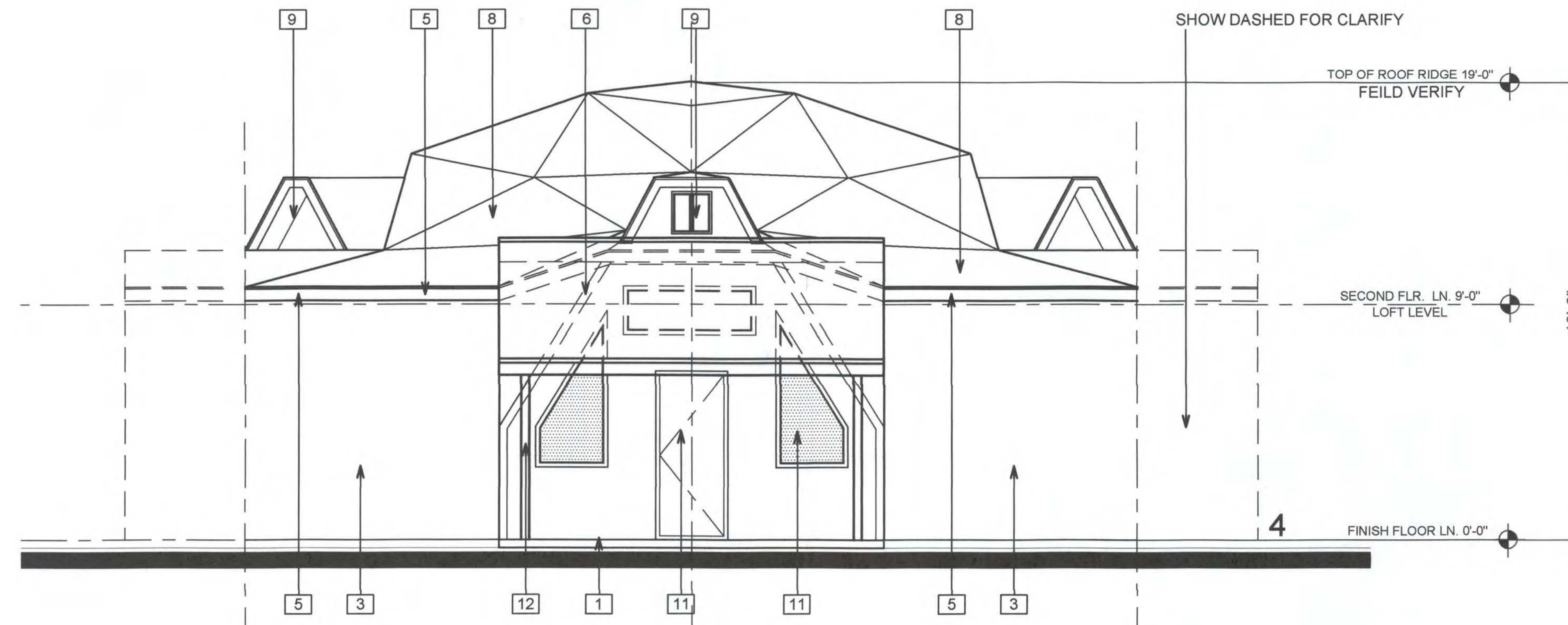
LATH AND PLASTER SHALL COMPLY WITH SECTION 2016 CRC. STUCCO, USE CEMENTS PLASTER WITH 17 GA. LINE WIRE & 15# FELT BACKING WITH BUILDING PAPER / INSTALL GALVANIZED SHEET METAL WEEP SCREED.

- A. PROVIDE 2 LAYERS OF TYPED PAPER UNDERLAYMENT WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING.
- B. PROVIDE STUCCO OVER 3.4# SHEET METAL RIB LATH MESH AT ALL EAVES AND HORIZONTAL EXTERIOR SOFFITS.
- C. AN INSTALLATION CARD MUST BE COMPLETED AND LEFT AT THE JOB SITE WITH THE BUILDING DEPARTMENT.

BLOWN OR Poured TYPE INSULATION MATERIALS SHALL ONLY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2 5/12. PROVIDED BATT INSULATION AT SLOPES 2 5/12 AND GRATER ROOF COVERING MUST CONFORM TO THE STANDARD OF THE 2016 CBC & 2016 CFC METHODS OF FLASHING AND COUNTER FLASHING OF CHIMNEYS, PARAPET AND ROOF TO WALL CONNECTIONS SHALL BE IN COMPLIANCE WITH CBC 1503 ALL WEEP SCREEDS SHALL BE INSTALLED A MIN. OF 4" ABOVE THE EARTH AND TWO(2) " ABOVE THE PAVED AREAS AND TO REQUIREMENTS. ATTIC VENTS CALCULATIONS FOR MINIMUM VENT AREA REQUIREMENTS ALL EXTERIOR WINDOWS SHALL MEET THE REQUIREMENTS OF THE CRC R327.8.2.1 (20 MIN. FIRE RESISTANCE RATING).

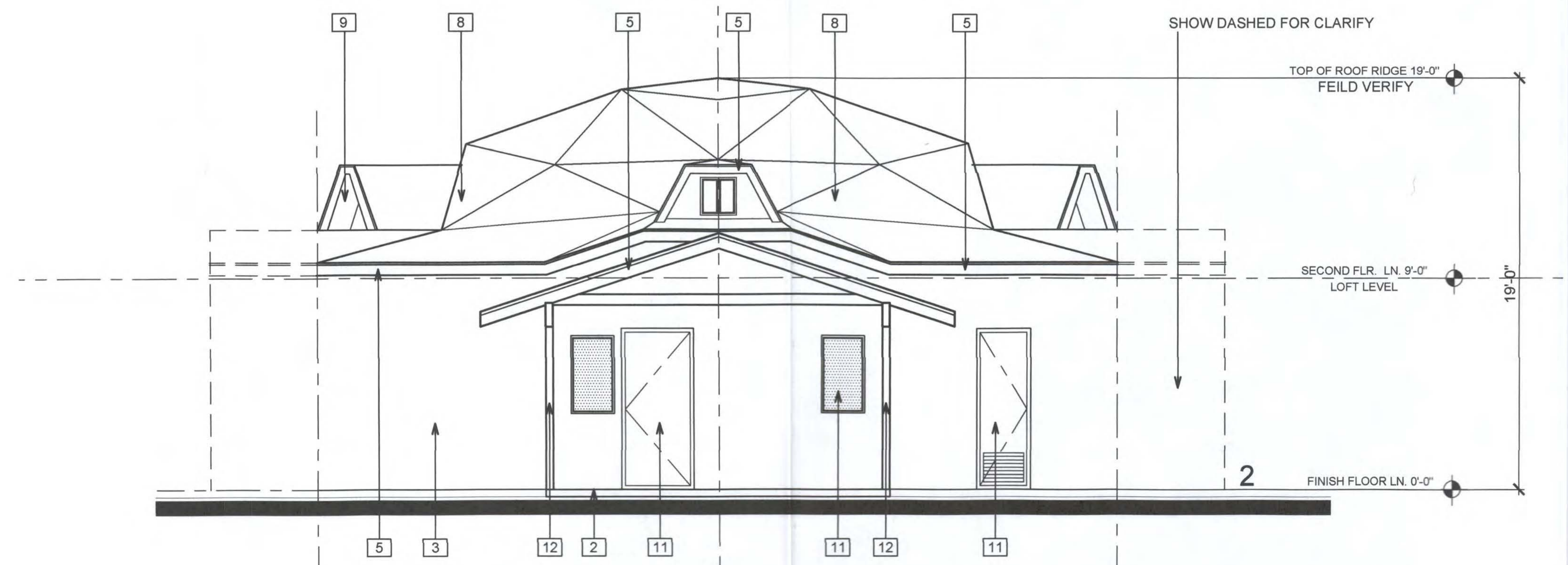
ELEVATION KEYNOTES

| | |
|----|--|
| 1 | 36"x36" CONCRETE STOOP GARAGE DOOR. SEE FLOOR PLAN |
| 2 | THREE AND ONE HALF INCH (3 1/2") V-TYPE WEEP SCREED ATTACHMENT FLANGE, TYP. SEE S1A4.0 |
| 3 | TYP. STUCCO WALL SIDINGS |
| 4 | GALVANIZED ROOF GUTTER. SEE ROOF PLAN FOR LOCATION |
| 5 | 2X10 WD FACIA |
| 6 | WOOD TRIM / WINDOW HEAD AND SILL |
| 7 | 7'-0" SLIDING GLASS DOOR. SEE SCHEDULE OF DOOR FOR SIZE |
| 8 | COMPOSITE SHINGLES ROOF. SEE ROOF PLAN FOR DETAIL AND NOTES |
| 9 | ACCENT DECORATIVE DORMER WINDOW |
| 10 | EXTERIOR COUCH LIGHT / FLOOD LIGHT (VERIFY OWNER FOR LOCATION.) |
| 11 | DOOR / WINDOW. SEE SCHEDULE |
| 12 | 2 X WOOD POST. |



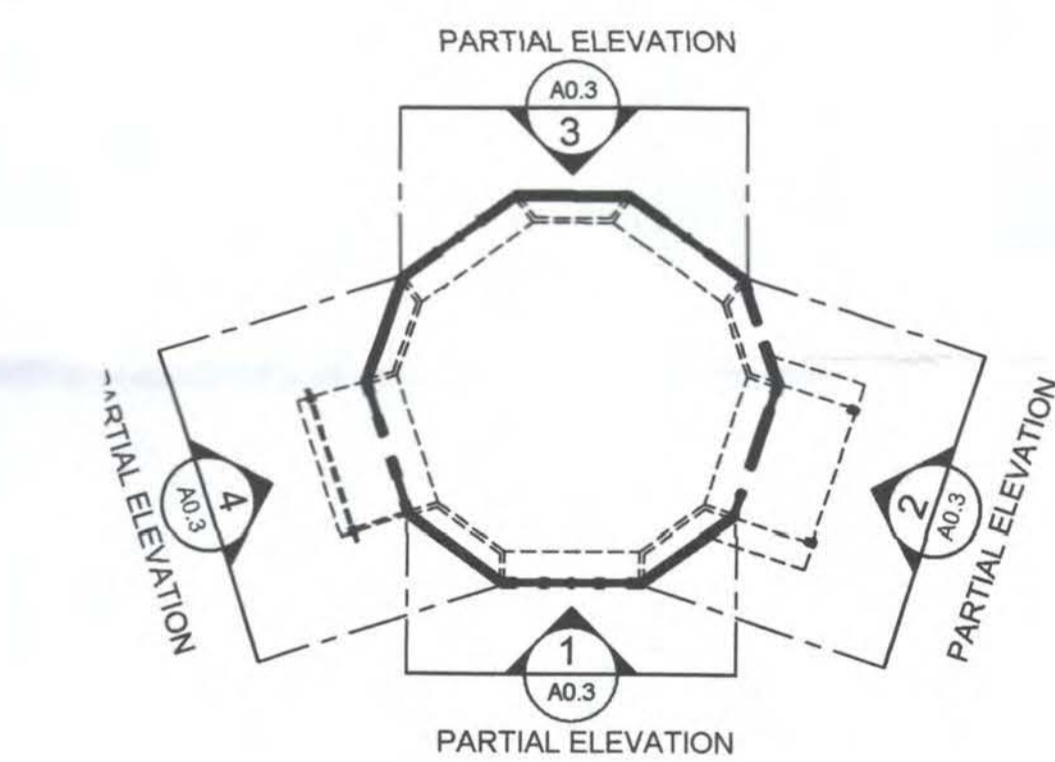
ELEVATION - 4

SCALE: 1/4" = 1' - 0"



ELEVATION - 2

SCALE: 1/4" = 1' - 0"



ELEVATION KEY PLAN



Creative Homes | Custom Living
**RHOUDESIGN
 STUDIO**
 www.rhousdesign.com

CONSULTANTS

PROJECT:

11575
 E. Sierra Ave.,
 Fresno., CA 9361

AS-BUILT
 Second Residence

RHOUDESIGN EXPRESSLY RESERVES ITS COMM. LAW COPYRIGHT AND OTHER APPLICABLE PROPR. RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF RHOUDESIGN. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD RHOUDESIGN HARMLESS AND SHALL BEAR THE COST OF THE LEGAL FEES ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

TITLE SHEET:

ELEVATIONS

REVISIONS

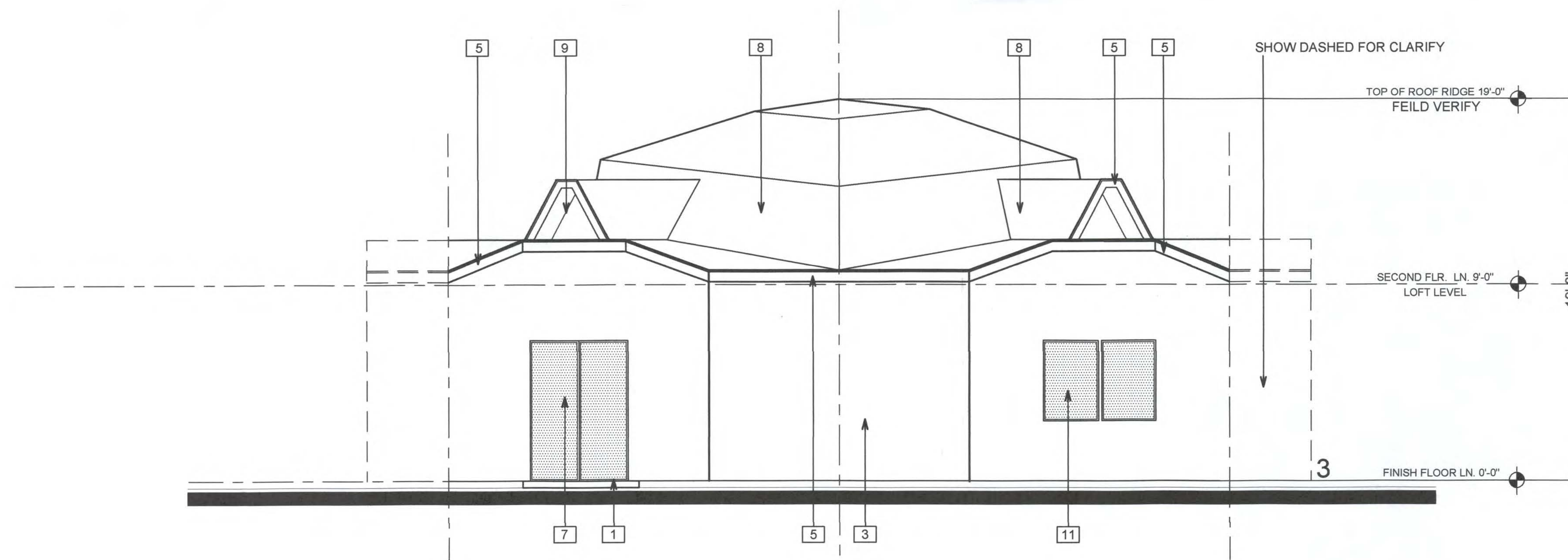
FOR PERMIT

NO. DATE:

DRAWN: FPMARTINEZ

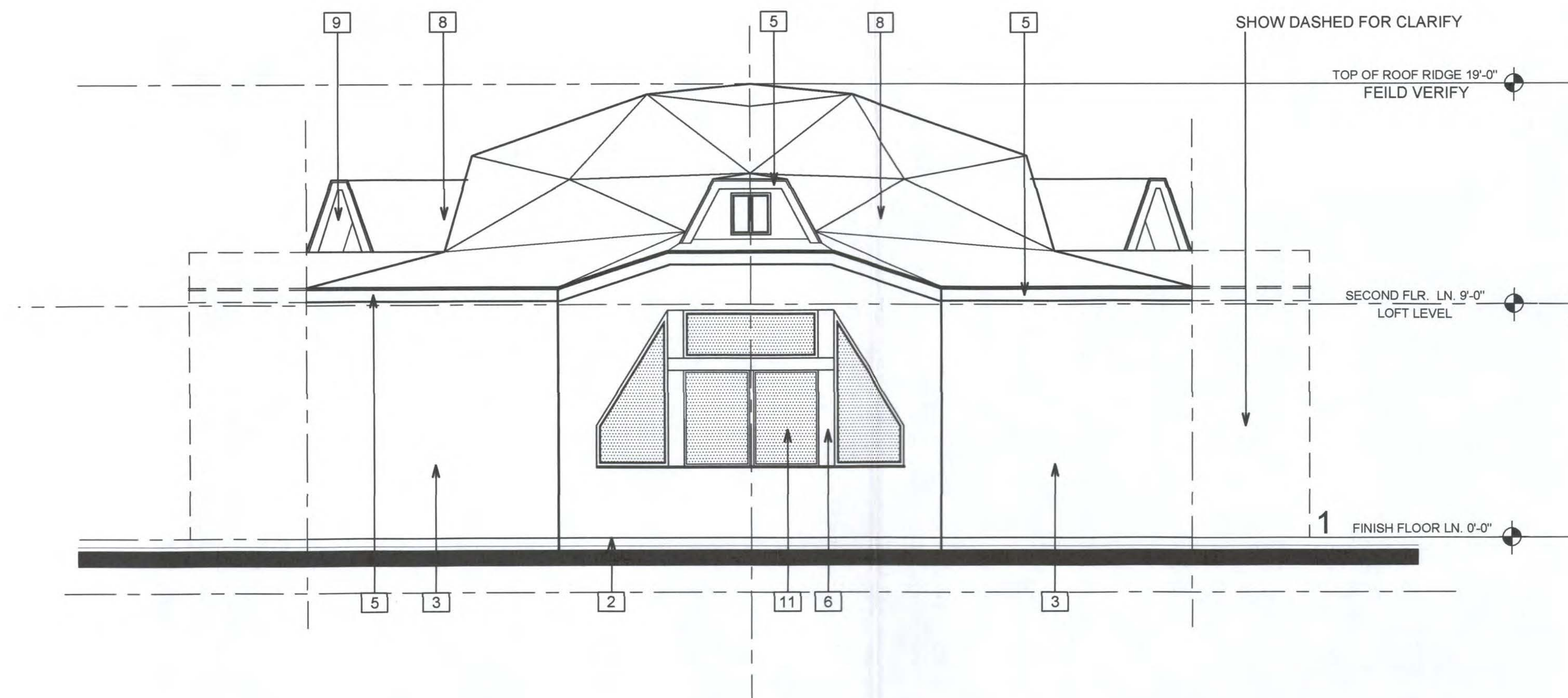
SCALE:

A0.4
 OF



ELEVATION - 3

SCALE: 1/4" = 1' - 0"



ELEVATION - 1

SCALE: 1/4" = 1' - 0"

ELEVATION GENERAL NOTES:

SURFACE WATER WILL BE DRAINED AWAY FROM THE BUILDING FOR AT LEAST THE FIRST 10 FEET WITH A MIN. GRADE OF 6". WHERE THIS REQUIREMENT CAN NOT BE MET AND ALTERNATIVE METHOD WILL BE REQUIRED. PER 2016 CRC R401.3.

ALL PATIO / PORCHES / PAVED AREAS THAT THE WEEP SCREED SHALL BE PLACED 4" FROM EARTH AND 2" FROM PAVED AREAS. (CRC 2019 R703.6.6.1)

INSULATION: PER TITLE 24 ENERGY DOCUMENTATION CEILING 5/8" THK. GYPSUM BOARD AT 2X FRAMING MEMBERS @ 24" O.C. 1/2" THK. GYPSUM BOARD @ 2X FRAMING MEMBERS @ 16" O.C.

FLOOR CONSTRUCTION ASSEMBLY: 3 1/2" THK. CONCRETE SLAB ON GRADE AS NOTED ON FOUNDATION PLAN.

LATH AND PLASTER SHALL COMPLY WITH SECTION 2016 CRC. STUCCO; USE CEMENTS PLASTER WITH 17 GA. LINE WIRE & 15# FELT BACKING WITH BUILDING PAPER / INSTALL GALVANIZED SHEET METAL WEEP SCREED.

A. PROVIDE 2 LAYERS OF TYPE'D' PAPER UNDERLAYMENT WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING.

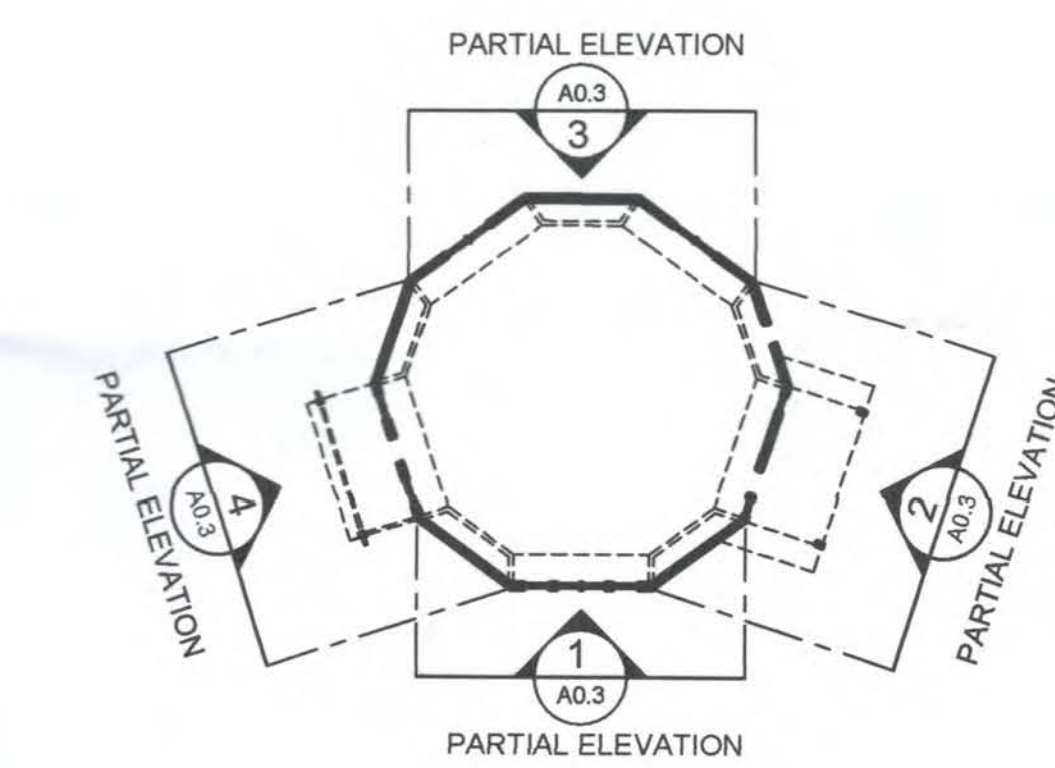
B. PROVIDE STUCCO OVER 3.4# SHEET METAL RIB LATH MESH AT ALL EAVES AND HORIZONTAL EXTERIOR SOFFITS.

C. AN INSTALLTION CARD MUST BE COMPLETED AND LEFT AT THE JOB SITE WITH THE BUILDING DEPARTMENT.

BLOWN OR POURED TYPE INSULATION MATERILAS SHALL ONLY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5/ 12. PROVIDED BATT INSULATION AT SLOPES 2.5/12 AND GRATER ROOF COVERING MUST CONFORM TO THE STANDARD OF THE 2016 CBC & 2016 CFC METHODS OF FLASHING AND COUNTER FLASHING OF CHIMNEYS, PARAPET AND ROOF TO WALL CONNECTIONS SHALL BE IN COMPLIANCE WITH CBC 1503 ALL WEEP SCREEDS SHALL BE INSTALLED A MIN. OF 4" ABOVE THE EARTH AND TWO(2) " ABOVE THE PAVED AREAS AND TO REQUIREMENTS. ATTIC VENTS CALCULATIONS FOR MINIMUM VENT AREA REQUIREMENTS ALL EXTERIOR WINDOWS SHALL MEET THE REQUIREMENTS OF THE CRC R327.6.2.1 (20 MIN. FIRE RESISTANCE RATING).

ELEVATION KEYNOTES

| | |
|----|--|
| 1 | 36"x36" CONCRETE STOOP GARAGE DOOR. SEE FLOOR PLAN |
| 2 | THREE AND ONE HALF INCH (3.5") V-TYPE WEEP SCREED ATTACHMENT FLANGE, TYP. SEE S144.0 |
| 3 | TYP. STUCCO WALL SIDINGS |
| 4 | GALVANIZED ROOF GUTTER. SEE ROOF PLAN FOR LOCATION |
| 5 | 2X10 WD FACIA |
| 6 | WOOD TRIM / WINDOW HEAD AND SILL |
| 7 | 7'-0" SLIDING GLASS DOOR. SEE SCHEDULE OF DOOR FOR SIZE |
| 8 | COMPOSITE SHINGLES ROOF. SEE ROOF PLAN FOR DETAIL AND NOTES |
| 9 | ACCENT DECORATIVE DORMER WINDOW |
| 10 | EXTERIOR COUCH LIGHT / FLOOD LIGHT (VERIFY OWNER FOR LOCATION.) |
| 11 | DOOR / WINDOW. SEE SCHEDULE |
| 12 | 2X WOOD POST. |



ELEVATION KEY PLAN



Creative Homes | Custom Living
RHOUDESIGN
 STUDIO
 www.rhousdesign.com

CONSULTANTS

PROJECT:

11575
 E. Sierra Ave.,
 Fresno., CA 9361

AS-BUILT
 Second Residence

RHOUDESIGN EXPRESSLY RESERVES ITS COMM LAW COPYRIGHT AND OTHER APPLICABLE PROPR RIGHTS IN THESE PLANS. THESE PLANS ARE NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY F OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONOS OF RHOUDESIGN. IN THE EVENT OF UNAUTHORIS REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD RHOUDESIGN HARMLE AND SHALL BEAR THE COST OF THE LEGAL FEES ASSOCIATED WITH DEFENDING AND ENFORCING THESE RIGHTS.

TITLE SHEET:

ELEVATIONS

REVISIONS

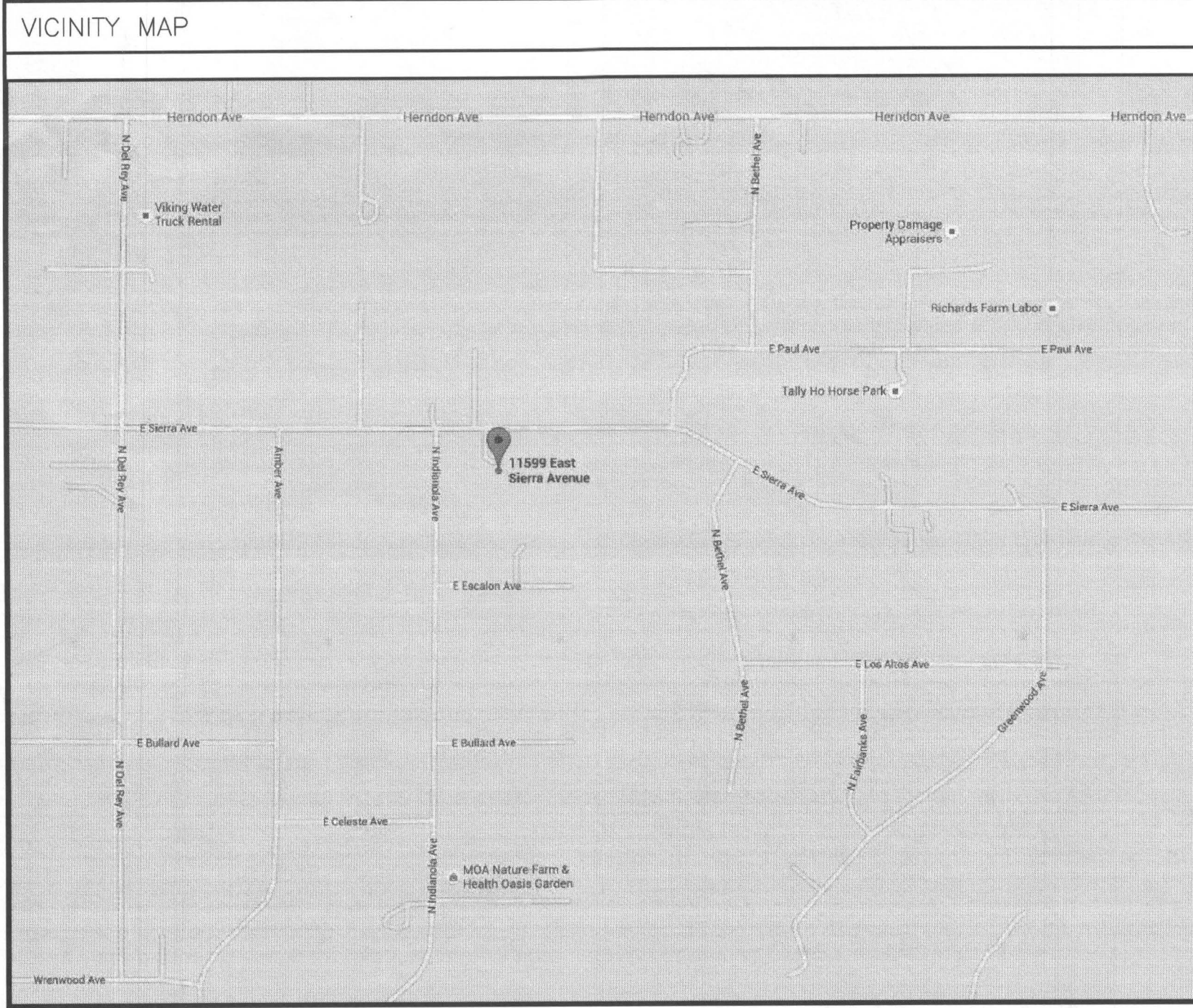
FOR PERMIT

NO. DATE:

DRAWN: FPMARTINEZ

SCALE:

A0.5
 OF



PROPOSED PROJECT

BECERRA RESIDENCE

11599 EAST SIERRA AVE.
CLOVIS, CA 93611

NEW SINGLE FAMILY RESIDENCE

SEISMIC DESIGN CRITERIA

| SEISMIC ITEM | SYMBOL | VALUE |
|---|------------------|------------------------|
| ANALYSIS PROCEDURE USED | | EQUALWENT |
| LATERAL FORCE PROCEDURE | | |
| SITE COORDINATES (DATUM = NAD 83) | | 36.787 LAT. -119.82 |
| SOIL SITE CLASS | D | |
| SEISMIC DESIGN CATEGORY | S _D | 1.0 |
| RESPONSE SPECTRAL ACCELERATION (SHORT PERIOD - 0.2 SEC) | S _s | 0.518 g |
| RESPONSE SPECTRAL ACCELERATION (1.0 SEC PERIOD) | S ₁ | 0.225 g |
| SITE COEFFICIENT AT SHORT PERIOD | F _s | 1.385 |
| SITE COEFFICIENT AT 1-5 PERIOD | F _v | 1.951 |
| MAX. CONSIDERED EARTHQUAKE ACCELERATION (SHORT PERIOD - 0.2 SEC) | S _{MS} | 0.718 g |
| MAX. CONSIDERED EARTHQUAKE ACCELERATION (1.0 SEC PERIOD) | S _{MS1} | 0.438 g |
| 0.5% DAMPED DESIGN | | |
| S _{MS} = 2/3 (S _{MS}) [SHORT PERIOD - 0.2 SEC] | S _{MS} | 0.479 g |
| DESIGN SPECTRAL RESPONSE ACCELERATION | S _{DS} | 0.292 g |
| SEISMIC FORCE-RESISTING SYSTEM | | |
| SYSTEM 1: BEARING WALL SYSTEMS, LIGHT WOOD FRAME, STR. PANELS | R | 6.5 |
| OVERSTRENGTH FACTOR | C _d | 2.5 |
| SEISMIC RESPONSE COEFFICIENT | C _s | 0.100 |
| DESIGN BASE SHEAR | V | 0.100W |

PROJECT ASSOCIATES

| PLANS PREPARED FOR | OWNER |
|--|--|
| FELIPE & NORMA BECERRA | 11599 EAST SIERRA AVE. CLOVIS, CA 93619 559.281.7751 |
| DESIGNER | DESIGNER |
| IGM & ASSOCIATES | ISAAC MORGAN 250 WEST BULLARD AVE. #102 CLOVIS, CA 93612 559.940.4793 |
| STRUCTURAL ENGINEER | STRUCTURAL ENGINEER |
| LEHMAN ENGINEERING DAVID J. LEHMAN, P.E. 7948 NORTH MAPLE AVE #113 FRESNO, CA 93720 559.349.4243 | |
| TITLE 24 ENERGY CALCS | TITLE 24 ENERGY CALCS |
| ENERCAL SOLUTIONS JAVI MARTINEZ 559.696.7922 | |
| GEO-TECHNICAL SOILS ENGINEER | GEO-TECHNICAL SOILS ENGINEER |
| SOLS REPORT NO.: | |
| | |
| GENERAL CONTRACTOR | GENERAL CONTRACTOR |
| LION'S GATE CONSTRUCTION CAL. LIC. # 959796 266 E. LINDEN AVE. REEDLEY, CA 93654 559.476.6877 | |
| TRUSS MANUFACTURER | TRUSS MANUFACTURER |
| N/A | |
| LOCAL JURISDICTION | LOCAL JURISDICTION |
| COUNTY OF FRESNO DEPARTMENT OF PUBLIC WORKS AND PLANNING BUILDING DIVISION 2220 TULARE STREET FRESNO, CA 93721 559.600.4078 | |

NOTES/LEGEND

SQUARE FOOTAGE

| | |
|---------------------|------------------|
| LOWER LIVING AREA : | 3,695.51 SQ. FT. |
| UPPER LIVING AREA : | 2,807.19 SQ. FT. |
| TOTAL LIVING AREA : | 6,502.70 SQ. FT. |

PROJECT DATA

| | |
|--------------------|---|
| SITE ADDRESS: | 11599 EAST SIERRA AVE. |
| CITY OF: | CLOVIS |
| COUNTY OF: | FRESNO |
| ZIP CODE: | 93619 |
| APN: | 308-190-46 |
| STORIES: | 2-STORY |
| USE: | SINGLE FAMILY RESIDENCE |
| GARAGE: | 6-CAR GARAGE |
| BEDROOMS: | 5 |
| BATH: | 5 |
| LOT SIZE: | 5.02 ACRES (218,460 SQ. FT.) |
| LOT COVERAGE: | (EX) 4,500.00 SQ. FT. (N) 7,156.97 SQ. FT. 5.34% LOT COVERAGE |
| LOT NO.: | 135 |
| TRACT NO.: | - |
| CONSTRUCTION TYPE: | V-B, SPRINKLERED |
| OCCUPANCY: | R-3/U |

SCOPE OF WORK

THE PURPOSE OF THESE PLANS IS TO CONSTRUCT A NEW 2-STORY, SINGLE FAMILY RESIDENCE. THE EXISTING RESIDENCE WILL REMAIN AS A MOTHER-IN-LAW SUITE.

PLANS PROVIDED BY

IGM & ASSOCIATES
ISAAC MORGAN
250 WEST BULLARD AVE. #102
CLOVIS, CA 93612
559.940.4793

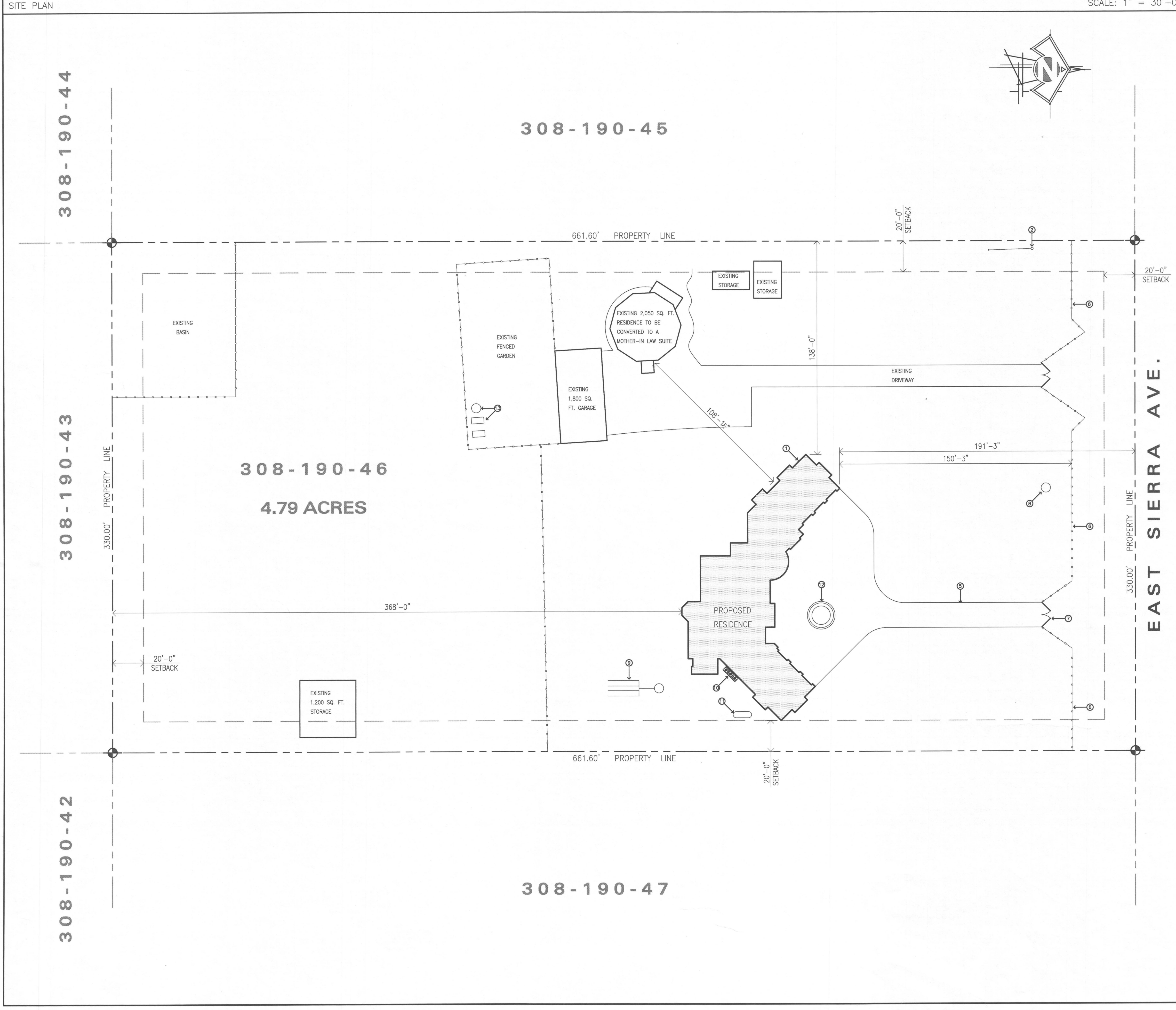
DESIGNER

IGM EXPRESSLY RESERVES ITS COMMON COPYRIGHT LAW & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF PLATINUM ENGINEERING SOLUTIONS, INC.

IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD IGM HARMLESS AND SHALL BEAR THE FINANCIAL RESPONSIBILITY OF IGM'S COSTS.

PLAN STATUS

PRE-APP SUBMITTAL, 11-08-16



CODE AND DESIGN LOADS

CODE:
ALL CONSTRUCTION SHALL CONFORM TO THE 2013 CBC, 2013 IRC, & THE 2012 IBC

DESIGN LOADS

| | |
|-------------------|-----------------------------|
| ROOF: | 24.0 P.S.F. DEAD LOAD |
| | 19.0 P.S.F. LIVE LOAD |
| FLOORS: | 12.0 P.S.F. DEAD LOAD |
| | 40.0 P.S.F. LIVE LOAD |
| DECK: | 12.0 P.S.F. DEAD LOAD (N/A) |
| | 60.0 P.S.F. LIVE LOAD(N/A) |
| GROUND SNOW LOAD: | 0.0 P.S.F. |

CONSTRUCTION TYPE: SIMPLE

SEISMIC:
SOIL SITE CLASS: D
SEISMIC DESIGN CATEGORY: D
OCCUPANCY CATEGORY: II
CONFIGURATION - REGULAR
STRUCTURAL SYSTEM - BEARING WALL - SHEAR PANELS
DESIGN CATEGORY CONSIDERATION - FLEXIBLE DIAPHRAGM
R = 6.5 LIGHT-FRAME WALLS W/ WOOD STRUCTURAL PANELS

WIND FORCES:
C.F.C. METHOD: 1
BASIC WIND = 85 M.P.H.
EXPOSURE = B

SHEET INDEX

| NUMBER | SHEET | NUMBER | SHEET | NUMBER | SHEET |
|--------|--|--------|-------------------------------------|--------|--------------------------|
| A0.0 | COVER SHEET, SITE PLAN | S0.0 | STRUCTURAL GENERAL NOTES | M1.0 | MECHANICAL NOTES |
| A1.0 | GENERAL NOTES | S0.1 | STRUCTURAL NOTES & NAILING SCHEDULE | M2.0 | MECHANICAL PLAN |
| A1.1 | CALIFORNIA GREEN BUILDING STANDARDS RESIDENTIAL MANDATORY MEASURES | S1.0 | LATERAL PLAN | E1.0 | ELECTRICAL NOTES |
| A2.0 | FLOOR PLAN | S2.0 | FOUNDATION PLAN | E2.0 | ELECTRICAL PLAN |
| A3.0 | ROOF PLAN | S3.0 | ROOF FRAMING PLAN | T1.0 | TITLE 24 ENERGY ANALYSIS |
| A4.0 | ELEVATIONS | S01.0 | STRUCTURAL DETAILS | T2.0 | TITLE 24 ENERGY ANALYSIS |
| A5.0 | SECTIONS | S02.0 | STRUCTURAL DETAILS | | |
| A01.0 | ARCHITECTURAL DETAILS | S03.0 | STRUCTURAL DETAILS | | |
| A02.0 | ARCHITECTURAL DETAILS | | | | |

TOTAL SHEET COUNT
23

- SITE PLAN KEY NOTES**
- (N) ELECTRICAL PANEL, 350 AMP SERVICE
 - (EX) POWER POLE & OVER-HEAD POWER LINE
 - (N) GAS METER & MAIN GAS SUPPLY
 - (N) RENEW TANK-LESS WATER HEATER
 - (N) 16'-0" WIDE CONCRETE DRIVEWAY & APPROACH
 - (EX) 6'-0" HIGH DECORATIVE METAL FENCE
 - (N) 16'-0" WIDE GATE ACCESS
 - (EX) WATER WELL
 - (N) LOCATION OF SEPTIC TANK W/ LEACH LINES
 - (N) A/C CONDENSER LOCATION
 - (N) PROPANE TANK LOCATION
 - (N) CIRCULAR DRIVEWAY DECORATIVE CENTER PIECE
 - (EX) WATER WELL AND WATER TANKS TO REMAIN.

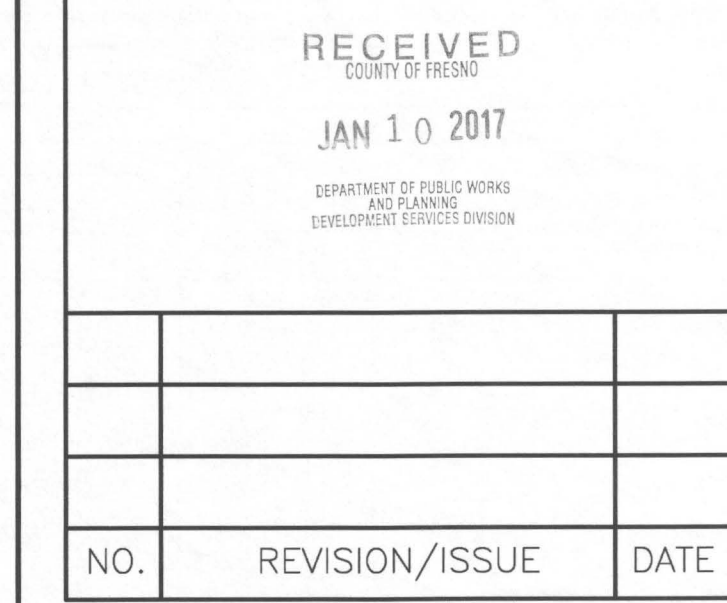
CODE TABULATION

ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA ADMINISTRATIVE CODE
- 2013 CALIFORNIA FIRE CODE & STATE FIRE MARSHAL 2013
- 2013 CALIFORNIA ENERGY CODE & TITLE 24 AND 25, CALIFORNIA CODE OF REGULATIONS
- CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEEC) 2008
- SAFETY, ORDERS, STATE DIVISION OF INDUSTRIAL SAFETY
- CITY OF CLOVIS ORDINANCES
- COUNTY OF FRESNO ORDINANCES
- APPLICABLE SEC. OF THE CA. ENERGY CONSERVATION STANDARDS
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA GREEN CODE

STRUCTURAL ENGINEER OF RECORD

APPROVAL



| NO. | REVISION/ISSUE | DATE |
|-----|----------------|------|
| | | |
| | | |

PLANS PREPARED FOR
LIONS GATE CONSTRUCTION
GENERAL CONTRACTOR
LICENSE NO. 959796
266 E. LINDEN AVE.
REEDLEY, CA 93654
559.476.6877

PROPOSED PROJECT

BECERRA RESIDENCE
A.P.N.: 308-190-46
11599 EAST SIERRA AVE.
CLOVIS, CA 93619

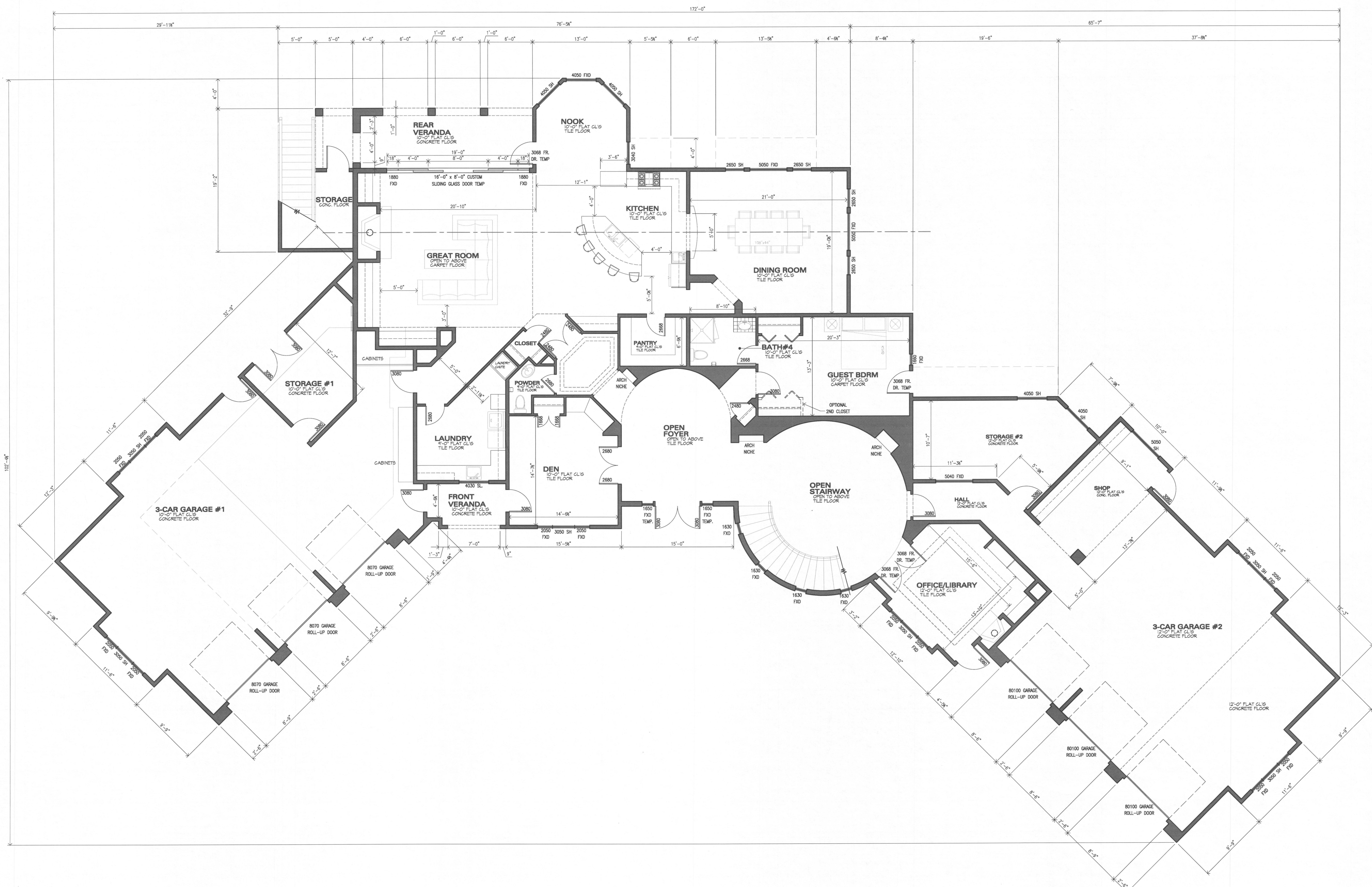
SHEET: COVER SHEET / SITE PLAN

SCALE: NOTED

DATE: 10-21-16

P.O.#: RC-0104-16

A0.0



GRAND TOTAL AREA
 TOTAL LOWER FLOOR : 7,156.97 SQ. FT.
 TOTAL UPPER FLOOR : 4,114.38 SQ. FT.
 TOTAL AREA : 11,271.35 SQ. FT.

LOWER FLOOR SQUARE FOOTAGES
 STORAGE #1 : 203.53 SQ. FT.
 GARAGE #1 : 1,350.83 SQ. FT.
 STORAGE #2 : 276.74 SQ. FT.
 SHOP : 174.38 SQ. FT.
 GARAGE #2 : 1,264.20 SQ. FT.
 VERANDA : 191.98 SQ. FT.
 LOWER FLOOR LIVING AREA : 3,695.51 SQ. FT.
 TOTAL LOT COVERAGE : 7,156.97 SQ. FT.

LIVING SQUARE FOOTAGES
 LOWER FLOOR LIVING AREA : 3,695.51 SQ. FT.
 UPPER FLOOR LIVING AREA : 2,807.19 SQ. FT.
 TOTAL LIVING AREA : 6,502.70 SQ. FT.

- NOTES/LEGEND**
- STRUCTURAL FRAMING:**
 ALL STRUCTURAL FRAMING LUMBER AND PLUMBING WALLS SHALL BE 2X4 & 2X6 DF#2 MIN. GRADE OR BETTER UNLESS NOTED ON PLANS. SIZES ARE AS NOTED UNLESS SPECIFICALLY CALLED OUT ON PLANS: STUDS (2X4), DBL. TOP PLATE (2X4), SILL PLATE (PRESSURE TREATED 2X4), HEADERS/BEAMS, C.B.C. 2X8@2. ALL INTERIOR NONBEARING LUMBER MAY BE 2X4 & 2X6 STANDARD GRADE. FINGER-JOINTED STUDS MUST BE GRADE STAMPED BY AN APPROVED ICBO INSPECTION AGENCY & CLEARLY SPECIFIED. PROVIDE FIRE-BLOCKING AT FLOOR, CEILING COVES, AND AT 10'-0" VERT. INTERVALS.
 - EXTERIOR PLYWD & SEALANT:**
 NAILING OF PLYWD DIAPHRAGM SHALL BE COMMON NAILS AS PER ICBO REQUIREMENTS. SHEETS USED FOR DIAPHRAGMS SHALL BE NO LESS THAN 4'X8'; THE MIN. SIZE SHEET @ BOUNDARIES AND CHANGES IN FRAMING SHALL BE 24" UNLESS BLOCKED. PROVIDE FRAMING MEMBERS OR BLOCKING @ ALL PANEL EDGES. STRUCTURE SHALL BE WRAPPED IN 3/4" OSB OR 1/2" PLYWD (APA 3/4). CONFIRM WITH MANUFACTURER (CEDAR VALLEY MANUFACTURING). ALL BUILDING JOINTS, ENVELOPE OPENINGS, AND PENETRATIONS SHALL BE CALKED AND SEALED TO APPROVED STANDARDS. (SUBJECT TO FIELD INSPECTION).
 - HABITABLE & GLAZING REQUIREMENTS:**
 ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED TITLE 24 COMPLIANT. ALL WINDOWS MUST BE DUAL PANE W/ (1) PANE TEMP. PER CH. 7A. WEATHER-STRIP ALL DOORS AND WINDOWS @ EXTERIOR. ALL GLASS SHALL REDUCE INFRARED TRANSMITTANCE BY 45% OR MORE (SUCH AS SUNGLATE 500 BY PPC).
 - ELECTRICAL & SMOKE DETECTORS**
 APPROVED SMOKE DETECTORS SHALL BE PROVIDED IN ALL SLEEPING ROOMS (MIN. 3'-0" FROM AN A/C VENT) AND IN ALL CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. SMOKE DETECTORS SHALL BE PROVIDED IN AN AREAS WHERE THE CEILING HEIGHT EXCEEDS THAT OF AN ADJACENT HALLWAY BY MORE THAN 24". A DETECTOR MUST ALSO BE PROVIDED BETWEEN THE KITCHEN AND SLEEPING AREAS AND SHALL BE LOCATED AT LEAST 36" FROM THE AIR OUTLET/ RETURN. WALL MOUNTED UNITS MUST BE LISTED BY THE STATE FIRE MARSHAL & AN APPROVED TESTING LAB FOR WALL MOUNTING.
 - SITE GENERAL**
 SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING FOR A MIN. OF 10'-0" W/ A MIN. GRADE OF 5%.
 ROOF COVERING SHALL CONFORM TO CHAPTER 15 OF THE CBC. EXTEND ALL SHEARWALLS TO THE ROOF SHEATHING.
 JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
 PROVIDE LANDINGS @ EA. EXTERIOR DOOR W/ A HEIGHT OF NO MORE THAN 2" LOWER THAN THE FINISHED FLOOR.
 FLOOR LEVEL CHANGES SHALL BE 1" UNLESS STAIRS ARE UTILIZED & THE DOOR DOES NOT SWING OVER THE TOP STEP. 7 1/2" MAX STEP-DOWN FOR SLIDERS AND DOORS SWINGING IN. MEASURED FROM TOP OF FLOOR.

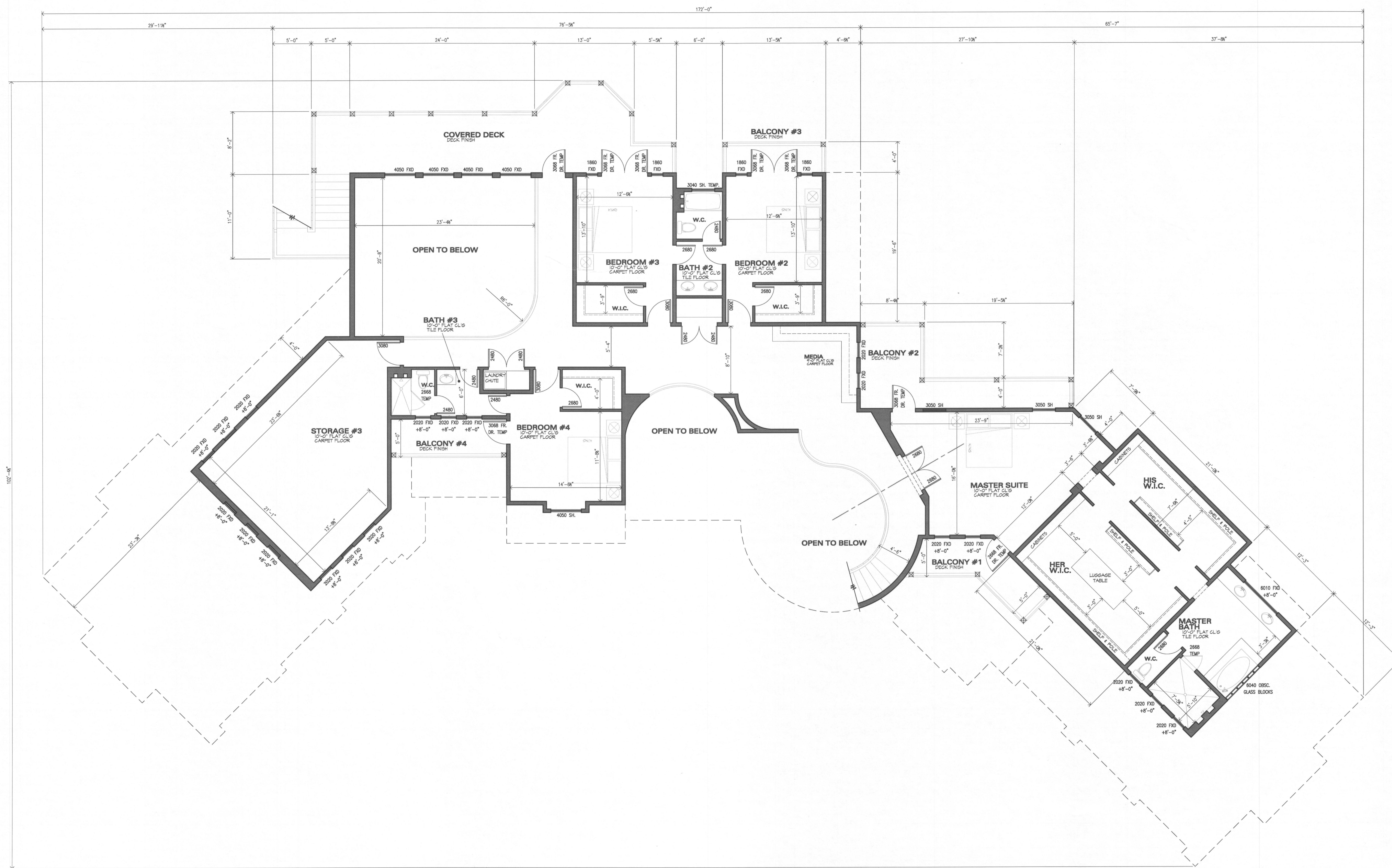
RECEIVED
 COUNTY OF FRESNO
 JAN 10 2017
DEPARTMENT OF PUBLIC WORKS
 BUILDING PERMITS DIVISION

| NO. | REVISION/ISSUE | DATE |
|-----|----------------|------|
| | | |
| | | |

PLANS PREPARED FOR
LIONS GATE CONSTRUCTION
 GENERAL CONTRACTOR
 LICENSE NO. 959796
 266 E. LINDEN AVE.
 REEDLEY, CA 93654
 559.476.6877

PROPOSED PROJECT
BECERRA RESIDENCE
 A.P.N.: 308-190-46
 11599 EAST SIERRA AVE.
 CLOVIS, CA 93619

SHEET: LOWER FLOOR PLAN
 SCALE: 3/8" = 1'-0" SHEET:
 DATE: 10-21-16
 P.O.#: RC-1014-16 **A2.0**



UPPER FLOOR SQUARE FOOTAGES

| | |
|--------------------------|------------------|
| BALCONY #1: | 93.52 SQ. FT. |
| BALCONY #2: | 171.70 SQ. FT. |
| BALCONY #3: | 53.83 SQ. FT. |
| BALCONY #4: | 75.00 SQ. FT. |
| OPEN DECK: | 378.78 SQ. FT. |
| STORAGE #3: | 534.36 SQ. FT. |
| UPPER FLOOR LIVING AREA: | 2,807.19 SQ. FT. |
| TOTAL UPPER FLOOR: | 4,114.38 SQ. FT. |

LIVING SQUARE FOOTAGES

| | |
|--------------------------|------------------|
| LOWER FLOOR LIVING AREA: | 3,695.51 SQ. FT. |
| UPPER FLOOR LIVING AREA: | 2,807.19 SQ. FT. |
| TOTAL LIVING AREA: | 6,502.70 SQ. FT. |

NOTES/LEGEND

- STRUCTURAL FRAMING:**
ALL STRUCTURAL FRAMING LUMBER AND PLUMBING WALLS SHALL BE 2X4 & 2X6 OF #2 MIN. GRADE OR BETTER UNLESS NOTED ON PLANS. SIZES ARE AS NOTED UNLESS SPECIFICALLY CALLED OUT ON PLANS: STUDS (2X4), DBL. TOP PLATE (2X4), SILL PLATE (PRESSURE TREATED 2X4), HEADERS/BEAMS, C.B.C. 2X8@2. ALL INTERIOR NONBEARING LUMBER MAY BE 2X4 & 2X6 STANDARD GRADE. FINGER-JOINTED STUDS MUST BE GRADE STAMPED BY AN APPROVED ICBO INSPECTION AGENCY & CLEARLY SPECIFIED. PROVIDE FIRE-BLOCKING AT FLOOR, CEILING COVES, AND AT 10'-0" VERT. INTERVALS.
- EXTERIOR PLYWD. & SEALANT:**
NAILING OF PLYWD. DIAPHRAGM SHALL BE COMMON NAILS AS PER ICBO REQUIREMENTS. SHEETS USED FOR DIAPHRAGMS SHALL BE NO LESS THAN 4'X8'; THE MIN. SIZE SHEET @ BOUNDARIES AND CHANGES IN FRAMING SHALL BE 24" UNLESS BLOCKED; PROVIDE FRAMING MEMBERS OR BLOCKING @ ALL PANEL EDGES. STRUCTURE SHALL BE WRAPPED IN 3/4" OSB OR 3/2" PLYWD (APA 704). CONFIRM WITH MANUFACTURER (CEDAR VALLEY MANUFACTURING). ALL BUILDING JOINTS, ENVELOPE OPENINGS, AND PENETRATIONS SHALL BE CALKED AND SEALED TO APPROVED STANDARDS. (SUBJECT TO FIELD INSPECTION).
- HABITABLE & GLAZING REQUIREMENTS:**
ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED TITLE 24 COMPLIANT. ALL WINDOWS MUST BE DUAL PANE W/ (1) PANE TEMP. PER CH. 7A. WEATHER-STRIP ALL DOORS AND WINDOWS @ EXTERIOR. ALL GLASS SHALL REDUCE INFRARED TRANSMITTANCE BY 45% OR MORE (SUCH AS SUNGATE 500 BY PPG).
- ELECTRICAL & SMOKE DETECTORS:**
APPROVED SMOKE DETECTORS SHALL BE PROVIDED IN ALL SLEEPING ROOMS (MIN. 3'-0" FROM AN A/C VENT) AND IN ALL CORRIDORS OR AREAS OWING ACCESS TO EACH SLEEPING AREA. SMOKE DETECTORS SHALL BE PROVIDED IN AN AREA WHERE THE CEILING HEIGHT EXCEEDS THAT OF AN ADJACENT HALLWAY BY MORE THAN 24". A DETECTOR MUST ALSO BE PROVIDED BETWEEN THE KITCHEN AND SLEEPING AREAS AND SHALL BE LOCATED AT LEAST 36" FROM THE AIR OUTLET/RETURN. WALL MOUNTED UNITS MUST BE LISTED BY THE STATE FIRE MARSHAL & AN APPROVED TESTING LAB FOR WALL MOUNTING.
- SITE GENERAL:**
SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING FOR A MIN. OF 10'-0" W/ A MIN. GRADE OF 5%. ROOF COVERING SHALL CONFORM TO CHAPTER 15 OF THE CBC. EXTEND ALL SHEARWALLS TO THE ROOF SHEATHING. JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE. PROVIDE LANDINGS @ EA. EXTERIOR DOOR W/ A HEIGHT OF NO MORE THAN 2" LOWER THAN THE FINISHED FLOOR. FLOOR LEVEL CHANGES SHALL BE 1" UNLESS STAIRS ARE UTILIZED & THE DOOR DOES NOT SWING OVER THE TOP STEP. 7 3/4" MAX STEP-DOWN FOR SLIDERS AND DOORS SWINGING IN, MEASURED FROM TOP OF FLOOR.

RECEIVED
COUNTY OF FRESNO
JAN 10 2017
DEPARTMENT OF PUBLIC WORKS
AND PLANNING DESIGN

| NO. | REVISION/ISSUE | DATE |
|-----|----------------|------|
| | | |
| | | |
| | | |

PLANS PREPARED FOR
LIONS GATE CONSTRUCTION
GENERAL CONTRACTOR
LICENSE NO. 959796
266 E. LINDEN AVE.
REEDLEY, CA 93654
559.476.6877

PROPOSED PROJECT
BECERRA RESIDENCE
A.P.N.: 308-190-46
11599 EAST SIERRA AVE.
CLOVIS, CA 93619

SHEET: UPPER FLOOR PLAN
SCALE: 3/16" = 1'-0" SHEET:
DATE: 10-21-16
P.O.#: RC-0104-16 **A2.1**



FRONT ELEVATION, FACING NORTH



LEFT ELEVATION, FACING EAST

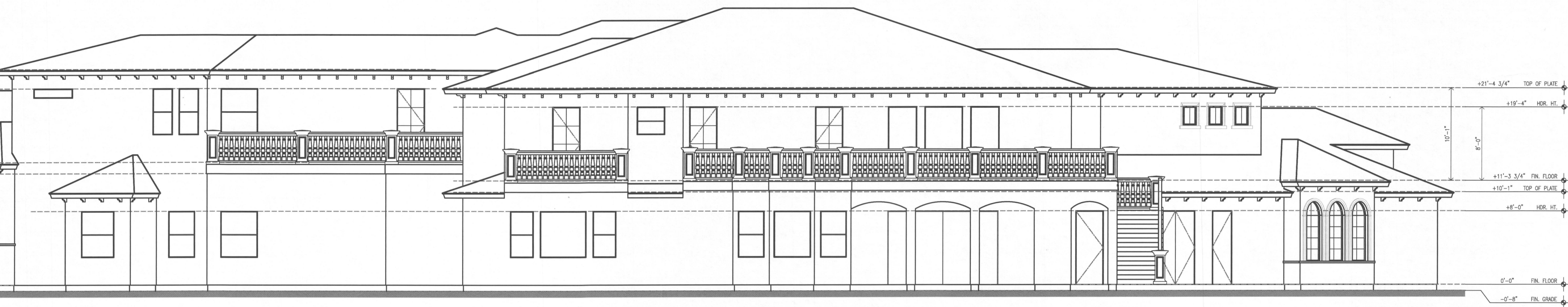
RECEIVED
CITY OF BEVERLY
JAN 10 2017
DEPARTMENT OF PUBLIC WORKS
AND PLANNING DIVISION

| NO. | REVISION/ISSUE | DATE |
|-----|----------------|------|
| | | |
| | | |

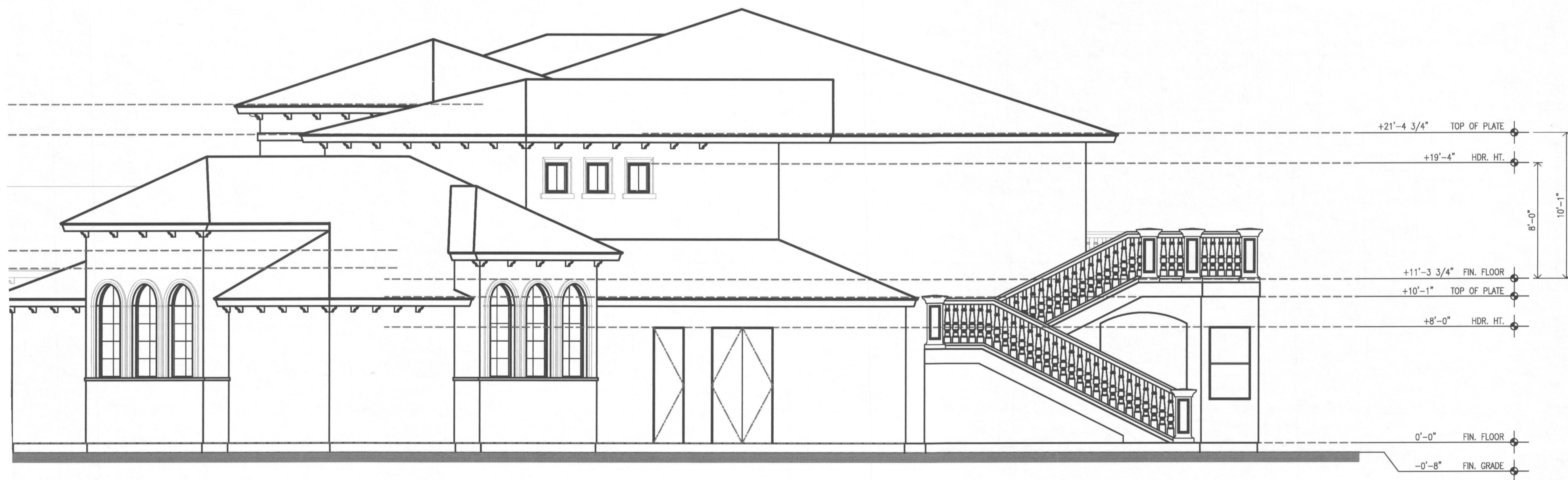
PLANS PREPARED FOR
LIONS GATE CONSTRUCTION
GENERAL CONTRACTOR
LICENSE NO. 959796
266 E. LINDEN AVE.
REEDLEY, CA 93654
559.476.6877

PROPOSED PROJECT
BECERRA RESIDENCE
A.P.N.: 308-190-46
11599 EAST SIERRA AVE.
CLOVIS, CA 93619

SHEET: EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0" SHEET:
DATE: 10-25-16
P.O.#: RC-0104-16 **A3.0**



AR ELEVATION, FACING SOUTH



IT ELEVATION, FACING WEST

RECEIVED
 COUNTY OF REDDING
 JAN 10 2017
 DEPARTMENT OF PUBLIC WORKS
 AND PLANNING
 DEVELOPMENT SERVICES DIVISION

| NO. | REVISION/ISSUE | DATE |
|-----|----------------|------|
| | | |
| | | |
| | | |

PLANS PREPARED FOR
LIONS GATE CONSTRUCTION
 GENERAL CONTRACTOR
 LICENSE NO. 959796
 266 E. LINDEN AVE.
 REEDLEY, CA 93654
 559.476.6877

PROPOSED PROJECT
BECERRA RESIDENCE
 A.P.N.: 308-190-46
 11599 EAST SIERRA AVE.
 CLOVIS, CA 93619

SHEET: EXTERIOR ELEVATIONS
 SCALE: 3/16" = 1'-0" SHEET:
 DATE: 10-25-16
 P.O.#: RC-0104-16

A3.1