



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: May 7, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director  
Development Services and Capital Projects, Attn: Chris Motta, Division Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga,  
Principal Planner  
Development Services and Capital Projects, Attn: Attn: James Anders,  
Principal Planner  
Development Services and Capital Projects, Current/Environmental  
Planning, Attn: David Randall, Senior Planner  
Development Services and Capital Projects, Policy Planning, Attn:  
Mohammad Khorsand, Senior Planner; Alex Pretzer; Dominique Navarette  
Development Services and Capital Projects, Zoning & Permit Review,  
Attn: Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Development Engineering,  
Attn: Laurie Kennedy, Office Assistant III  
Water and Natural Resources Division, Attn: Augustine Ramirez, Division  
Manager  
Water and Natural Resources Division, Attn: Roy Jimenez, Senior Planner  
Water and Natural Resources Division, Transportation Planning, Attn:  
Hector Luna, Senior Planner/Darren Findley, Senior Engineering  
Technician/Brody Hines, Planner  
Water and Natural Resources Division, Community Development, Attn:  
Yvette Quiroga, Principal Planner  
Design Division, Attn: Mohammad Alimi, Division Manager;  
Erin Haagenson, Principal Staff Analyst  
Resources Division, Attn: Daniel Amann, Division Manger  
Resources Division, Special Districts, Attn: Christopher Bump, Principal  
Staff Analyst,  
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,  
Supervising Engineer  
Department of Public Health, Environmental Health Division, Attn: Deep  
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,  
Environmental Health Specialist;  
Agricultural Commissioner, Attn: Melissa Cregan  
Sheriff's Office, Attn: Captain Ryan Hushaw, Kevin Lolkus, Lt. Brandon  
Purcell, Kathy Curtice, Adam Maldonado  
CA Highway Patrol (CHP), Attn: Captain Austin Matulonis  
Pacific Gas and Electric, Centralized Review Team, Attn: [PGEPlanReview@pge.com](mailto:PGEPlanReview@pge.com)  
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman,  
Director/Shana Powers, Cultural Director

Fresno County Fire District, Attn: Diane Rodriguez  
Kings Canyon Unified School District, Attn: John Campbell, Superintendent  
Kings River GSA, Alta Irrigation District, Attn: Chad Wegley, General Manager  
Kings River Conservation District, Attn: Paul Peschel, General Manager

FROM: Reymundo Peraza, Planner  
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4768

APPLICANT: Yolanda Valdez

DUE DATE: **May 22, 2024**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a second residence on a 1.98-acre parcel located within the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Second residence not to exceed 2,000 square feet of living are. Owner of record to occupy one of the homes on-site.

The subject parcel is located on the north side of E. Springfield Ave., approximately 1,738 feet west of S. Cleveland Ave. Approximately 1.88 miles east of the City of Reedley. (APN: 373-111-88) (22616 E. Springfield Ave.) (Sup. Dist. 4).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **May 22, 2024**. Any comments received after this date may not be used.

**If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Reymundo Peraza, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4224, or email [rperaza@fresnocountyca.gov](mailto:rperaza@fresnocountyca.gov)

RP  
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*Activity Code (Internal Review): 2392*

Enclosures



Fresno County Department of Public Works and Planning

Date Received: (Application No.)

MAILING ADDRESS: Department of Public Works and Planning Development Services and Capital Projects Division 2220 Tulare St., 6th Floor Fresno, Ca. 93721

LOCATION: Southwest corner of Tulare & "M" Streets, Suite A Street Level Fresno Phone: (559) 600-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class )/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

Empty box for description of proposed use or request.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: 22616 N side of E. Springfield Ave between 1,738 ft WEST OF S. Cleveland and 1.88 miles E. of City of Reedley Street address: 22616 E. Springfield Ave, Dinuba, CA 93618

APN: 373-111-88 Parcel size: 1.98 Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s): 373-111-88

I, Yolanda Valdez (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type) Address City Zip Phone
Applicant (Print or Type) Address City Zip Phone
Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL:

Table with columns for Application Type / No., Fee, Received By, Invoice No., and TOTAL: \$

UTILITIES AVAILABLE: WATER: Yes/No Agency: SEWER: Yes/No Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section: Related Application(s): Zone District: Parcel Size:

Sect-Twp/Rg: - T S/R E APN # - - APN # - - APN # - - APN # - - over.....



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

June 1, 2022

Yolanda Valdez  
22616 E. Springfield Ave.  
Dinuba, CA 93618

Dear Ms. Valdez:

Pre-Application Review No. 21-001749  
Subject Assessor's Parcel No. 373-111-88

Proposal: Director's Review and Approval to allow a second residence on a 1.98-acre parcel located within the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Second residence not to exceed 2,000 square feet of living area. Owner of record to occupy one of the homes on-site.

Project Location: The subject parcel is located on the north side of E. Springfield Ave., approximately 1,738 feet west of S. Cleveland Ave. Approximately 1.88 miles east of the City of Reedley. (APN: 373-111-88) (22616 E. Springfield Ave.) (Sup. Dist. 4).

For Second Residences requiring DRA:

A Director Review and Approval (DRA) is required to allow a permanent second residence in the AE-20 Zone District. I am enclosing the necessary forms to return for a complete application.

DRA Procedure:

You should be aware that to approve a Director Review and Approval, the Fresno County Ordinance Code requires that four mandatory Findings of Fact must exist before a Director Review and Approval may be granted (see enclosed Director Review and Approval handout). Your application will be reviewed, and a staff recommendation made based upon these four mandatory Findings.

DRA Covenant (Owner To Occupy):

As part of the DRA process, if approved, it may be necessary to record a Covenant between the County and the owner, which will run with the land, requiring that one of the dwelling units be occupied by the property owner(s) or another owner of record. The Covenant must be signed, notarized, and recorded.

For Second Residences that have parcels less than 2.0-acres:

You should be aware that your parcel is less than two acres in size. The Fresno County General Plan and Regional Water Quality Control Board policies call for a minimum parcel size of two acres to utilize individual water well and septic tank facilities. Your

request to place two dwellings on your property would exceed this recommended standard, and therefore, this Department may not be able to make the required Findings for supporting your second dwelling proposal.

LAMP:

Septic systems are subject to the requirements of the Fresno County Local Agency Management Program (LAMP), effective May 13, 2018. Septic system density will be limited to one system per two acres. Any new development or secondary dwelling will require a Nitrogen Loading Analysis by a qualified professional, demonstrating to the Department of Public Works and Planning that the regional characteristics are such that an exception to the septic system density limit can be accommodated.

You submitted a Nitrogen Loading Analysis which determined that the Analysis passed, thus allowing an exception to the septic system density limit.

You are located within the jurisdiction of the Fresno County Fire Protection District:

The Fresno County Fire Protection District conducts plan reviews on all projects to confirm that certain fire and life safety issues are addressed. Some examples of fire and life safety issues are fire apparatus access, fire lanes, gates, water supply systems, fire suppression systems, fire alarm systems, high-piled storage, evacuation plans, exiting systems, and hazardous materials storage.

It is suggested that you contact the Fresno County Fire Protection District at (559) 493-4359 to schedule a meeting to discuss the specific fire protection requirements for the project during the design stage of the project.

It is recommended that you consult with surrounding property owners:

It is recommended you contact the surrounding property owners and residents to determine if there are concerns and/or support for your project prior to the approval of your application by the Director. Surrounding property owners will receive Notices of Application and other applicable notices in the mail. Property owners will have the opportunity to comment on the project if they so wish.

**BELOW ARE THE FILING REQUIREMENTS FOR YOUR PROJECT:**

Application Form:

This application is a green form. Please fully complete the owner, applicant, and representative portions of the application. All owners included on the Grant Deed must sign the application. An electronic version of the form is available. Please contact us via email to receive the electronic version.

Pre-Application Review:

This is the single blue sheet that has been completed and returned to you with this letter. Please return the completed blue Pre-Application Review sheet with your formal application submittal. The information provided on this sheet will be needed to complete

the application. **(Note: The Pre-Application Fee of \$247.00 will be applied to the Filing Fee if a formal application is submitted within six months of the date on the Pre-Application form. The following Filing Fee information assumes that the application will be filed within the six-month time.)**

Legal Description:

Submit a copy of the Grant Deed to the property with the legal description. (Note: The legal description must correlate with the property boundaries)

Site Plans, Floor Plans and Elevations:

Four (4) folded copies of a detailed Site Plan are required. We route projects for comments electronically, therefore we request that electronic versions of all drawings be submitted in PDF format. If that is not possible, we require one black-line print in either 8½"x11" or 11"x17" size so that it can be scanned. Please refer to the back of the application for detailed requirements on preparing Site Plans. It is important that all requirements are met for the Site Plan to be acceptable. Therefore, you may wish to review the Site Plan with a Planner prior to submitting the application. In addition, four (4) folded copies of the Floor Plan and Elevations are required, as well as an electronic PDF version or reduction as described above.

Photographs:

Provide labeled photos of panoramic views of the property (north, south, east, and west) as well as other photos that are relevant to understanding the site.

Filing Fees:

Director Review and Approval (DRA) Application	\$	1,570.00
Public Health Environmental Review	\$	432.00
Minus the \$247.00 Pre-Application Credit	\$	-247.00

**Please make check payable to "Fresno County" for: \$ 1,755.00**

(2.219% Transaction Fee is added for Credit Cards)

**To save time processing your application, we recommend that you or your representative schedule a meeting to review your application submittal prior to filing a formal application.**

If you have any questions regarding the information described in this letter or wish to schedule a meeting concerning the filing of an application, please contact me at MParker@fresnocountyca.gov or (559) 600-9669.

Yolanda Valdez  
June 1, 2022  
Page 4

Sincerely,

A handwritten signature in black ink, appearing to read "Marissa Parker". The signature is fluid and cursive, with the first name "Marissa" written in a larger, more prominent script than the last name "Parker".

Marissa Parker, Planner  
Development Services and Capital Projects Division

MP  
G:\4360Devs&Pln\PROJSEC\PRE-APPS\2022\21-001749 (DRA)\Pre-App 21-001749 Letter.docx



**Development Services  
and  
Capital Projects  
Division**

**Pre-Application Review**

**Department of Public Works and Planning**

NUMBER: 21-001749  
 APPLICANT: Yolanda Valdez  
 PHONE: (559) 351-4641

PROPERTY LOCATION: 22616 E. Springfield Ave., Dinuba, CA 93618 email: yvaldez0906@gmail.com  
 APN(s): 373-111-88 ALCC: No  Yes #          VIOLATION NO. N/A  
 CNEL: No  Yes          (level) LOW WATER: No  Yes          WITHIN 1/2 MILE OF CITY: No  Yes           
 ZONE DISTRICT: AE-20; SRA: No  Yes          HOMESITE DECLARATION REQ'D.: No  Yes           
 LOT STATUS:         

Zoning: ( ) Conforms; (X) Legal Non-Conforming lot; ( ) Deed Review Req'd (see Form #236)  
 Merger: May be subject to merger: No  Yes          ZM#          Initiated          In process           
 Map Act: (X) Lot of Rec. Map; ( ) On '72 rolls; ( ) Other PLA 07-12; ( ) Deeds Req'd (see Form #236)

SCHOOL FEES: No          Yes  DISTRICT: Kings Canyon USD PERMIT JACKET: No          Yes   
 FMFCD FEE AREA: (X) Outside ( ) District No.:          FLOOD PRONE: No  Yes         

PROPOSAL DRA TO ALLOW A 2ND RESIDENCE ON A 1.98 ACRE PARCEL LOCATED WITHIN THE AE-20 ZONE  
DISTRICT. SECOND RESIDENCE NOT TO EXCEED 2,000 SQUARE FEET OF LIVING AREA. OWNER OF RECORD TO  
OCCUPY ONE OF THE HOMES ON SITE.

COMMENTS: Nitrogen Loading Analysis 22-006655 allows 2nd Septic System.  
 ORD. SECTION(S): 816.2-W, 855-N BY: Daniel Gutierrez DATE: 5/31/2022

**GENERAL PLAN POLICIES:**

LAND USE DESIGNATION: agricultural ( ) GPA:          ( ) MINOR VA:           
 COMMUNITY PLAN:          ( ) AA:          ( ) HD: 432  
 REGIONAL PLAN:          ( ) CUP:          ( ) AG COMM:           
 SPECIFIC PLAN:          ( ) DR: 1,570 ( ) ALCC:           
 SPECIAL POLICIES:          ( ) VA:          ( ) IS/PER\*:           
 SPHERE OF INFLUENCE:          ( ) AT:          ( ) Viol. (35%):           
 ANNEX REFERRAL (LU-G17/MOU):          ( ) TT:          ( ) Other:         

**PROCEDURES AND FEES:**

Filing Fee: \$           
 Pre-Application Fee:          - \$247.00  
 Total County Filing Fee: 1,755.00

COMMENTS:         

**FILING REQUIREMENTS:**

- () Land Use Applications and Fees
- () This Pre-Application Review form
- () Copy of Deed / Legal Description
- () Photographs
- ( ) Letter Verifying Deed Review
- ( ) IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required.
- () Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- () Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- ( ) Project Description / Operational Statement (Typed)
- ( ) Statement of Variance Findings
- ( ) Statement of Intended Use (ALCC)
- ( ) Dependency Relationship Statement
- ( ) Resolution/Letter of Release from City of
- ( ) Nitrogen Loading Analysis or RWQCB supplemental treatment

**OTHER FILING FEES:**

- ( ) Archaeological Inventory Fee: \$75 at time of filing  
 (Separate check to Southern San Joaquin Valley Info. Center)
- ( ) CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,548)  
 (Separate check to Fresno County Clerk for pass-thru to CDFW.  
 Must be paid prior to IS closure and prior to setting hearing date.)

BY: Marissa Parker DATE: 6/1/22  
 PHONE NUMBER: (559) 600-4604

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:  
 () COVENANT ( ) SITE PLAN REVIEW  
 ( ) MAP CERTIFICATE ( ) BUILDING PLANS  
 ( ) PARCEL MAP ( ) BUILDING PERMITS  
 ( ) FINAL MAP ( ) WASTE FACILITIES PERMIT  
 ( ) FMFCD FEES ( ) SCHOOL FEES  
 ( ) ALUC or ALCC ( ) OTHER (see reverse side)

PLU # 113 Fee: \$247.00  
 Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

OVER.....





# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

May-25-2022

Yolanda and Horacio Valdez  
22616 E Springfield  
Reedley, CA 93706

RE: Nitrogen Loading Analysis for Proposed 1.98 Acre Lot

**\*\*HANTZSCHE-FINNEMORE EQUATION\*\*** Calculation based on owned parcel.

01.98 = Total Gross Lot Size (Acres)  
9% = Impervious Surface (%)  
01.80 = Total Surface Area (Acres)  
450 = Daily Wastewater Flow (Gallons per Day) W Using 50gpcpd  
365 = Duration of Wastewater Application (Days) t  
3.39 = Calculated Volume of Wastewater Entering Soil (Inches per Year) I  
50 = Total Nitrogen Concentration in Wastewater Entering System (mg/l) now  
0 = Percent of Nitrate-Nitrogen loss due to Soil Denitrification d  
12.5 = Average Rainfall Recharge Rate (70% of Annual Rainfall) (Inches per Year) R  
0.00 = Background Nitrate-Nitrogen Concentration in Rainfall Recharge (mg/l) nb  
0 = Percent Nitrogen Removal from Treatment System Tr  
10.6 = Calculated Average Concentration of Nitrate-Nitrogen (mg/l) nr

Calculation based on open undeveloped areas adjacent to subject parcel.

2.20 = Total Gross Lot Size (Acres)  
9% = Impervious Surface (%)  
2.0 = Total Surface Area (Acres)  
450 = Daily Wastewater Flow (Gallons per Day) W Using 50gpcpd  
365 = Duration of Wastewater Application (Days) t  
3.02 = Calculated Volume of Wastewater Entering Soil (Inches per Year) I  
50 = Total Nitrogen Concentration in Wastewater Entering System (mg/l) nw  
0 = Percent of Nitrate-Nitrogen loss due to Soil Denitrification d  
12.5 = Average Rainfall Recharge Rate (70% of Annual Rainfall) (Inches per Year) R  
0.00 = Background Nitrate-Nitrogen Concentration in Rainfall Recharge (mg/l) nb  
0 = Percent Nitrogen Removal from Treatment System Tr  
9.7 = Calculated Average Concentration of Nitrate-Nitrogen (mg/l) nr

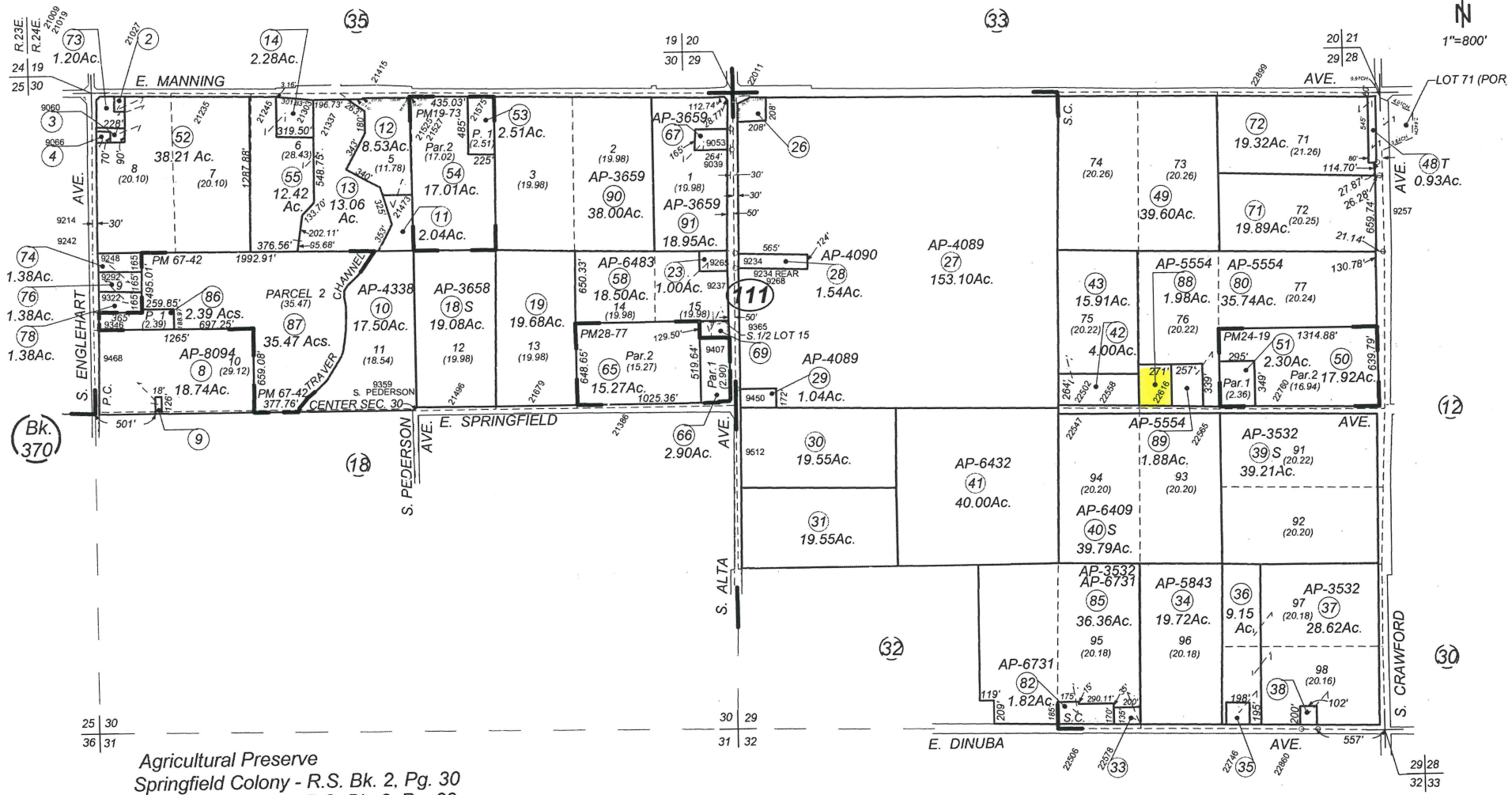
The Nitrogen Loading Analysis review has been completed. The conclusion is that the calculated average concentration of total nitrogen in the groundwater is 10.6mg/l based on owned parcel area. A calculated average concentration of Total Nitrogen concentration of 10.0 mg/l, which meets the EPA threshold of 9.7 mg/l for drinking water, can be determined with the inclusion of a .22 open acreage adjacent to the subject parcel in a regional evaluation.

SUBDIVIDED LAND & POR. SEC'S. 29 & 30, T.15S., R.24E., M.D.B.&M.

Tax Rate Area 169-001

373-11

-NOTE- This map is for Assessment purposes only. It is not to be construed as portraying legal ownership or divisions of land for purposes of zoning or subdivision law.



Agricultural Preserve  
Springfield Colony - R.S. Bk. 2, Pg. 30  
Producers Colony - R.S. Bk. 2, Pg. 39  
Parcel Map No. 2915 - Bk. 19, Pg. 73  
Parcel Map No. 3693 - Bk. 24, Pg. 19  
Parcel Map No. 4379 - Bk. 28, Pg. 77  
Parcel Map No. 7978 - Bk. 67, Pg. 42

Note - Assessor's Block Numbers Shown in Ellipses  
Assessor's Parcel Numbers Shown in Circles

Assessor's Map Bk.373 - Pg.11  
County of Fresno, Calif.



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## AGENT AUTHORIZATION

### AUTHORIZATION OF AGENT TO ACT ON BEHALF OF PROPERTY OWNER

The Agent Authorization form is required whenever a property owner grants authority to an individual to submit and/or pursue a land use entitlement application on their behalf. This form must be completed by the property owner and submitted with the land use entitlement application to confirm that the property owner has granted authority to a representative to sign application forms on their behalf and represent them in matters related to a land use entitlement application.

***The below named person is hereby authorized to act on my behalf as agent in matters related to land use entitlement applications associated with the property listed below.***

Jesus Vargas

Agent Name (Print or Type)

\_\_\_\_\_  
Company Name (Print or Type)

\_\_\_\_\_  
Mailing Address

\_\_\_\_\_  
City / State / Zip Code

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Email Address

\_\_\_\_\_  
Project APN

\_\_\_\_\_  
Project Street Address

A list consisting of \_\_\_\_ additional properties is attached (include the APN for each property).

Project Description (Print or Type):  
\_\_\_\_\_  
\_\_\_\_\_

***The undersigned declares under penalty of perjury that they own, possess, control or manage the property referenced in this authorization and that they have the authority to designate an agent to act on behalf of all the owners of said property. The undersigned acknowledges delegation of authority to the designated agent and retains full responsibility for any and all actions this agent makes on behalf of the owner.***

Yolanda Valdez

Owner Signature

\_\_\_\_\_  
Date

11-7-2023

Yolanda Valdez  
Owner Name (Print or Type)

559-351-4641  
Phone Number

yvaldez0906@gmail.com  
Email Address

*\* If the legal owner of the property is a corporation, company, partnership or LLC, provide a copy of a legal document with this authorization form showing that the individual signing this authorization form is a duly authorized partner, officer or owner of said corporation, company, partnership or LLC.*

G:\4360Devs&PIn\FORMS\F410 Agent Authorization 8-14-19.doc

DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION  
2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 600-4497 / 600-4022 / 600-4540 / FAX 600-4200  
The County of Fresno is an Equal Employment Opportunity Employer

Filed for Record at Request of  
Mr. and Mrs. Horacio Valdez  
When recorded return to

Mr. and Mrs. Horacio Valdez  
22502 Springfield Avenue  
Dinuba, CA 93618

FRESNO County Recorder  
Paul Dictos, C.P.A.  
**DOC- 2017-0166570**

Check Number 705  
Wednesday, DEC 27, 2017 10:09:02  
Ttl Pd \$25.00 Rpt # 0004909493  
ELP/R6/1-3

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## QUIT CLAIM DEED

(Excluded from Reappraisal under Proposition 13, i.e. Calif. Const. Art 13A Sect. 1 et. seq.)  
The undersigned Grantors declare under penalty of perjury that the following is true and correct:

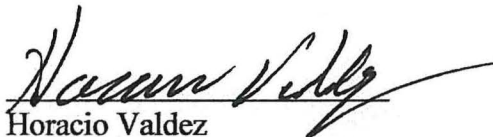
THERE IS NO CONSIDERATION FOR THIS TRANSFER. Documentary transfer tax is \$0.  
(Rev and Tax Code Sec. 11911.) This is a Trust Transfer under Section 62 of the Revenue and  
Tax code and is excluded as a Transfer to a Revocable trust.

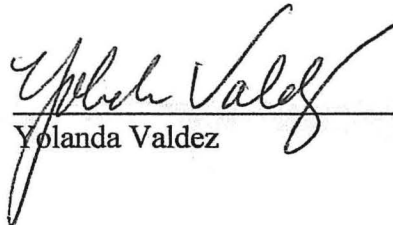
THE GRANTORS: Horacio Valdez and Yolanda Valdez, husband and wife, hereby convey and  
quit claim to Horacio Valdez and Yolanda Valdez, Trustees of the Valdez Family Revocable  
Living Trust, Dated: December 26, 2017 all their right, title and interest in and to the following  
described real estate, situated in the County of Fresno, State of California, together with all after  
acquired title of the grantors therein:

APN 373-111-81

SEE EXHIBIT 'A' ATTACHED HERETO AND THEREBY MADE A PART HEREOF

Dated: December 26, 2017

  
\_\_\_\_\_  
Horacio Valdez

  
\_\_\_\_\_  
Yolanda Valdez

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not to the truthfulness, accuracy, or validity of that document

STATE OF CALIFORNIA )  
 )  
COUNTY OF TULARE )

On December 26, 2017 , before me, Paul Cereghino, Notary Public, personally appeared Horacio Valdez and Yolanda Valdez, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



*Paul Cereghino*  
Signature of Notary Public

**EXHIBIT "A"**

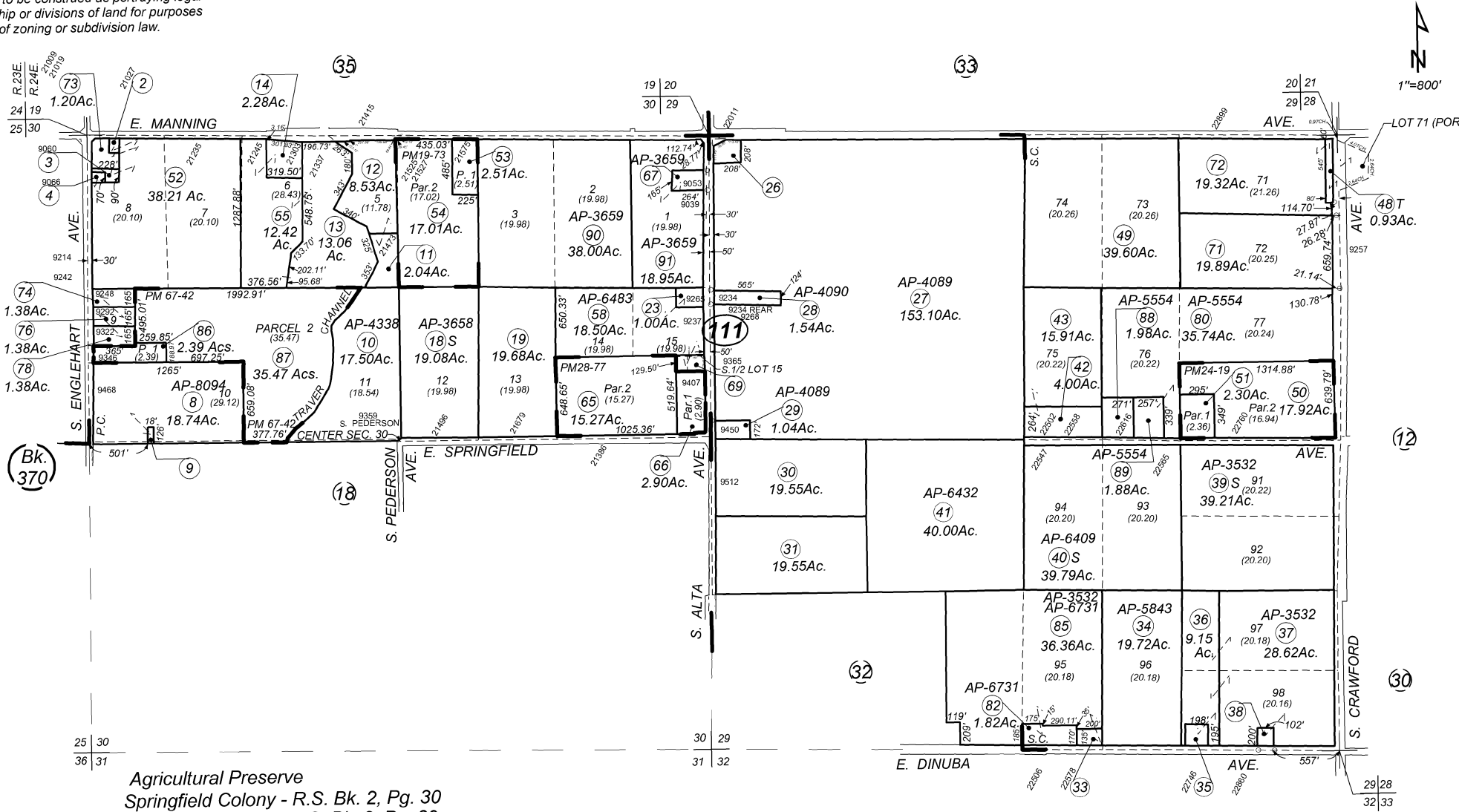
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

The South 339 feet of the West 528 feet Lot 76 of Springfield Colony, in the County of Fresno, State of California, as shown on map filed Book 2, Page 30 of Maps, In the office of the County Recorder of said County.

EXCEPTING THEREFROM the East 257.00 feet of the West 528.00 feet of the South 339.00 feet of Lot 76 of Springfield Colony, in the County of Fresno, State of California, as shown on map filed Book 2, Page 30 of Maps, In the Office of the County recorder of said County.

APN: 373-111-81 (portion)

-NOTE-  
This map is for Assessment purposes only.  
It is not to be construed as portraying legal  
ownership or divisions of land for purposes  
of zoning or subdivision law.



*Agricultural Preserve*  
Springfield Colony - R.S. Bk. 2, Pg. 30  
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Parcel Map No. 7978 - Bk. 67, Pg. 42

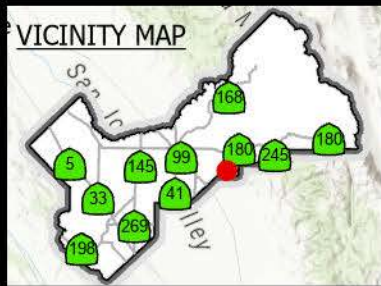
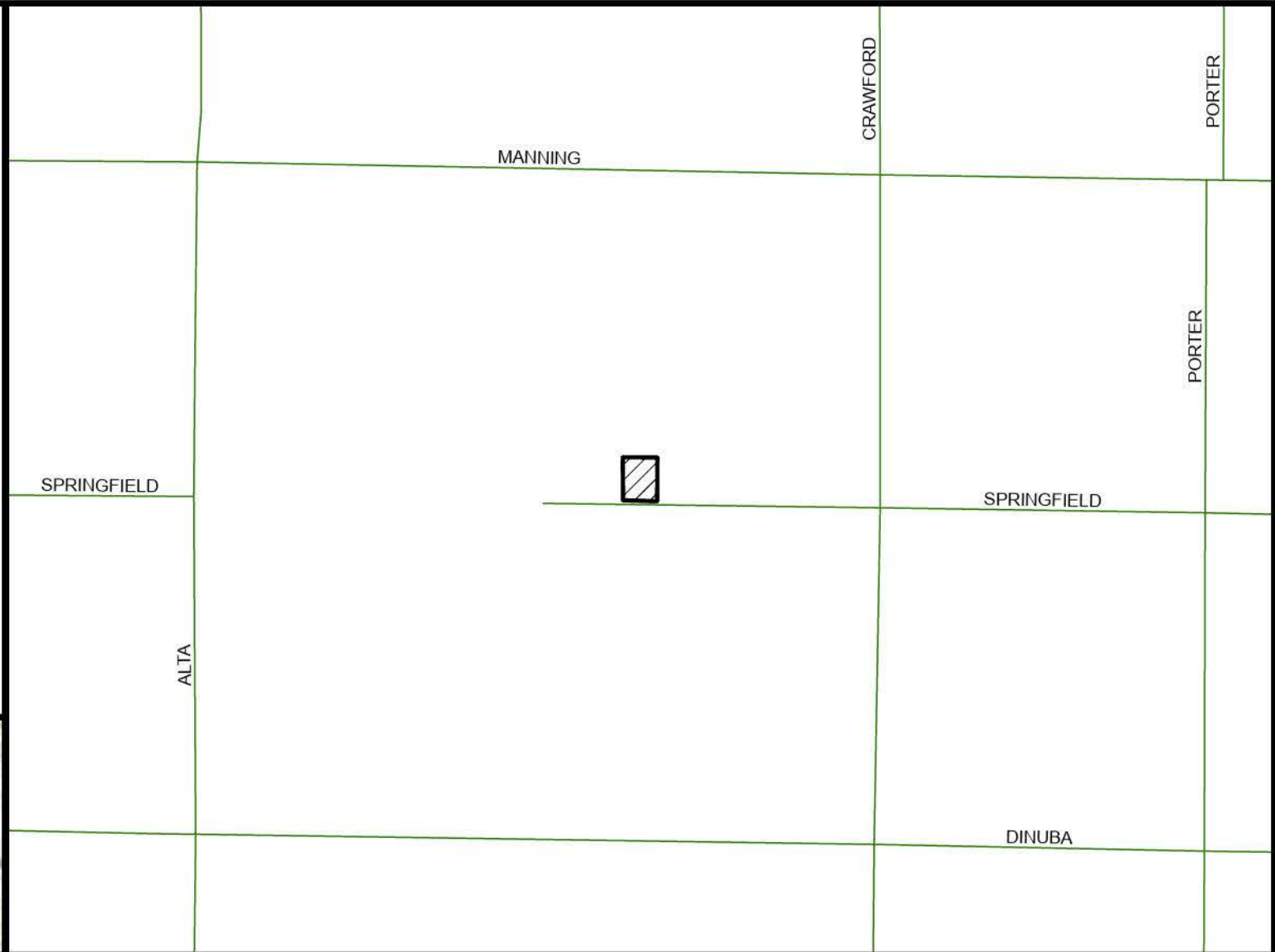
Assessor's Map Bk.373 - Pg.11  
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses  
Assessor's Parcel Numbers Shown in Circles

**Legend**



Subject Property

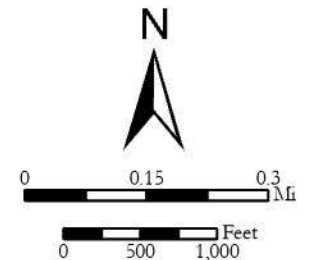


# LOCATION MAP

## DRA4768



## 2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
Person Prepared by : mayang  
On Date : 4/29/2024

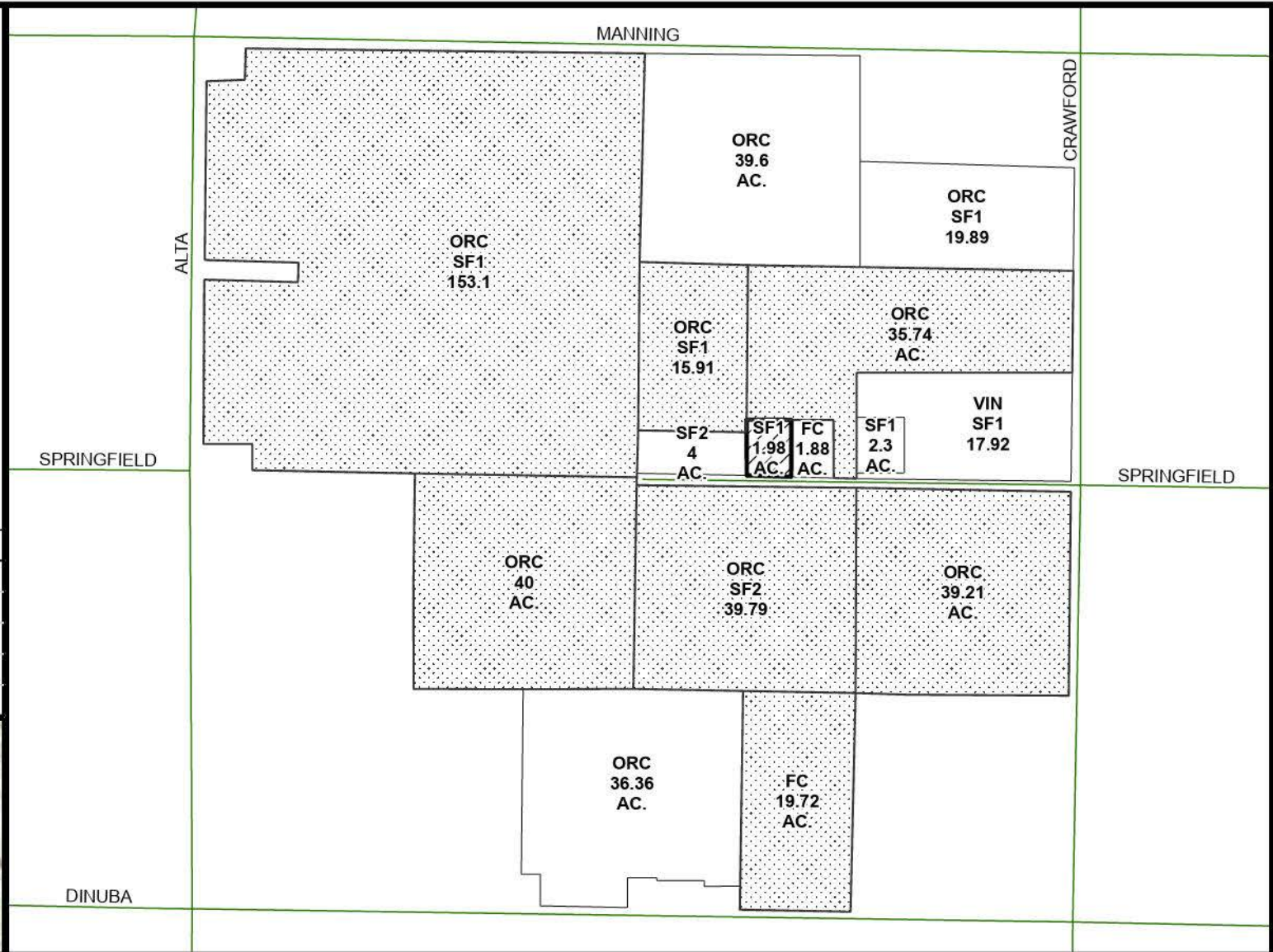
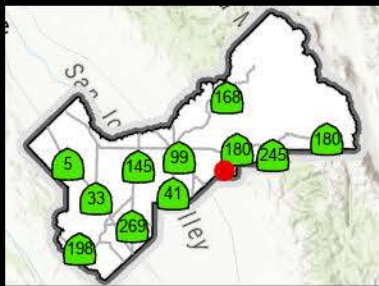




**LEGEND:**

-  Subject Property
-  Ag Contract Land

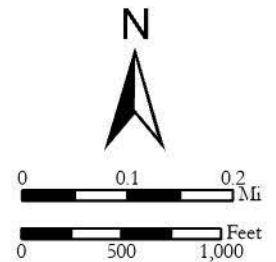
- LEGEND**
- ORC - ORCHARD
  - FC - FIELD CROP
  - SF#- SINGLE FAMILY RESIDENCE
  - VIN - VINEYARD
  - V - VACANT

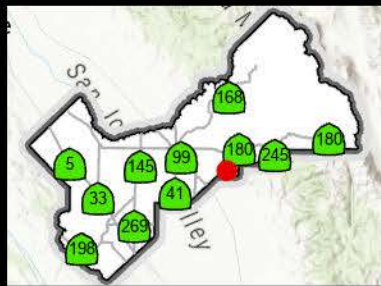
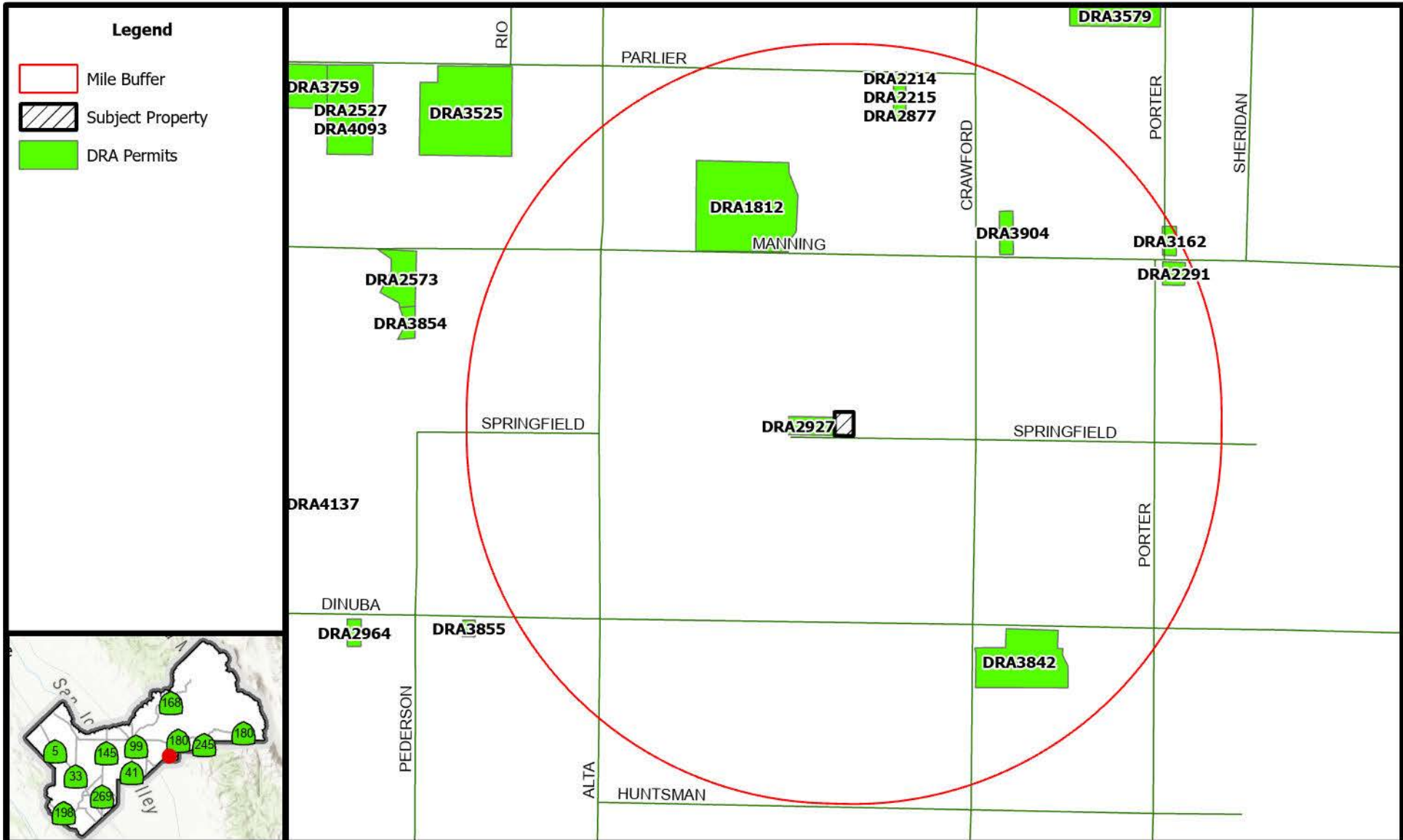


# Existing Land Use Map

## DRA4768 | 2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mayang  
 On Date : 4/29/2024

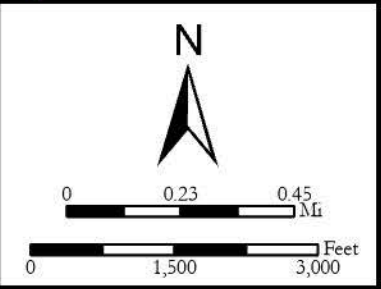


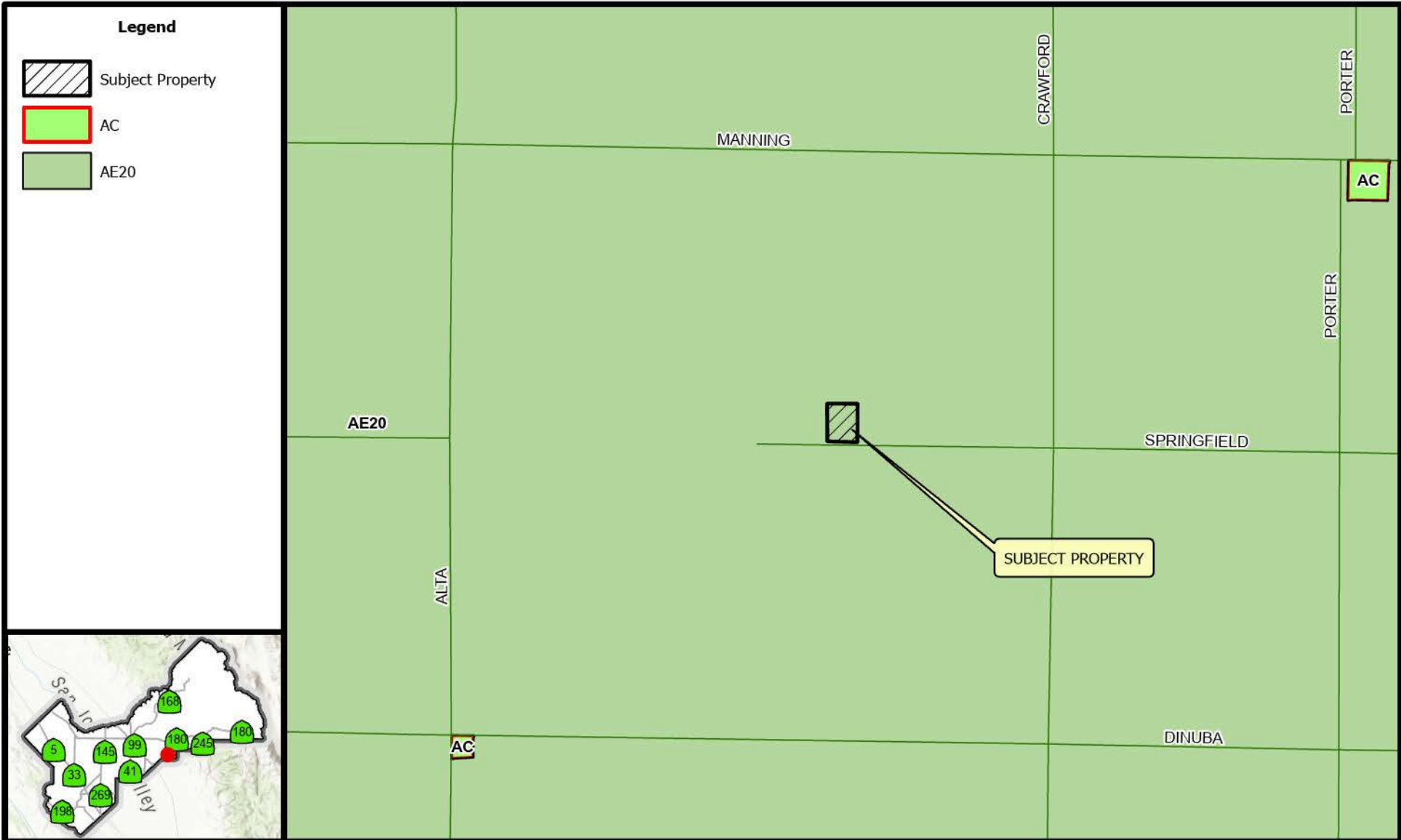





# Proximity Map

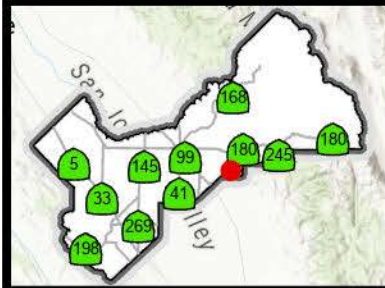
**DRA4768** | **2024**

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mayang  
 On Date : 4/29/2024





- Legend**
-  Subject Property
  -  AC
  -  AE20

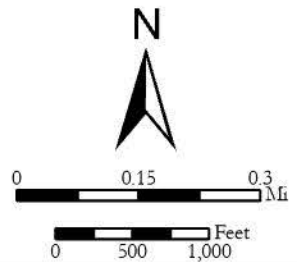


# Existing Zoning Map

DRA4768  
STR 29 - 15S / 24E

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mayang  
 On Date : 4/29/2024





# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

May-25-2022

Yolanda and Horacio Valdez  
22616 E Springfield  
Reedley, CA 93706

RE: Nitrogen Loading Analysis for Proposed 1.98 Acre Lot

\*\*HANTZSCHE-FINNEMORE EQUATION\*\* Calculation based on owned parcel.

01.98 = Total Gross Lot Size (Acres)  
9% = Impervious Surface (%)  
01.80 = Total Surface Area (Acres)  
450 = Daily Wastewater Flow (Gallons per Day) W Using 50gpcpd  
365 = Duration of Wastewater Application (Days) t  
3.39 = Calculated Volume of Wastewater Entering Soil (Inches per Year) I  
50 = Total Nitrogen Concentration in Wastewater Entering System (mg/l) now  
0 = Percent of Nitrate-Nitrogen loss due to Soil Denitrification d  
12.5 = Average Rainfall Recharge Rate (70% of Annual Rainfall) (Inches per Year) R  
0.00 = Background Nitrate-Nitrogen Concentration in Rainfall Recharge (mg/l) nb  
0 = Percent Nitrogen Removal from Treatment System Tr  
10.6 = Calculated Average Concentration of Nitrate-Nitrogen (mg/l) nr

Calculation based on open undeveloped areas adjacent to subject parcel.

2.20 = Total Gross Lot Size (Acres)  
9% = Impervious Surface (%)  
2.0 = Total Surface Area (Acres)  
450 = Daily Wastewater Flow (Gallons per Day) W Using 50gpcpd  
365 = Duration of Wastewater Application (Days) t  
3.02 = Calculated Volume of Wastewater Entering Soil (Inches per Year) I  
50 = Total Nitrogen Concentration in Wastewater Entering System (mg/l) nw  
0 = Percent of Nitrate-Nitrogen loss due to Soil Denitrification d  
12.5 = Average Rainfall Recharge Rate (70% of Annual Rainfall) (Inches per Year) R  
0.00 = Background Nitrate-Nitrogen Concentration in Rainfall Recharge (mg/l) nb  
0 = Percent Nitrogen Removal from Treatment System Tr  
9.7 = Calculated Average Concentration of Nitrate-Nitrogen (mg/l) nr

The Nitrogen Loading Analysis review has been completed. The conclusion is that the calculated average concentration of total nitrogen in the groundwater is 10.6mg/l based on owned parcel area. A calculated average concentration of Total Nitrogen concentration of 10.0 mg/l, which meets the EPA threshold of 9.7 mg/l for drinking water, can be determined with the inclusion of a .22 open acreage adjacent to the subject parcel in a regional evaluation.

**SITE NOTES :**

- OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION. COMPACTION REPORT REQUIRED.
- SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING AT A 2% SLOPE FOR AT LEAST THE FIRST 10 FEET FROM THE BUILDING CONCRETE PAD OR EXTERIOR FOUNDATION FOOTING WITH A MIN. FALL OF 6". CRC R401.3, CALGREEN 4.106.3
- IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING.
- LOT SHALL BE DRAINED FROM REAR TO FRONT W/ A MINIMUM OF 1% AND TO AN APPROVED DRAINAGE SYSTEM. INSTALLATION OF OBSTRUCTIONS, I.E., BLOCK FENCES, WOOD FENCES, ROCKS, LANDSCAPING, MOUNDS, ETC., CAN NOT BLOCK FLOW.
- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAXIMUM SLOPE OF TWELVE PERCENT (12%) FOR A MINIMUM DISTANCE OF TWENTY FEET (20') FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF EIGHTEEN PERCENT (18%).
- NO ON-SITE WATER RETENTION OR DRAINAGE INTO ADJACENT PROPERTIES / DRAIN TO THE STREET OR DESIGNED BASIN.
- ANY VERTICAL CUT AND FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. RETAINING WALLS THAT ARE 2 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTINGS, POSTS, KEYS OR STRUCTURE TO THE TOP OF THE WALL AND THAT RETAINS 12 INCHES OR MORE OF SOIL, REQUIRES PERMITS AND INSPECTIONS. SUBMIT ENGINEERED DESIGN.
- REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-624-3444.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- MAXIMUM SLOPES OF ADJOINING CUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%) WITHIN 48" OF THE BOTTOM OF THE CURB RAMP.

**GOVERNING CODES :**

ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ADMINISTRATIVE CODE
- 2022 CALIFORNIA ENERGY CODE & TITLE 24 AND 25, CALIFORNIA CODE OF REGULATIONS
- CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEEC) 2022
- SAFETY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFETY
- CITY OF DINUBA ORDINANCES
- COUNTY OF FRESNO ORDINANCES
- APPLICABLE SEC. OF THE CA. ENERGY CONSERVATION STANDARDS
- 2021 INTERNATIONAL BUILDING CODE

**SEPARATE SUBMITTALS :**

NAME OF FORM	STATE OF CALIFORNIA, 2022 RESIDENTIAL COMPLIANCE FORM
CF - 1R FORM :	RESIDENTIAL PERFORMANCE CERTIFICATE OF COMPLIANCE (PERFORMANCE COMPLIANCE METHOD) FOR NEWLY CONSTRUCTED BUILDINGS, ADDITIONS, AND ALTERATIONS
CF - 2R FORM :	RESIDENTIAL CERTIFICATE OF INSTALLATION TO BE PROVIDED AND FILED BY AN APPROVED HERS RATER.
CF - 3R FORM :	RESIDENTIAL CERTIFICATE OF VERIFICATION FOR EACH ITEM INSTALLED PER THE FILED TITLE 24 ENERGY DOCUMENTATION. THIS FORM IS TO BE PROVIDED AND FILED BY AN APPROVED HERS RATER.

ALL SEPARATE SUBMITTALS SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. CRC 107.3.4.2 THE FOLLOWING ELEMENTS ARE TO BE CLASSIFIED AS DEFERRED:

- FIRE SPRINKLER SYSTEM

**CODE & DESIGN LOADS :**

CODE:	ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CBC, 2022 CRC, & THE 2021 IBC	
<b>DESIGN LOADS:</b>	<b>SNOW DATA</b>	
ROOF :	21.0 P.S.F. DEAD LOAD	0.0 PSF
	15.0 P.S.F. LIVE LOAD	N/A
		SNOW EXPOSURE FACTOR, C <sub>e</sub>
		THERMAL FACTOR, C <sub>t</sub>
FLOOR :	12.0 P.S.F. DEAD LOAD	N/A
	40.0 P.S.F. LIVE LOAD	N/A
		SNOW LOAD IMPORTANCE FACTOR, I
		SLIPPERY ROOF
DECK :	12.0 P.S.F. DEAD LOAD	N/A
	40.0 P.S.F. LIVE LOAD	N/A
		SNOW DENSITY,
		FLAT ROOF SNOW LOAD, P <sub>f</sub>
EXT. WALLS :	15.0 P.S.F. DEAD LOAD	
		WIND FORCES:
		ASCE 7-10
		C.S.C. 1609.6 ALTERNATE ALL HEIGHTS METHOD
CONSTRUCTION TYPE: SIMPLE		
SEISMIC SITE CLASS: D		
SEISMIC DESIGN CATEGORY: D		
OCCUPANCY - STANDARD		
DESIGN CATEGORY CONSIDERATION - FLEXIBLE DIAPHRAGM		
STRUCTURAL SYSTEM - BEARING WALL SHEAR PANELS		

**GENERAL NOTES :**

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL NOTIFY THE OWNER AND THE DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY WORK AND OR CONSTRUCTION. ALL BUILDING SUBCONTRACTORS SHALL PERFORM THERE APPROPRIATE WORK TO CODES AND REGULATIONS AND INDUSTRY STANDARDS.
- DO NOT SCALE DRAWINGS / ALL DIMENSIONS SHALL HAVE PRECEDENCE AT ALL TIMES.
- JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
- A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION. CRC 3305.1
- APPROVED PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTIONS.
- FINISH FLOOR ELEVATION IS TO BE 6" ABOVE THE CROWN OF THE STREET.
- A CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED FOR THIS PROJECT. THE PLAN IS TO BE FINALIZED PRIOR TO OCCUPANCY.
- PROVIDE CONSTRUCTION SITE ADDRESS: APPROVED NUMBERS OR ADDRESS SIGNS SHALL BE PROVIDED FOR ALL CONSTRUCTION SITES. THEY SHALL BE PAINTED ON THE FACE OF THE CURB ON THE FRONT SIDE OF THE LOT PRIOR TO THE FIRST INSPECTION. CURB NUMBERS SHALL BE MIN. OF 3" INCHES IN HEIGHT AND HAVE CONTRASTING OR REFLECTING BACKGROUND AND PERMANENTLY PAINTED ON THE CURB FACE. TEMPORARY STREET NAMES SHALL BE PAINTED ON THE CURBS OF ALL STREETS AND THE STREET INTERSECTIONS. IN THE EVENT THAT NO CURB EXISTS, TEMPORARY CONSTRUCTION SITE ADDRESS SIGNS AND TEMPORARY STREET NAME SIGNS SHALL BE POSTED AT A HEIGHT OF BETWEEN 48" AND 72". SUCH TEMPORARY SIGNS SHALL BE WEATHER RESISTANT ON APPROVED MATERIAL. ALL NUMBERS AND NAME SIGNS SHALL BE MAINTAINED TO THE SATISFACTION OF THE FIRE MARSHAL AND BUILDING OFFICIAL.
- APPROVED ADDRESS NUMBERS SHALL COMPLY WITH THE ADDRESS STANDARD APPROVED BY THE FIRE MARSHAL AND THE BUILDING OFFICIAL. INSTALL STREET ADDRESS NUMERALS, AT LEAST 4 INCHES HIGH WITH MINIMUM 1/2 INCH STRIKE, MOUNTED ON A CONTRASTING BACKGROUND COLOR CLEARLY VISIBLE FROM THE STREET AND IS REFLECTIVE. (VISIBLE TO TRAFFIC IN BOTH DIRECTIONS).
- ADDRESS NUMBERS SHALL BE DISPLAYED ON A BUILDING OR LAND IN SUCH A MANNER AS TO BE VISIBLE FROM THE STREET OR ROAD ON WHICH THE BUILDING OR LAND FRONTS. WHERE THE BUILDING IS LOCATED MORE THAN 50 FEET FROM THE MAIN ROADWAY, THE NUMBER SHALL BE DISPLAYED AT THE ENTRANCE OF THE DRIVEWAY AND BE READABLE FROM BOTH DIRECTIONS. ADDRESSES MOUNTED TO BUILDINGS SHALL USE SAME SIZE CONFIGURATION. ALL NUMBERS OR SIGNS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER SO AS TO REMAIN READABLE.
- CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL. CRC 106.4. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN :
  - CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE.
  - INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN.
  - A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM.
  - INTERIOR NON STRUCTURAL WALL FINISHES, SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW FLOOR PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
- ANY VERTICAL CUT OR FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. THE GRADE DIFFERENTIAL BETWEEN ADJACENT PROPERTIES MAY BE RELIEVED BY A SLOPED NOT TO EXCEED TWO HORIZONTAL TO ONE VERTICAL ON THE LOW PROPERTY IF APPROVED BY THE OWNER OF SAID LOW PROPERTY IN A FORM OF A RECORDED EASEMENT OR COVENANT RUNNING WITH THE LAND AS APPROVED BY THE CITY ATTORNEY.
- BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS AND CONSERVATION OF SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
- AFTER OCTOBER 1, 2010, ANY LOW RISE RESIDENTIAL HOMES REQUIRING HERS VERIFICATION WILL BE REQUIRED TO SUBMIT A REGISTERED CF-1R.
- ALL NEW PIPING FOR WATER AND SEWER TO BE PVC SCH. 40 OR BETTER.
- INSTALL NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL HOSE BIBBS.
- THERE SHALL NOT BE ANY DEMOLITION TO EXISTING SHEAR WALLS, AND/OR STRUCTURAL FRAME, WITH OUT WRITTEN DIRECTION FROM ARCHITECT OR ENGINEER.

**LEGAL :**

APN: 373-111-88

**OWNER ADDRESS :**

YOLANDA & HORACIO VALDEZ  
22616 EAST SPRINGFIELD AVENUE  
DINUBA CALIFORNIA 93618  
(559)-351-4641

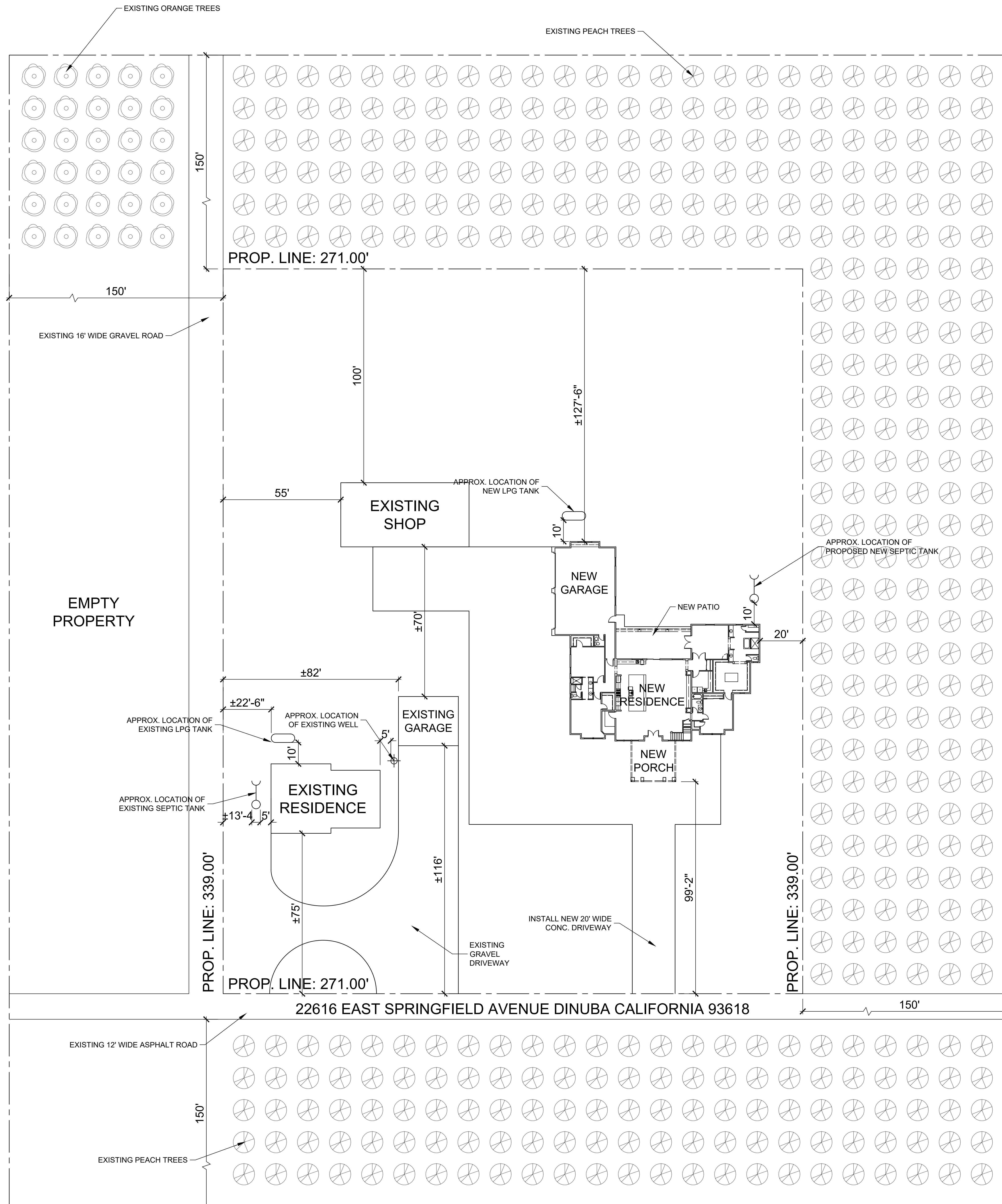
**BUILDING DATA :**

BUILDING USE :	SINGLE FAMILY EXISTING RESIDENCE & ADDITION
OCCUPANCY :	R-3/U
CONSTRUCTION TYPE :	V = B
ZONING / CLASSIFICATION :	AE-20, RESIDENTIAL
OCCUPANT LOAD :	LESS THAN 10
NUMBER OF STORIES :	1
ALLOWABLE BLDG HEIGHT :	35'-0"
EXISTING RESIDENCE :	1,756 SQ. FT.
EXISTING GARAGE :	644 SQ. FT.
NEW RESIDENCE :	1,800 SQ. FT.
NEW RESIDENCE :	3,573 SQ. FT.
NEW GARAGE :	1,322 SQ. FT.
NEW PATIO :	490 SQ. FT.
NEW PORCH :	415 SQ. FT.

TOTAL AREA :	10,000 SQ. FT.
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**SHEET INDEX :**

A-1	SITE PLAN
A-2	FLOOR PLAN
A-3	ELEVATIONS
A-4	2ND ELEVATIONS
A-5	BASEMENT FLOOR PLAN

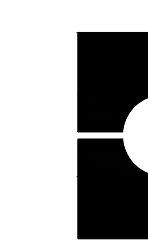


DATE: CURRENT DATE

JOB: PROJECT NAME

DRAWN BY: JESSE VARGAS

**VARGAS DESIGN**  
445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931



SHEET NO.

1

SITE PLAN

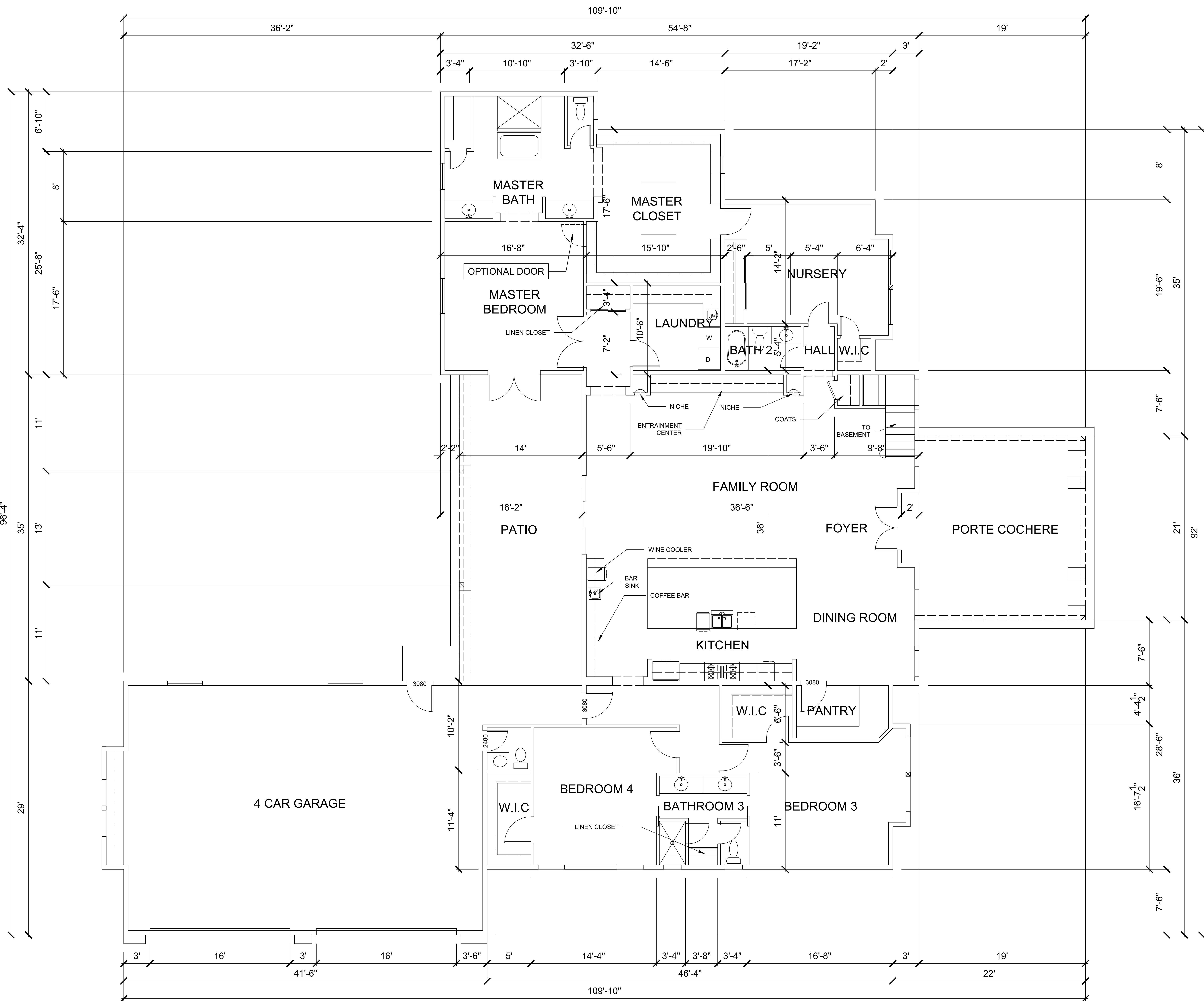
# VALDEZ RESIDENCE

22616 EAST SPRINGFIELD AVENUE  
DINUBA CALIFORNIA 93618

SITE PLAN

SCALE : 1" = 10'-0"

JESSE VARGAS



**KEY NOTES :**

1. INSTALL 5/8" THK. TYPE 'X' GYPSUM BOARD AT GARAGE WALLS AND CEILINGS INCLUDING ANY POSTS AND EXPOSED BEAMS.
2. INSTALL 1-3/4" THK. SOLID CORE WOOD DOOR WITH SELF CLOSER & SELF-LATCHING AND WEATHER-STRIPPING.
3. MAXIMUM ELEVATION CHANGE AT THRESHOLD TO BE 1-1/2" MAXIMUM.
4. BATHTUB (60"x32") AND SHOWER WITH CERAMIC TILE ON (3) THREE WALLS UP TO 70" HIGH MINIMUM / PROVIDE BRASS FERRULE FITTING.
5. MAXIMUM WINDOW SILL HEIGHT NOT TO EXCEED 44" ABOVE FINISH FLOOR / EMERGENCY EGRESS.
6. GAS FRED TANKLESS WATER HEATER (RINNAI).
7. WATER CLOSET W/ MIN. 32 INCHES IN WIDTH & 24 INCHES CLEAR IN FRONT / 1.2 GALLON MAX. CAPACITY AND SHALL BE LOW-FLOW WATER TYPE.
8. LAVATORY OVER TILED COUNTER.
9. CLOTHES WASHER SPACE & DRYER SPACE. DRYER VENT DUCT SHALL BE 6" DIAMETER (OR EQUAL CROSS SECTION) SMOOTH SHIT METAL EXTENDING TO EXTERIOR W/ BACK-DRAFT DAMPER PER U.B.C. AND U.M.C.
10. LINE OF SOFFIT ABOVE OR CHANGE IN CELL'G HEIGHT / SEE PLAN FOR HEIGHT.
11. TYPICAL ARCHED SOFFIT.
12. PLASTIC LAMINATE COUNTER TOP AND SPLASH W/ CABINETS BELOW. / VERIFY DOOR DESIGN W/MANUF.
13. UPPER CABINET / WALL MOUNTED. / VERIFY DOOR DESIGN WITH MANUFACTURER.
14. GRANITE COUNTER TOP AND SPLASH WITH CABINETS BELOW. / VERIFY DOOR DESIGN W/MANUF.
15. TWO COMPARTMENT KITCHEN SINK WITH DISPOSAL VERIFY WITH OWNER.
16. BUILT-IN DISHWASHER / INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
17. TILE COUNTER AND SPLASH WITH FULL MIRROR.
18. OVAL TUB (60"x42") SET ON RAISED CERAMIC TILE PLATFORM / PROVIDE BRASS FERRULE FITTING OR 12"x12" PANEL.
19. SHOWER WITH FULL HEIGHT CERAMIC TILE FINISH OVER WATER RESISTANT FIBER REINFORCED OR CONCRETE. PROVIDE BRASS FERRULE FITTING OR 12"x12" PANEL. PROVIDE TEMP. CL. DOOR.
20. CURTAIN AND ROD AT TUB / SHOWER.
21. ZERO CLEARANCE FIREPLACE WITH TEMPERED GLASS DOORS / SEE FLOOR PLAN FOR MODEL NO. AND I.G.B.O. REPORT NUMBER / INSTALL WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS.
22. 16" WIDE CERAMIC TILE HEARTH (12" HIGH) AT GAS FIREPLACE.
23. REFRIGERATOR SPACE / PROVIDE WATER FOR ICE MAKER (COORDINATE WITH PLUMBING).
24. 4 BURNER GAS RANGE WITH 30" WIDE HOOD W/ TWO SPEED FAN AND LIGHT ABOVE. / PROVIDE 6" HORIZ. CLEARANCE FROM BURNERS AND 30" VERTICAL CLEARANCE TO COMBUSTIBLE MATERIAL. INSTALL PER MANUFACTURER'S SPECS.
25. BUILT-IN MICROWAVE SPACE. PROVIDE BREAD BOARD AT SEPARATION AND VERIFY DIMENSIONS AND INSTALLATION REQUIREMENTS WITH MANUFACTURER.
26. FIVE (5) 12" DEEP FIXED SHELVES.
27. ONE (1) ROD, ONE (1) INSULF IN CLOSET.
28. 22"x30" ATTIC OPENING W/ INSULATION AND GASKET.
29. 16" WIDE x 42" HIGH RAISED COUNTER TOP.
30. SAFETY REQUIREMENTS: PROVIDE A PEEP HOLE OR VISION PANEL AT DOOR. PROVIDE A STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHM 6" ABOVE ABOVE AND BELOW WITH 2-#8 x 2" LG. SCREWS. WINDOWS SHALL MEET THE MIN. STANDARDS AS ESTABLISHED BY THE U.B.C. STANDARDS. PROVIDE DEAD BOLTS AT ALL EXTERIOR DOORS.
31. OPTIONAL STONE VENEER. VERIFY W/ OWNER.
32. A/C UNIT LOCATION OVI/ CONC. PAD. VERIFY LOCATION W/ MECHANICAL CONTRACTOR.
33. 36" x 48" CONCRETE LANDING W/ 1/2" - 1-1/2" MAX. STEP DOWN AT ENTRY, NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
34. FUR OUT WALL AS NEEDED SO THAT THE GYP. BOARD IS FLUSHED.

DATE : NOVEMBER 30 2022

JOB : VALDEZ RESIDENCE

DRAWN BY : JESSE VARGAS

CONTENTS : FLOOR PLAN

**VARGAS DESIGN**  
 445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931

SHEET NO. **2**

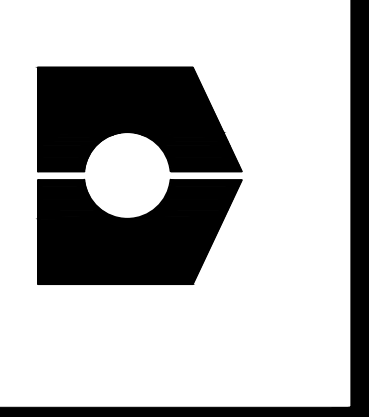
**GENERAL NOTES :**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CONDITIONS BEFORE STARTING ANY WORK. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL ELSE. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
2. DRAWING ORGANIZATION : THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG SUBCONTRACTORS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DIVIDE THE WORK.
3. ROOMS W/ FIXED GLASS SHALL HAVE A MIN. OF 2 AIR CHANGES PER HOUR WITH 1/5 FROM OUTSIDE AIR. BATHROOMS AND LAUNDRY ROOMS SHALL HAVE A MIN. OF 5 AIR CHANGES PER HOUR.
4. LATH AND PLASTER SHALL COMPLY WITH CRC 730.6. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 & HAVE MINIMUM FLAME SPREAD RATING OF CLASS 1 PER CBC TABLE 803.3. & CRC R302.9.
5. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1178, C 1288 OR C 1325 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C 840 AND MANUFACTURER'S RECOMMENDATIONS. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C 840.
6. ALL TUBS AND SHOWERS SHALL BE INSTALLED PRIOR TO COMPLETE FRAMING OF ALL BATHS. INSTALL BRASS FERRULE FITTING.
7. SHOWER AND TUB ENCLOSURES SHALL CONFORM TO C.P.C. 412.7 AND SHALL HAVE A MINIMUM INTERIOR AREA OF 1024 SQUARE INCHES ABLE TO ENCOMPASS A 30" INCH DIAMETER CIRCLE.
8. SHOWERS SHALL HAVE WATERPROOF FINISH AT WALLS UP TO AT LEAST 70" INCHES ABOVE THE SHOWER DRAIN. SHOWER CURTAINS OR SHOWER SAFETY GLAZING ENCLOSURES ARE REQUIRED. SHOWER DOORS MAY BE NOT LESS THAN 22" MINIMUM WIDTH.
9. SHOWER/TUB AND SHOWER VALVES TO BE POSI-TEMP PRESSURE BALANCING VALVES.
10. PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL CIRCULATING-TYPE TUBS ON THE JOB-SITE FOR INSPECTION PURPOSES.
11. ALL TUB AND SHOWER VALVES ARE TO BE SINGLE CONTROL PRESSURE BALANCING OR THERMOSTATIC ANTI-SCALD TYPE.
12. PROVIDE A NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE ON ALL HOSE BIBBS. (CPC 603.4.7)
13. WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING:
  - A. AUTOMATIC WASHING MACHINE (HOT AND COLD WATER).
  - B. ICEMAKER.
  - C. DISHWASHER.
14. AT THE TIME OF FILL, EACH FIXTURE SHALL HAVE A REMOVABLE TAG APPLIED STATING:
 

THIS NEW PLUMBING SYSTEM WAS FIRST FILLED AND FLUSHED ON (DATE) BY (NAME), THE STATE OF CALIFORNIA REQUIRES THAT THE SYSTEM BE FLUSHED AFTER STANDING AT LEAST ONE WEEK AFTER THE FILL DATE SPECIFIED ABOVE. IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE, THE WATER MUST BE ALLOWED TO RUN FOR AT LEAST TWO MINUTES PRIOR TO USE FOR HUMAN CONSUMPTION. THIS TAG MAY NOT BE REMOVED PRIOR TO THE COMPLETION OF THE REQUIRED SECOND FLUSHING, EXCEPT BY THE BUILDING OWNER OR OCCUPANT.
15. PIPING PASSING UNDER OR THROUGH WALLS SHALL BE PROTECTED FROM BREAKAGE. NO PLUMBING PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE OR MASONRY. VOIDS AROUND PIPING PASSING THROUGH CONCRETE FLOORS ON THE GROUND SHALL BE SEALED.
16. COOK TOP CLEARANCES ARE REQUIRED TO BE 30" VERTICAL AND 6" HORIZONTAL FROM ALL COMBUSTIBLE MATERIALS AND SHALL BE INSTALLED PER THE MANUFACTURER. - CMC SECTION 916.
17. FLEX-DUCT SHALL NOT BE PERMITTED FOR HOOD EXHAUST SYSTEMS.
18. ALL WINDOWS, DOORS AND SLD'G GLASS DOORS SHALL BE DUAL-GLAZED PANE UNLESS NOTED OTHERWISE ON THESE PLANS.
19. TEMPERED GLASS IS REQUIRED IN DOOR PANELS, IN GLAZING THAT COMES WITHIN A 24" ARC OF A DOOR, WHEN BOTTOM EXPOSED EDGE IS WITHIN 60" OF A WALKING SURFACE, IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS.
20. DRYER VENT SHALL NOT EXCEED A COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14' FEET INCLUDING (2) TWO 90 DEGREE ELBOWS. SEE MECHANICAL PLAN FOR ADDITIONAL NOTES AND SPECIFICATIONS.
21. INSULATE ALL EXTERIOR WALLS WITH R-19 MIN. BATT INSULATION, AND CEILINGS WITH R-38 MIN. INSULATION, UNLESS NOTED OTHERWISE ON THESE PLANS AND DRAWINGS.
22. BLOWN INSULATION / BLOWN OR POUR TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE SLOPE DOES NOT EXCEED 2.5 : 12 FITCH.
23. HORIZONTAL EAVE VENTS ARE INSTALLED Baffles SHALL BE IN PLACE AT THE TIME OF FRAMING INSPECTION.
24. AFTER THE INSTALLATION OF WALL, CEILING OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING, A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE 24 REQUIREMENTS.
25. THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE. (CALIFORNIA ENERGY CODE 150.0)
26. ISOLATION VALVES AND HOSE BIBBS REQUIRED FOR TANK-LESS WATER HEATER. SECTION 1110.3(C) 7
  - A. INSTANTANEOUS WATER HEATERS WITH AN INPUT RATING OF 6.8BTU/HR. (2 HW) OR GREATER NEED AN ISOLATION VALVE ON COLD WATER SUPPLY AND HOT WATER LEAVING WATERHEATER.
  - B. EACH VALVE NEEDS A HOSE BIBB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.
27. DIALIZED MALLEABLE IRON, GALVANIZED WROUGHT IRON, OR GALVANIZED STEEL ARE PROHIBITED MATERIALS FOR WATER SUPPLY AND BUILDING WATER PIPING BOTH UNDERGROUND AND IN BUILDINGS.
28. ALL PLUMBING CONVEYING OR DISPENSING WATER FOR HUMAN CONSUMPTION SHALL COMPLY WITH AB 1953 FOR LEAD CONTENT.
29. COMBUSTION APPLIANCES SHALL BE PROPERLY VENTED AND AIR SYSTEMS SHALL BE DESIGNED TO PREVENT BACK DRAFTING.
30. AIR INLETS THAT ARE PART OF THE VENTILATION DESIGN SHALL BE LOCATED A MINIMUM OF 10 FEET FROM KNOWN SOURCES OF CONTAMINATION SUCH AS STACK, VENT, EXHAUST HOOD OR VEHICLE EXHAUST.

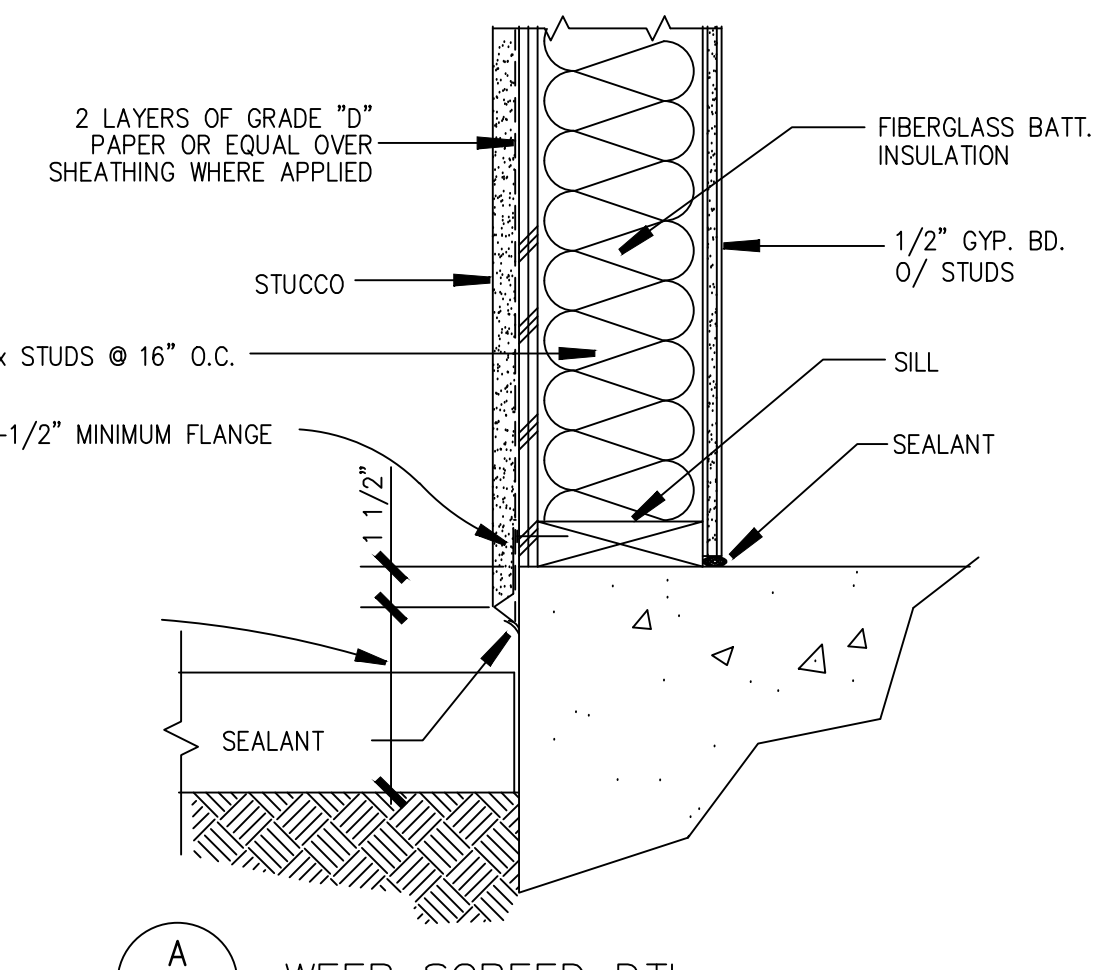
**ADDITIONAL NOTES :**

26. ATTIC ACCESS : (SIZE NOTED ON DRAWINGS). THE ATTIC SHALL BE WEATHERSTRIPPED, AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE PANEL IN THE ATTIC SIDE OF CEILING & GASKETED TO PREVENT AIR LEAKAGE.
27. PROVIDE FIRE-BLOCKING AT THE 10' FT. HEIGHT INTERVALS AND AT ALL OF THE FLOOR AND C/LG. LEVELS.
28. FINGER JOINTED STUDS ARE NOT ALLOWED IN STRUCTURAL WALLS (BEARING OR SHEAR WALLS) WITHOUT ENGINEERING ANALYSIS OR ESR APPROVAL TO SUBSTANTATE EQUIVALENCY.
29. MANUFACTURER'S CERTIFICATION OF GLU-LAM BEAMS MUST BE PROPERLY IDENTIFIED FOR THE LOCATION AND SPECIFIC JOB, AND BE PROVIDED BEFORE THE FRAMING INSPECTION.
30. PROVIDE R-12 OR GREATER TANK INSULATION WHERE ENERGY FACTOR IS LESS THAN 0.58. PIPE INSULATION TO BE R-12 OR GREATER AS REQUIRED BY SECTION 150 ( ) ( ) (2)
31. FLASH AND COUNTERFLASH AT ROOF TO VERTICAL WALL JUNCTION.
32. A VAPOR BARRIER IS REQUIRED PER THE TITLE 24 ENERGY ANALYSIS. SEE ROOF FRAMING PLAN FOR NOTES.
33. EGRESS DOOR TO BE NOT LESS THAN 78" FROM TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.



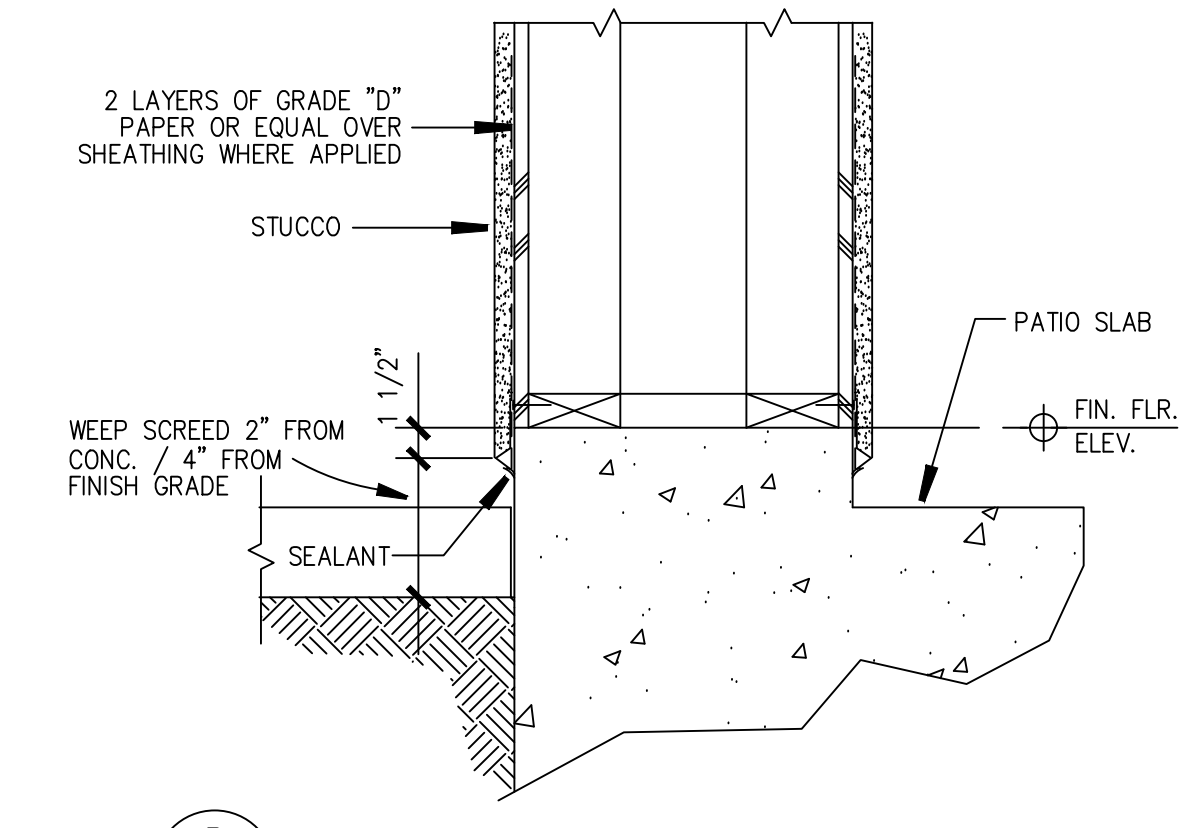
ELEVATION NOTES :

- ROOF CONSTRUCTION ASSEMBLY : TILE ROOF OVER 1/2" OSB APA #30 FELT UNDER LAYMENT
- INSULATION : PER TITLE-24 ENERGY DOCUMENTATION.
- CEILING : 5/8" THK. GYPSUM BOARD AT 2x FRAMING MEMBERS AT 24" O.C. / 1/2" THK. GYPSUM BOARD AT 2x FRAMING MEMBERS AT 16" O.C.
- FLOOR CONSTRUCTION ASSEMBLY : 3 1/2" THK. CONCRETE SLAB ON GRADE AS NOTED ON FOUNDATION PLAN OR : FRAME FLOOR CONSTRUCTION - 5/4" FLOOR SHEATHING OVER FLOOR JOISTS AS NOTED ON FLOOR FRAMING PLAN AND STRUCTURAL DRAWINGS. INSULATION : PER TITLE-24 ENERGY DOCUMENTATION.
- LATH AND PLASTER SHALL COMPLY WITH SECTION 2507 OF THE CBC.
- STUCCO : USE 7/8" THK. CEMENT PLASTER WITH 17 GA. LINE WIRE AND 15# FELT BACKING BUILDING PAPER / INSTALL GALVANIZED SHT. MTL. WEEP SCREED.
  - PROVIDE 2-LAYERS OF TYPE "D" PAPER UNDERLAY- MENT WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING.
  - PROVIDE STUCCO OVER 3/4" SHT. MTL. RIB-LATH MESH AT ALL LEAVES AND HORIZONTAL EXTERIOR SOFFITS.
- THIN-SET MASONRY VENEER AS SPECIFIED BY BUILDER (CULTURED STONE OR EQUAL) OVER 1" EXTRUDED POLYSTYRENE SHEATHING OVER 2 LAYERS GRADE "D" KRAFT PAPER OVER WALL FRAMING AS NOTED ON STRUCTURAL DRAWINGS. (MANUFACTURER'S INSTALLATION INSTRUCTIONS SUPERSEDE ABOVE) REPORT NO. NSR-308
- BLOWN OR POUDED TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5 : 12 PROVIDE BATT INSULATION AT SLOPES 2.5 : 12 AND GREATER. ROOF COVERINGS MUST CONFORM TO THE STANDARDS OF THE 2019 CBC & 2019 IRC. METHODS OF FLASHING AND COUNTER-FLASHING OF CHIMNEYS, PARAPETS AND ROOF TO WALL CONNECTIONS SHALL BE IN COMPLIANCE WITH CBC 1503 ALL WEEP SCREEDS SHALL BE INSTALLED A MIN OF 4" ABOVE THE EARTH AND TWO 2" INCHES ABOVE PAVED AREAS AND TO REQUIREMENTS \*ATTIC VENTS PER LOCAL CODE ; SEE ROOF ATTIC VENT CALCULATIONS FOR MINIMUM VENT AREA REQUIREMENTS. ALL EXTERIOR WINDOWS SHALL MEET THE REQUIREMENTS OF THE CRC R327.8.2.1 (20 MIN. FIRE RESISTANCE RATING)



WEEP SCREED DTL. N.T.S.

NOTE : THIS WEEP SCREED WILL BE A MINIMUM 0.019 INCH NO 26 GALVANIZED SHEET GAGE, CORROSION-RESISTANT WEEP SCREED (OR PLASTIC WEEP SCREED) WITH A VERTICAL FLANGE OF 3 3/8" MINIMUM AT TO BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS TO ACCORDANCE TO ASTM C928. THE WEEP SCREED WILL BE NO LESS THAN 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND WILL ALLOW TRAPPED WATER TO DRAIN TO THE BUILDING EXTERIOR. THE WEATHER RESISTANT BARRIER WILL LAP THE FLANGE. THE EXTERIOR LATH WILL COVER AND TERMINATE ON THE ATTACHMENT FLANGE.



WEEP SCREED DTL. AT PATIO COLUMN N.T.S.

CRC R317.1 WOOD SUPPORTED BY EXTERIOR FOUNDATION WALLS. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

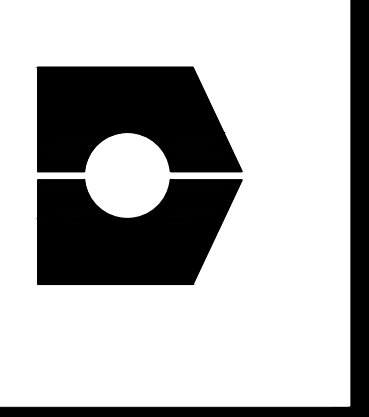
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FRONT ELEVATION

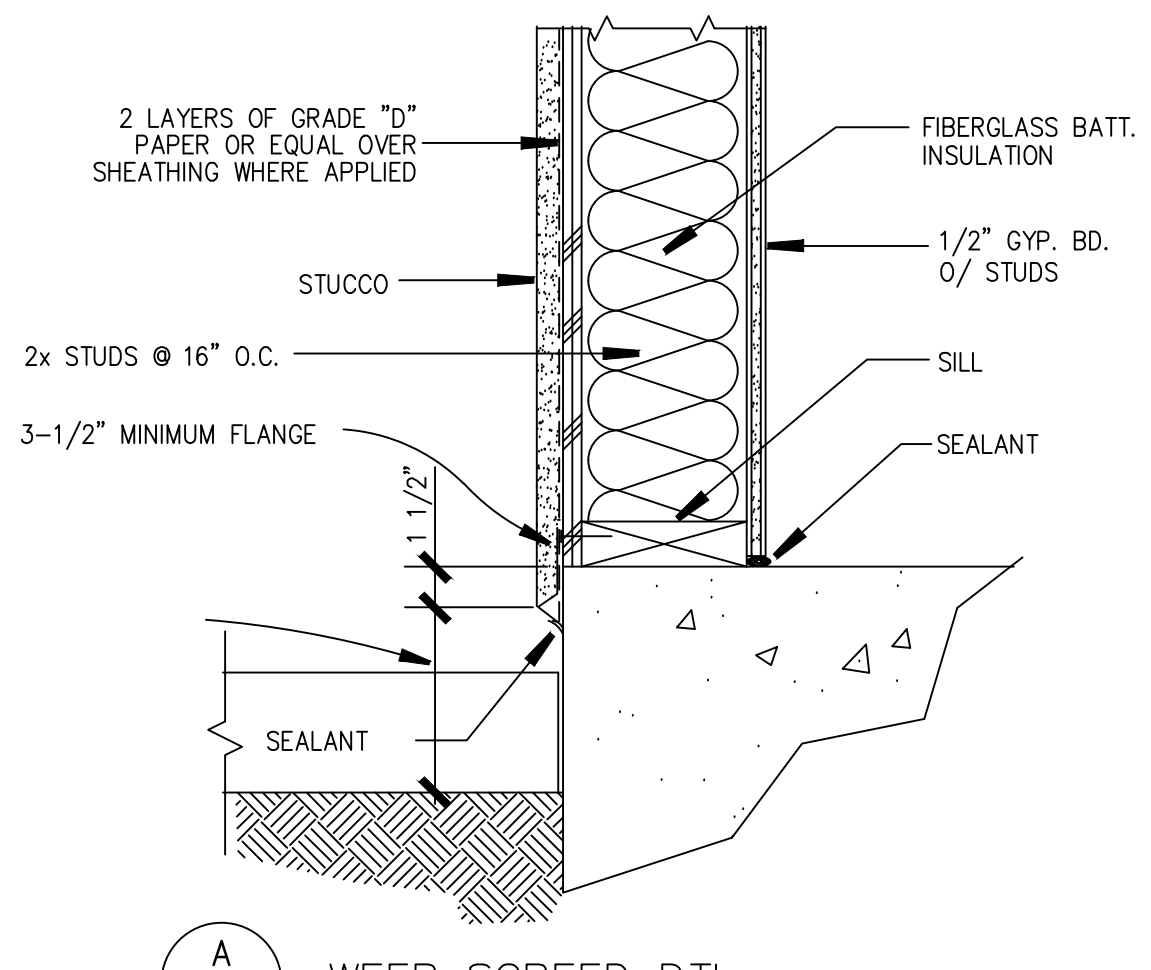


REAR ELEVATION



ELEVATION NOTES :

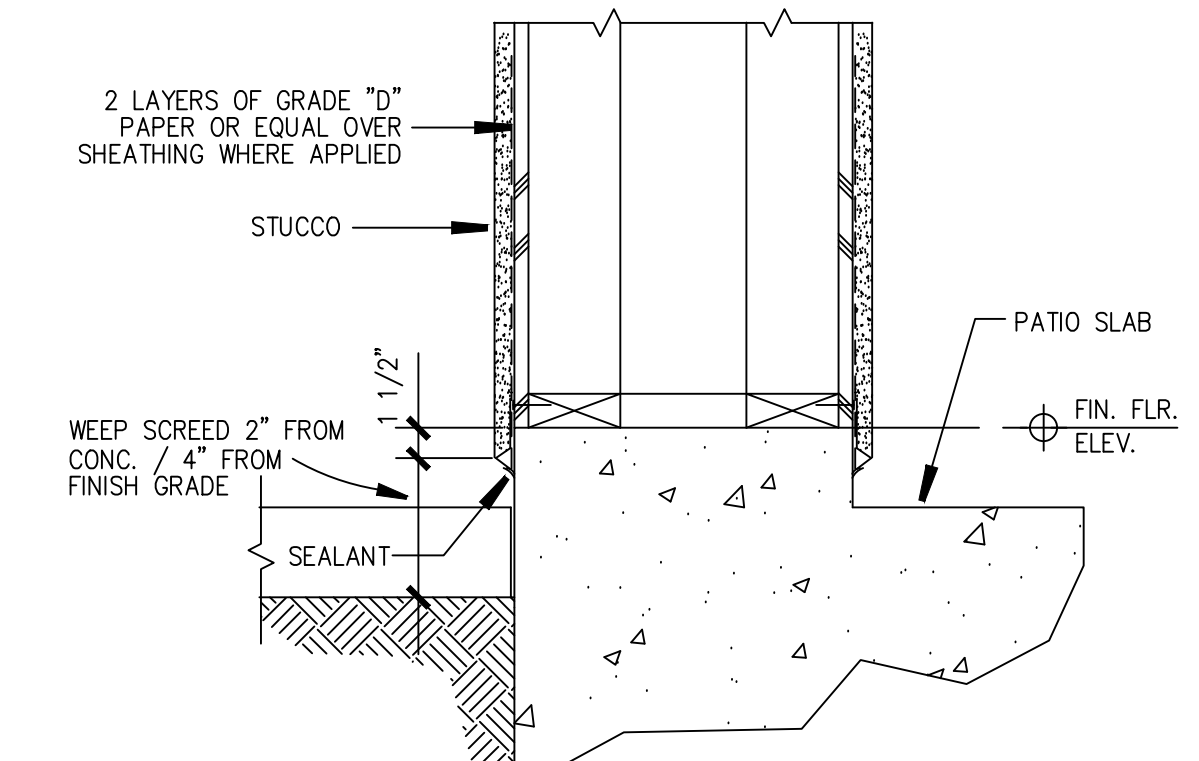
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WEEP SCREED DTL.

NOTE : N.T.S.

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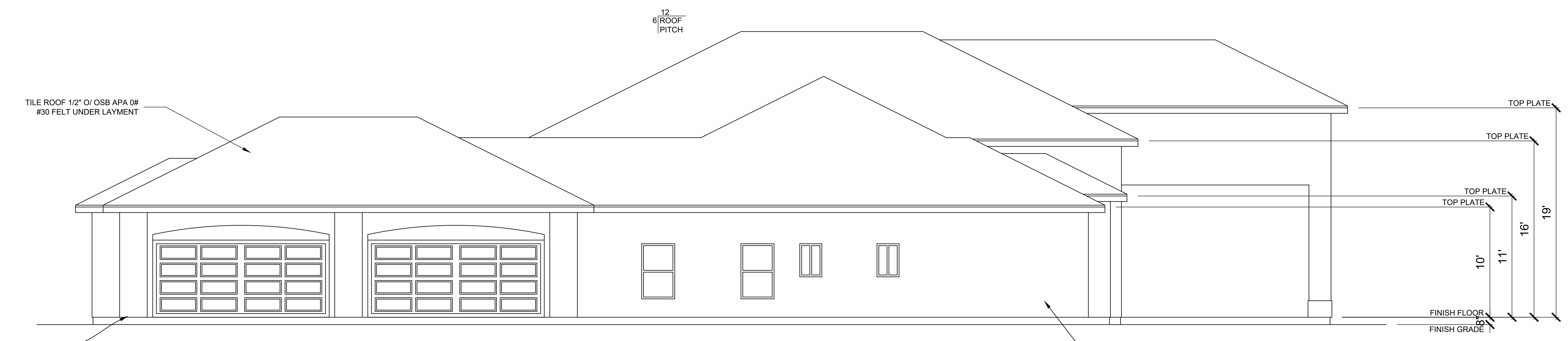


WEEP SCREED DTL. AT PATIO COLUMN

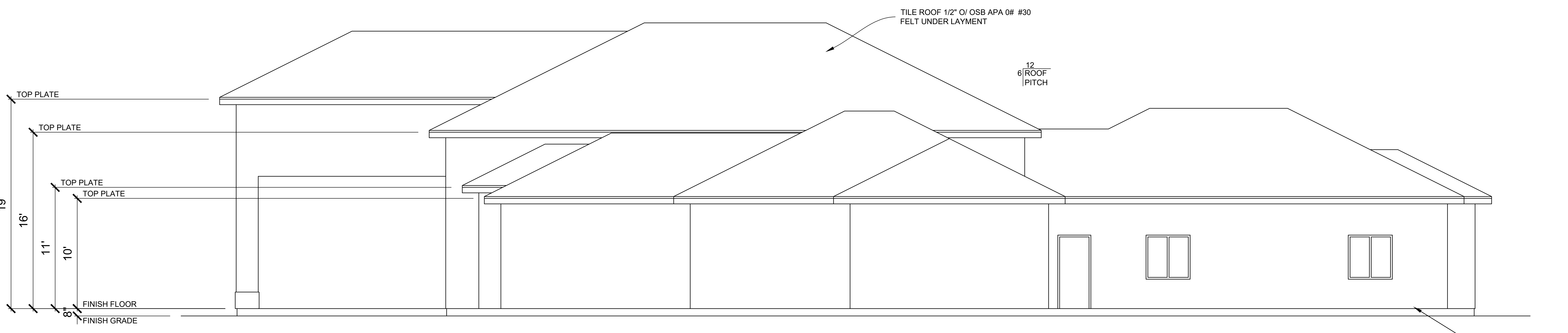
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LEFT ELEVATION



RIGHT ELEVATION



KEY NOTES :

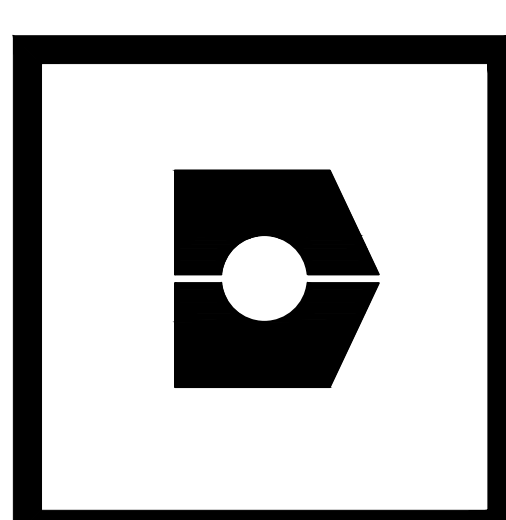
1. INSTALL 5/8" THK. TYPE 'X' GYPSUM BOARD AT GARAGE WALLS AND CEILINGS INCLUDING ANY POSTS AND EXPOSED BEAMS .
2. INSTALL 1-3/4" THK. SOLID CORE WOOD DOOR WITH SELF CLOSER & SELF-LATCHING AND WEATHER-STRIPPING .
3. MAXIMUM ELEVATION CHANGE AT THRESHOLD TO BE 1-1/2" MAXIMUM .
4. BATHTUB (60"x32") AND SHOWER WITH CERAMIC TILE ON (3) THREE WALLS UP TO 70" HIGH MINIMUM / PROVIDE BRASS FERRULE FITTING .
5. MAXIMUM WINDOW SILL HEIGHT NOT TO EXCEED 44" ABOVE FINISH FLOOR / EMERGENCY EGRESS .
6. GAS FRED TANKLESS WATER HEATER (RINNAI)
7. WATER CLOSET W/ MIN. 32 INCHES IN WIDTH & 24 INCHES CLEAR IN FRONT / 1.2 GALLON MAX. CAPACITY AND SHALL BE LOW-FLOW WATER TYPE .
8. LAVATORY OVER TILED COUNTER
9. CLOTHES WASHER SPACE & DRYER SPACE. DRYER VENT DUCT SHALL BE 6" DIAMETER (OR EQUAL CROSS SECTION) SMOOTH SHIT METAL EXTENDING TO EXTERIOR W/ BACK-DRAFT DAMPER PER U.B.C. AND U.M.C.
10. LINE OF SOFFIT ABOVE OR CHANGE IN CELL'G HEIGHT / SEE PLAN FOR HEIGHT.
11. TYPICAL ARCHED SOFFIT
12. PLASTIC LAMINATE COUNTER TOP AND SPLASH W/ CABINETS BELOW. / VERIFY DOOR DESIGN W/MANUF.
13. UPPER CABINET / WALL MOUNTED. / VERIFY DOOR DESIGN WITH MANUFACTURER
14. GRANITE COUNTER TOP AND SPLASH WITH CABINETS BELOW. / VERIFY DOOR DESIGN W/MANUF.
15. TWO COMPARTMENT KITCHEN SINK WITH DISPOSAL VERIFY WITH OWNER
16. BUILT-IN DISHWASHER / INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS .
17. TILE COUNTER AND SPLASH WITH FULL MIRROR .
18. OVAL TUB (60"x42") SET ON RAISED CERAMIC TILE PLATFORM / PROVIDE BRASS FERRULE FITTING OR 12"x12" PANEL .
19. SHOWER WITH FULL HEIGHT CERAMIC TILE FINISH OVER WATER RESISTANT FIBER REINFORCED OR CONCRETE. PROVIDE BRASS FERRULE FITTING OR 12"x12" PANEL. PROVIDE TEMP. CL. DOOR.
20. CURTAIN AND ROD AT TUB / SHOWER.
21. ZERO CLEARANCE FIREPLACE WITH TEMPERED GLASS DOORS / SEE FLOOR PLAN FOR MODEL NO. AND I.G.B.O. REPORT NUMBER / INSTALL WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS.
22. 16" WIDE CERAMIC TILE HEARTH (12" HIGH) AT GAS FIREPLACE .
23. REFRIGERATOR SPACE / PROVIDE WATER FOR ICE MAKER (COORDINATE WITH PLUMBING) .
24. 4 BURNER GAS RANGE WITH 30" WIDE HOOD W/ TWO SPEED FAN AND LIGHT ABOVE. / PROVIDE 6" HORIZ. CLEARANCE FROM BURNERS AND 30" VERTICAL CLEARANCE TO COMBUSTIBLE MATERIAL. INSTALL PER MANUFACTURER'S SPECS.
25. BUILT-IN MICROWAVE SPACE. PROVIDE BREAD BOARD AT SEPARATION AND VERIFY DIMENSIONS AND INSTALLATION REQUIREMENTS WITH MANUFACTURER .
26. FIVE (5) 12" DEEP FIXED SHELVES .
27. ONE (1) ROD, ONE (1) SHELF IN CLOSET .
28. 22"x30" ATTIC OPENING W/ INSULATION AND GASKET
29. 16" WIDE x 42" HIGH RAISED COUNTER TOP
30. SAFETY REQUIREMENTS :  
 PROVIDE A PEEP HOLE OR VISION PANEL AT DOOR  
 PROVIDE A STEEL PLATE AT THE DEAD BOLT STRIKER, SOLD SHM 6" ABOVE ABOVE AND BELOW WITH 2-#8 x 2" LG. SCREWS  
 WINDOWS SHALL MEET THE MIN. STANDARDS AS ESTABLISHED BY THE U.B.C. STANDARDS .  
 PROVIDE DEAD BOLTS AT ALL EXTERIOR DOORS .  
 OPTIONAL STONE VENEER . VERIFY W/ OWNER .
32. A/C UNIT LOCATION OVI/ CONC. PAD . VERIFY LOCATION W/ MECHANICAL CONTRACTOR
33. 36" x 48" CONCRETE LANDING W/ 1/2" - 1-1/2" MAX. STEP DOWN AT ENTRY, NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
34. FUR OUT WALL AS NEEDED SO THAT THE GYP. BOARD IS FLUSHED.

DATE : NOVEMBER 30 2022

JOB : VALDEZ RESIDENCE

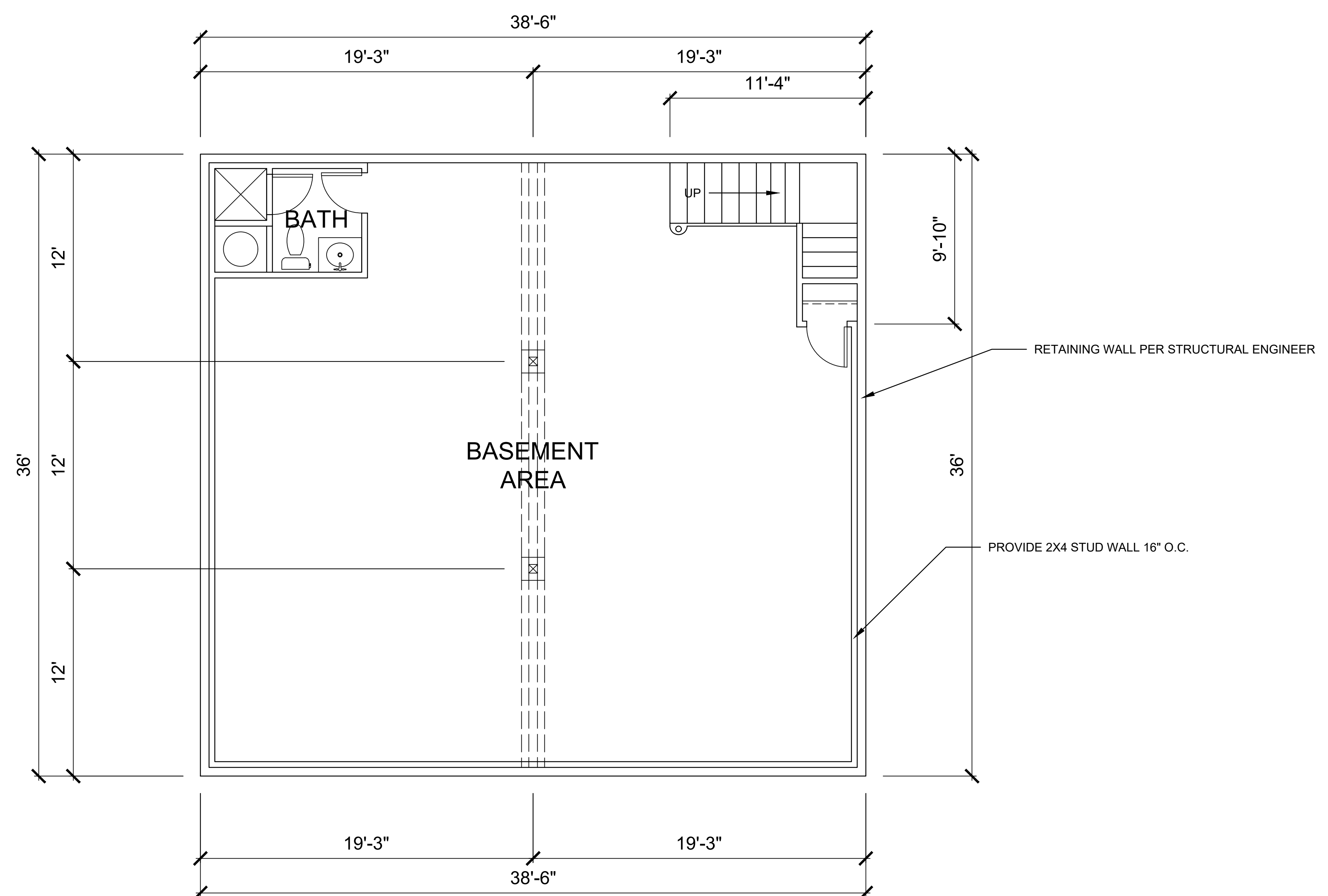
DRAWN BY : JESSE VARGAS

VARGAS DESIGN  
 445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931



SHEET NO. 5

CONTENTS : BASEMENT FLOOR PLAN



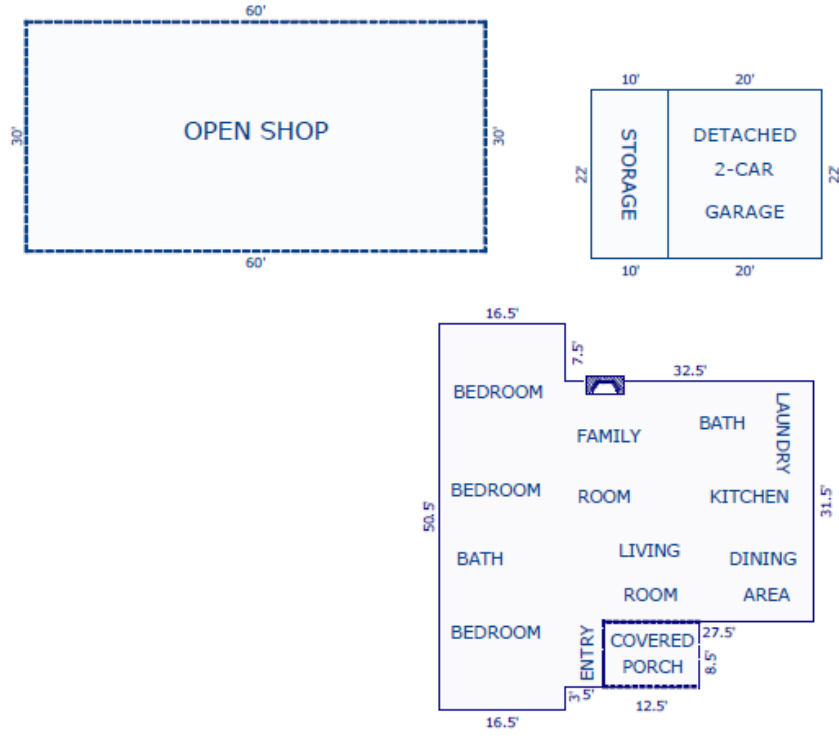
GENERAL NOTES :

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CONDITIONS BEFORE STARTING ANY WORK. DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL ELSE. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
2. DRAWING ORGANIZATION : THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG SUBCONTRACTORS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DIVIDE THE WORK.
3. ROOMS W/ FIXED GLASS SHALL HAVE A MIN. OF 2 AIR CHANGES PER HOUR WITH 1/5 FROM OUTSIDE AIR. BATHROOMS AND LAUNDRY ROOMS SHALL HAVE A MIN. OF 5 AIR CHANGES PER HOUR.
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11. ALL TUB AND SHOWER VALVES ARE TO BE SINGLE CONTROL PRESSURE BALANCING OR THERMOSTATIC ANTI-SCALD TYPE.
12. PROVIDE A NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE ON ALL HOSE BIBBS. (CPC 603.4.7)
13. WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING :  
 A. AUTOMATIC WASHING MACHINE (HOT AND COLD WATER).  
 B. ICEMAKER.  
 C. DISHWASHER.
14. AT THE TIME OF FILL, EACH FIXTURE SHALL HAVE A REMOVABLE TAG APPLIED STATING :  
 "THIS NEW PLUMBING SYSTEM WAS FIRST FILLED AND FLUSHED ON (DATE) BY (NAME). THE STATE OF CALIFORNIA REQUIRES THAT THE SYSTEM BE FLUSHED AFTER STANDING AT LEAST ONE WEEK AFTER THE FILL DATE SPECIFIED ABOVE. IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE, THE WATER MUST BE ALLOWED TO RUN FOR AT LEAST TWO MINUTES PRIOR TO USE FOR HUMAN CONSUMPTION. THIS TAG MAY NOT BE REMOVED PRIOR TO THE COMPLETION OF THE REQUIRED SECOND FLUSHING, EXCEPT BY THE BUILDING OWNER OR OCCUPANT."
15. PIPING PASSING UNDER OR THROUGH WALLS SHALL BE PROTECTED FROM BREAKAGE. NO PLUMBING PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE OR MASONRY, VOIDS AROUND PIPING PASSING THROUGH CONCRETE FLOORS ON THE GROUND SHALL BE SEALED.
16. COOK TOP CLEARANCES ARE REQUIRED TO BE 30" VERTICAL AND 6" HORIZONTAL FROM ALL COMBUSTIBLE MATERIALS AND SHALL BE INSTALLED PER THE MANUFACTURER. -CMC SECTION 916.
17. FLEX-DUCT SHALL NOT BE PERMITTED FOR HOOD EXHAUST SYSTEMS .
18. ALL WINDOWS, DOORS AND SLD'G GLASS DOORS SHALL BE DUAL-GLAZED PANE UNLESS NOTED OTHERWISE ON THESE PLANS .
19. TEMPERED GLASS IS REQUIRED IN DOOR PANELS, IN GLAZING THAT COMES WITHIN A 24" ARC OF A DOOR, WHEN BOTTOM EXPOSED EDGE IS WITHIN 60" OF A WALKING SURFACE, IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS.
20. DRYER VENT SHALL NOT EXCEED A COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14' FEET INCLUDING (2) TWO 90 DEGREE ELBOWS. SEE MECHANICAL PLAN FOR ADDITIONAL NOTES AND SPECIFICATIONS .
21. INSULATE ALL EXTERIOR WALLS WITH R-19 MIN. BATT INSULATION , AND CEILINGS WITH R-38 MIN. INSULATION, UNLESS NOTED OTHERWISE ON THESE PLANS AND DRAWINGS .
22. BLOWN INSULATION : BLOWN OR POUR TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE SLOPE DOES NOT EXCEED 2.5 : 12 FITCH .
23. WHEN EAVE VENTS ARE INSTALLED BAFFLES SHALL BE IN PLACE AT THE TIME OF FRAMING INSPECTION
24. AFTER THE INSTALLATION OF WALL, CEILING OR FLOOR INSULATION , THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING, A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE 24 REQUIREMENTS.
25. ATTIC ACCESS : (SIZE NOTED ON DRAWINGS). THE ATTIC SHALL BE WEATHERSTRIPPED, AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE PANEL IN THE ATTIC SIDE OF CEILING & GASKETED TO PREVENT AIR LEAKAGE.
26. PROVIDE FIRE-BLOCKING AT THE 10' FT. HEIGHT INTERVALS AND AT ALL OF THE FLOOR AND CLG. LEVELS.
27. FINGER JOINTED STUDS ARE NOT ALLOWED IN STRUCTURAL WALLS (BEARING OR SHEAR WALLS) WITHOUT ENGINEERING ANALYSIS OR ESR APPROVAL TO SUBSTANTIATE EQUIVALENCY .
28. MANUFACTURER'S CERTIFICATION OF GLU-LAM BEAMS MUST BE PROPERLY IDENTIFIED FOR THE LOCATION AND SPECIFIC JOB, AND BE PROVIDED BEFORE THE FRAMING INSPECTION.
29. PROVIDE R-12 OR GREATER TANK INSULATION WHERE ENERGY FACTOR IS LESS THAN 0.58. PIPE INSULATION TO BE R-12 OR GREATER AS REQUIRED BY SECTION 150 ( ) ( ) (2)
30. FLASH AND COUNTERFLASH AT ROOF TO VERTICAL WALL JUNCTION.
31. A VAPOR BARRIER IS REQUIRED PER THE TITLE 24 ENERGY ANALYSIS. SEE ROOF FRAMING PLAN FOR NOTES.
32. EGRESS DOOR TO BE NOT LESS THAN 78" FROM TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.

ADDITIONAL NOTES :

1. THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE. (CALIFORNIA ENERGY CODE 150.0)
2. ISOLATION VALVES AND HOSE BIBBS REQUIRED FOR TANK-LESS WATER HEATER. SECTION 1110.3(C) 7
3. INSTANTANEOUS WATER HEATERS WITH AN INPUT RATING OF 6.8BTDU/HR. (2 HW) OR GREATER NEED AN ISOLATION VALVE ON COLD WATER SUPPLY AND HOT WATER LEAVING WATERHEATER.
4. EACH VALVE NEEDS A HOSE BIBB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.
5. GALVANIZED MALLEABLE IRON, GALVANIZED WROUGHT IRON, OR GALVANIZED STEEL ARE PROHIBITED MATERIALS FOR WATER SUPPLY AND BUILDING WATER PIPING BOTH UNDERGROUND AND IN BUILDINGS
6. ALL PLUMBING CONVEYING OR DISPENSING WATER FOR HUMAN CONSUMPTION SHALL COMPLY WITH AB 1953 FOR LEAD CONTENT.
7. COMBUSTION APPLIANCES SHALL BE PROPERLY VENTED AND AIR SYSTEMS SHALL BE DESIGNED TO PREVENT BACK DRAFTING.
8. AIR INLETS THAT ARE PART OF THE VENTILATION DESIGN SHALL BE LOCATED A MINIMUM OF 10 FEET FROM KNOWN SOURCES OF CONTAMINATION SUCH AS STACK, VENT, EXHAUST HOOD OR VEHICLE EXHAUST

NEW BASEMENT: 1386 SQ. FT.  
**BASEMENT FLOOR PLAN**  
 SCALE : 1/4"= 1'-0"  
**JESSE VARGAS**

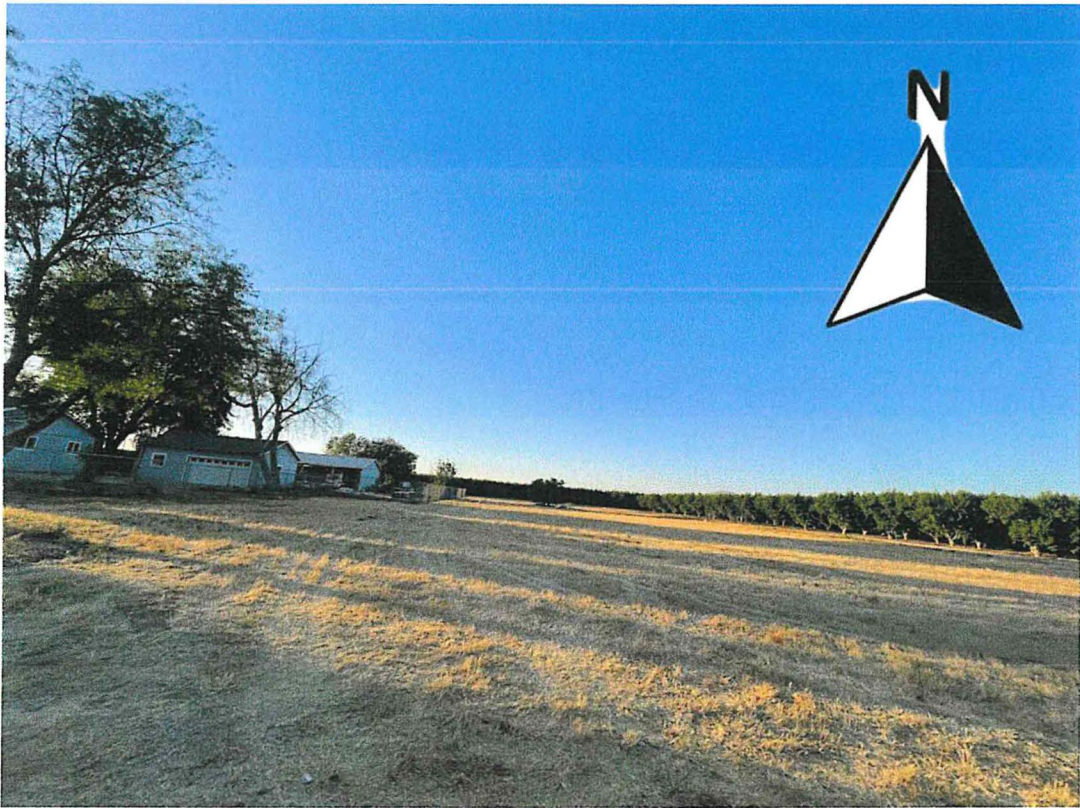


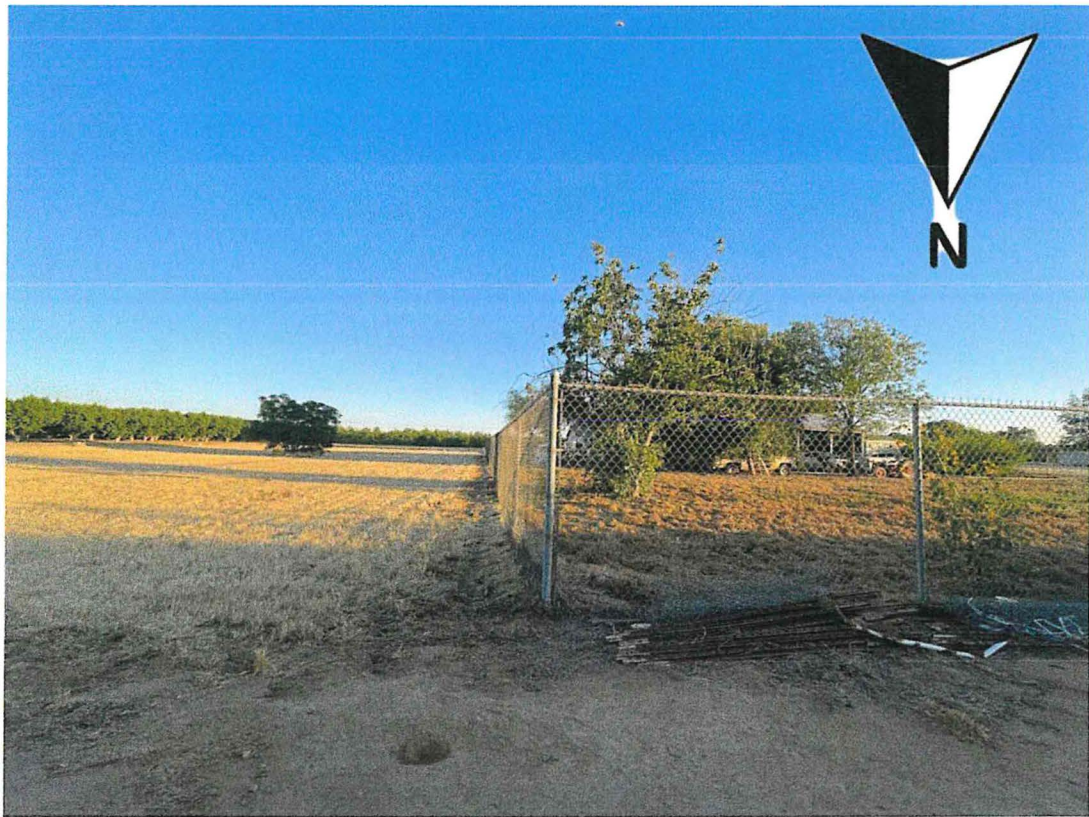
AERIAL MAP

Borrower: YOLANDA/HORACIO VALDEZ  
Property Address: 22616 SPRINGFIELD AVE  
City: DINUBA  
Lender: UNITED FINANCE CORP (UFC)

File No.: GD26780/2011-00380  
Case No.: 2020100110UFC  
State: CA  
Zip: 93618



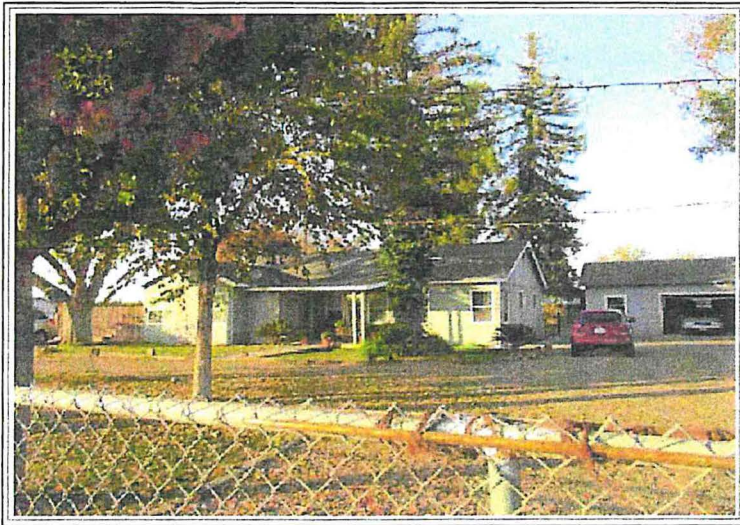






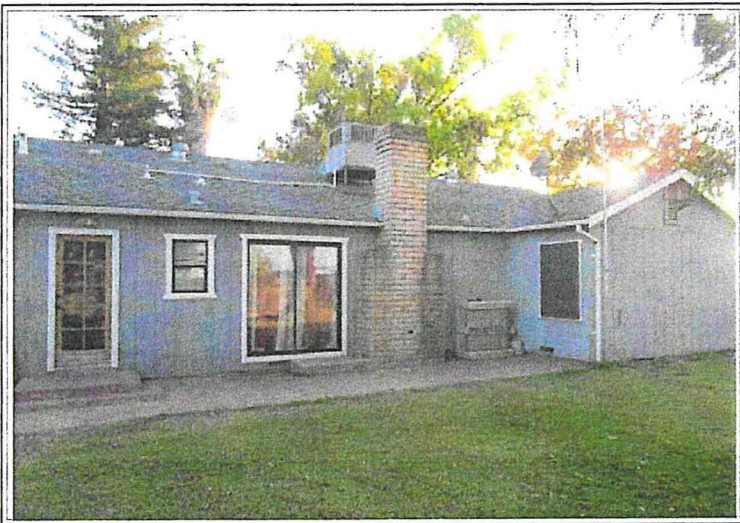
SUBJECT PROPERTY PHOTO ADDENDUM

Borrower: YOLANDA/HORACIO VALDEZ	File No.: GD26780/2011-00380
Property Address: 22616 SPRINGFIELD AVE	Case No.: 2020100110UFC
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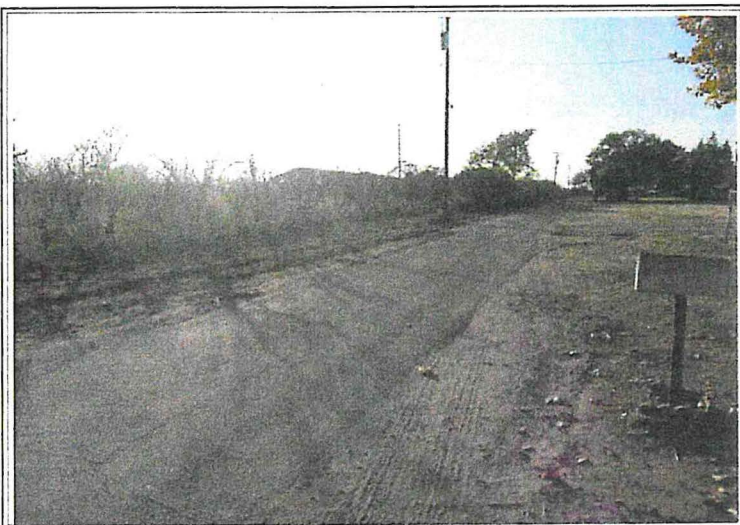


FRONT VIEW OF  
SUBJECT PROPERTY

Appraised Date: December 2, 2020



REAR VIEW OF  
SUBJECT PROPERTY



STREET SCENE