



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: December 31, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director Planning  
Development Services and Capital Projects, Attn: Chris Motta, Division Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga,  
Principal Planner  
Development Services and Capital Projects, Attn: James Anders,  
Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: David Randall,  
Senior Planner  
Development Services and Capital Projects, Policy Planning, Attn:  
Mohammad Khorsand, Senior Planner; Dominique Navarrette, Planner  
Development Services and Capital Projects, Zoning & Permit Review,  
Attn: Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Development Engineering,  
Attn: Laurie Kennedy, Office Assistant III  
Water and Natural Resources Division, Attn: Augustine Ramirez, Division  
Manager; Roy Jimenez  
Water and Natural Resources Division, Transportation Planning, Attn:  
Hector Luna, Senior Planner/Brody Hines, Planner  
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,  
Supervising Engineer  
Department of Public Health, Environmental Health Division, Attn: Deep  
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,  
Environmental Health Specialist  
Fresno County Fire District, Attn: [fkp.prevention-planning@fire.ca.gov](mailto:fkp.prevention-planning@fire.ca.gov)  
Consolidated Irrigation District, Attn: Phil Desatoff, General Manager  
[pdesatoff@cidwater.com](mailto:pdesatoff@cidwater.com)

FROM: Alexander Pretzer, Planner  
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4789

APPLICANT: Lucio Godinez

DUE DATE: **January 15, 2025**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a second residence on a 5.37-acre parcel located within the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Second

residence not to exceed 2,000 square feet of living area. Owner of record to occupy one of the homes on-site.

The subject parcel is located on the west side of south Willow Ave, approximately 1,300 feet south from the intersection with east Mountain View Ave., approximately 5.3-miles west from the City of Selma. (APN: 385-083-37s) (ADDRESS: 13251 S. Willow Ave.) (Sup. Dist. 4).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **January 15, 2025**. Any comments received after this date may not be used.

**If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Alexander Pretzer, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4205, or email [apretzer@fresnocountyca.gov](mailto:apretzer@fresnocountyca.gov).

AP

G:\4360Devs&Pln\PROJSEC\PROJDOCS\DRA\4700-4799\4789 (Valmonte)\Routing\DRA 4789 Routing Ltr.doc

*Activity Code (Internal Review): 2392*

Enclosures



# Fresno County Department of Public Works and Planning

## MAILING ADDRESS:

Department of Public Works and Planning  
Development Services and Capital Projects Division  
2220 Tulare St., 6<sup>th</sup> Floor  
Fresno, Ca. 93721

Date Received:

## LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A  
Street Level  
Fresno Phone: (559) 600-4497

(Application No.)

## APPLICATION FOR:

- ☐ Pre-Application (Type) \_\_\_\_\_
- ☐ Amendment Application ☒ Director Review and Approval
- ☐ Amendment to Text ☒ for 2<sup>nd</sup> Residence
- ☐ Conditional Use Permit ☐ Determination of Merger
- ☐ Variance (Class )/Minor Variance ☐ Agreements
- ☐ Site Plan Review/Occupancy Permit ☐ ALCC/RLCC
- ☐ No Shool/Dog Leash Law Boundary ☐ Other \_\_\_\_\_
- ☐ General Plan Amendmen/Specific Plan/SP Amendment)
- ☐ Time Extension for \_\_\_\_\_

## DESCRIPTION OF PROPOSED USE OR REQUEST:

PROPOSED A SECOND  
RESIDENCE TOTAL  
SQUARE FOOT 1440  
TO BE OCCUPIED  
BY THE PROPERTY  
OWNER

CEQA DOCUMENTATION: ☐ Initial Study ☐ PER ☒ N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: WEST side of SO. WILLOW AVENUE  
between E. MOUNTAIN VIEW and E. KAMIA AVENUE  
Street address: 13251 SO. WILLOW AVE, SELMA, CA 93662  
APN: 985-083-375 Parcel size: 5.37 ACS Section(s)-Twp/Rg: S 18 - T 14 S/R 21 E

## ADDITIONAL APN(s):

I, LUCIO GONZALEZ (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

LUCIO GONZALEZ 13251 SO. WILLOW AVE, SELMA CA 559-288-7953  
Owner (Print or Type) Address City Zip Phone

Applicant (Print or Type) Address City Zip Phone  
MARIO VALMONTE 5379 N. AURORA AVE, FRESNO, CA 559-351-4415

Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL: MARIO\_VALMONTE@YAHOO.COM

## OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: under fee code Fee: \$ 1665.61  
Application Type / No.: DRA Fee: \$ 582.96  
Application Type / No.: Violation (35%) Fee: \$  
Application Type / No.: Fee: \$  
PER/Initial Study No.: Fee: \$ 25.00  
Ag Department Review: Fee: \$ 432.00  
Health Department Review: Fee: \$  
Received By: AP Invoice No.: 32513 TOTAL: \$ 2705.57

## UTILITIES AVAILABLE:

WATER: Yes ☐ / No ☐

Agency: \_\_\_\_\_

SEWER: Yes ☐ / No ☐

Agency: \_\_\_\_\_

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: \_\_\_\_\_ - T \_\_\_\_\_ S/R \_\_\_\_\_ E

Related Application(s): \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Parcel Size: \_\_\_\_\_

over.....





Development Services  
and  
Capital Projects  
Division

## Pre-Application Review

### Department of Public Works and Planning

NUMBER: 23-008704  
APPLICANT: LUCIO GODINEZ  
PHONE: 559-288-7953

PROPERTY LOCATION: 13251 S WILLOW AVE SELMA, CA 93662 Godinez.03@icloud.com  
APN(s): 38508337S ALCC: No ☒ Yes # VIOLATION NO. 23-001792  
CNEL: No ☒ Yes (level) LOW WATER: No ☒ Yes WITHIN 1/2 MILE OF CITY: No ☒ Yes  
ZONE DISTRICT: AE20; SRA: No ☒ Yes HOMESITE DECLARATION REQ'D.: No ☒ Yes  
LOT STATUS:

Zoning: ( ) Conforms; (☒) Legal Non-Conforming lot; ( ) Deed Review Req'd (see Form #236)

Merger: May be subject to merger: No ☒ Yes ZM# Initiated In process

Map Act: (☒) Lot of Rec. Map; ( ) On '72 rolls; ( ) Other; ( ) Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes ☒ DISTRICT: CARUTHERS UNIFIED PERMIT JACKET: No Yes ☒

FMFCD FEE AREA: (☒) Outside ( ) District No.: FLOOD PRONE: No ☒ Yes

PROPOSAL DRA FOR A PERMANENT SECOND RESIDENCE ON AN AE (5.37 AC)

PARCEL IN THE AE20 ZONE DISTRICT. OWNER TO OCCUPY RESIDENCE NOT TO EXCEED 2000 SQ. FT.

(MOBILE HOME IS 1440 SQ. FT.)

#### COMMENTS:

ORD. SECTION(S): 816.2.W BY: ZE XIONG DATE: 06/19/2023

#### GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agriculture ( ) GPA:

COMMUNITY PLAN: ( ) AA:

REGIONAL PLAN: ( ) CUP:

SPECIFIC PLAN: (X) DRA: 1570.00

SPECIAL POLICIES: ( ) VA:

SPHERE OF INFLUENCE: ( ) AT:

ANNEX REFERRAL (LU-G17/MOU): ( ) TT:

#### PROCEDURES AND FEES:

( ) MINOR VA:

(X) HD: \$432

(X) AG COMM: 25

( ) ALCC:

( ) IS/PER\*:

(X) Viol. (35%): 549.50

( ) Other:

Filing Fee: \$ 2,516.00

COMMENTS:

Pre-Application Fee: - \$247.00

Total County Filing Fee: \$ 2,329.50

#### FILING REQUIREMENTS:

(X) Land Use Applications and Fees

(X) This Pre-Application Review form

(X) Copy of Deed / Legal Description

(X) Photographs

(X) Letter Verifying Deed Review

( ) IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required.

(X) Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction

(X) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction

( ) Project Description / Operational Statement (Typed)

( ) Statement of Variance Findings

( ) Statement of Intended Use (ALCC)

( ) Dependency Relationship Statement

( ) Resolution/Letter of Release from City of

( ) Nitrogen Loading Analysis or RWQCB supplemental treatment

#### OTHER FILING FEES:

( ) Archaeological Inventory Fee: \$75 at time of filing

(Separate check to Southern San Joaquin Valley Info. Center)

( ) CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,548)

(Separate check to Fresno County Clerk for pass-thru to CDFW.

Must be paid prior to IS closure and prior to setting hearing date.)

PLU # 113 Fee: \$247.00

Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

BY: Alyce Alvarez DATE: 6/28/23  
PHONE NUMBER: (559) -

#### NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

(X) COVENANT

( ) MAP CERTIFICATE

( ) PARCEL MAP

( ) FINAL MAP

( ) FMFCD FEES

( ) ALUC or ALCC

( ) SITE PLAN REVIEW

( ) BUILDING PLANS

( ) BUILDING PERMITS

( ) WASTE FACILITIES PERMIT

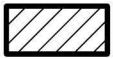
(X) SCHOOL FEES

( ) OTHER (see reverse side)

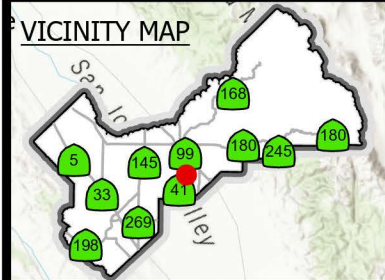
OVER.....



**Legend**



Subject Property



## LOCATION MAP

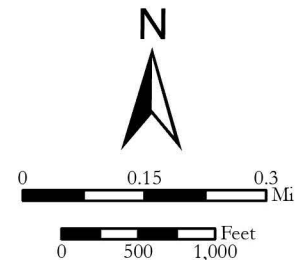
# DRA 4789

# 2024



Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division

Person Prepared by : chuang

On Date : 12/26/2024



## LEGEND:

-  Subject Property
-  Ag Contract Land

### LEGEND

ORC - ORCHARD

SF#- SINGLE FAMILY RESIDENCE

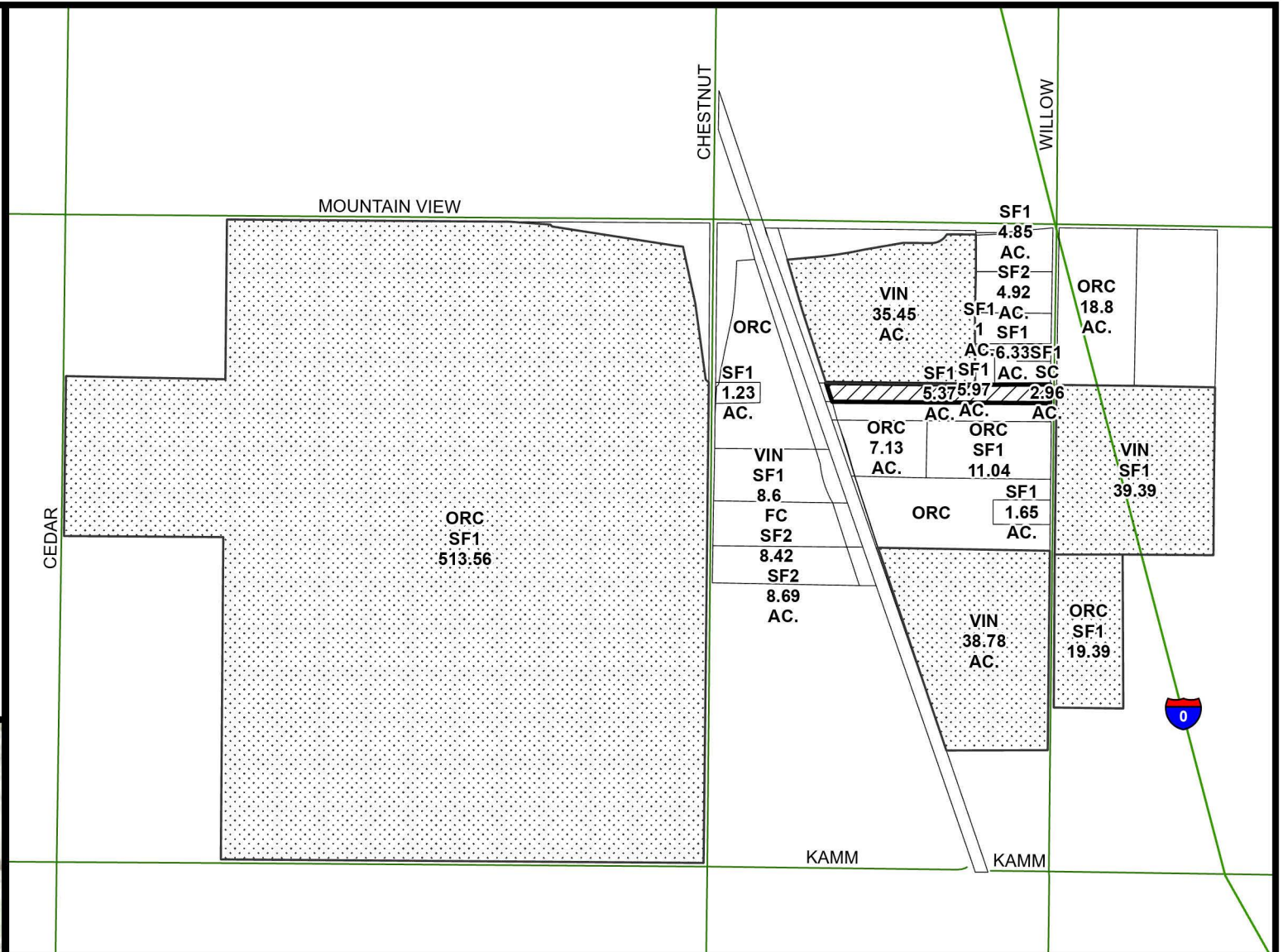
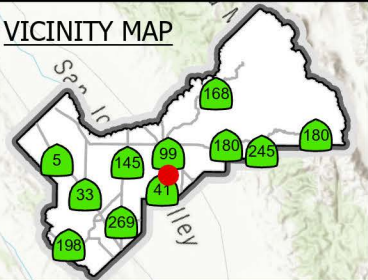
SC - SEASONAL CROP

VIN - VINEYARD

FC - FIELD CROP

V - VACANT

### VICINITY MAP



## Existing Land Use Map

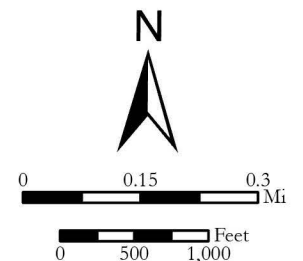
# DRA 4789

# 2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division




Person Prepared by : chuang

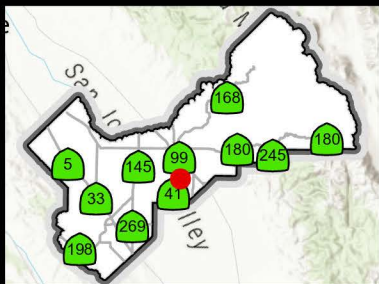
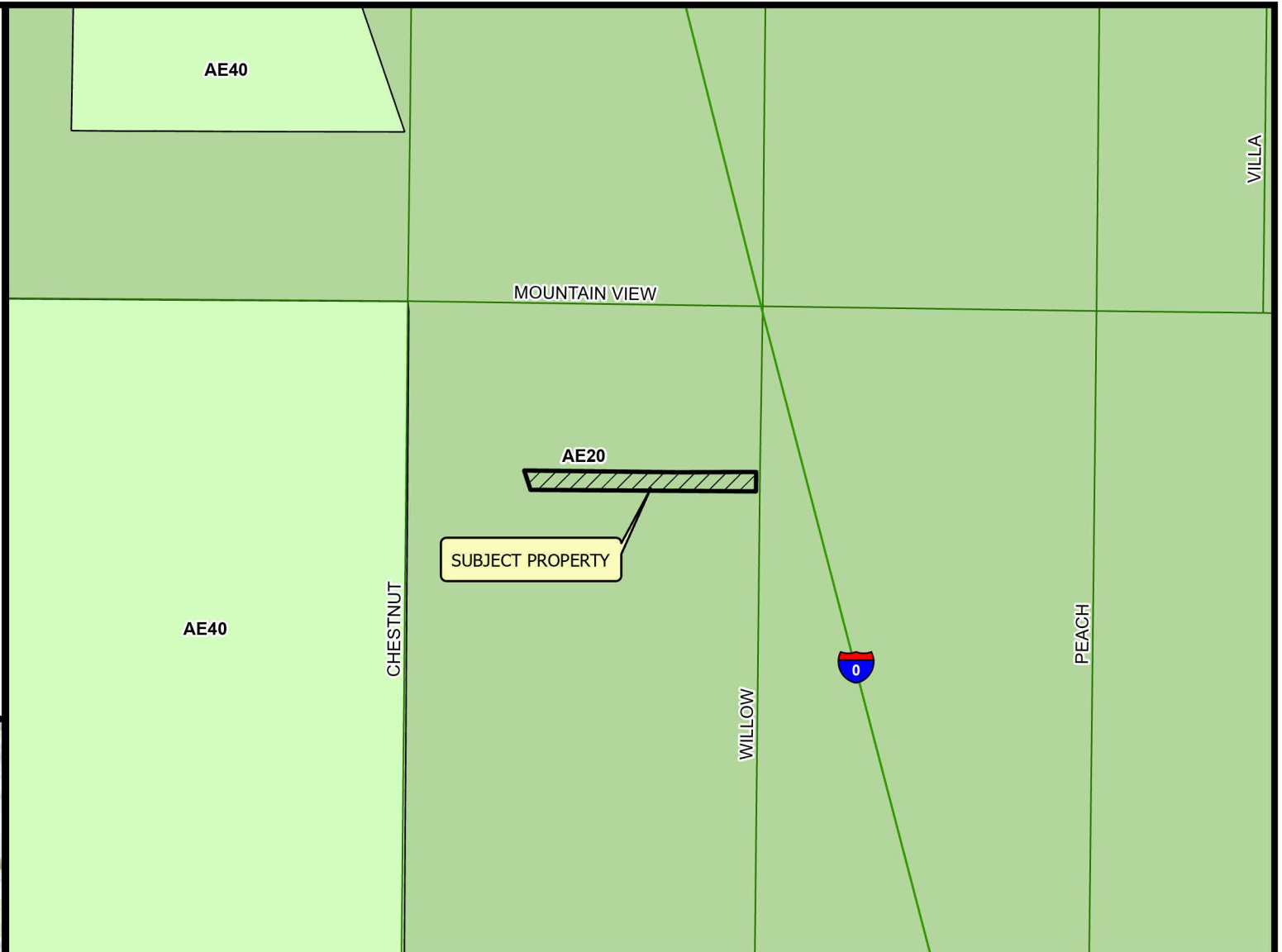
On Date : 12/26/2024





**Legend**

-  Subject Property
-  AE20
-  AE40

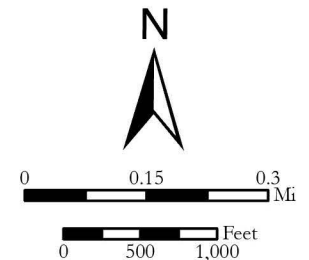


## Existing Zoning Map

DRA 4789  
STR 18 - 16S / 21E

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : chuang  
 On Date : 12/26/2024

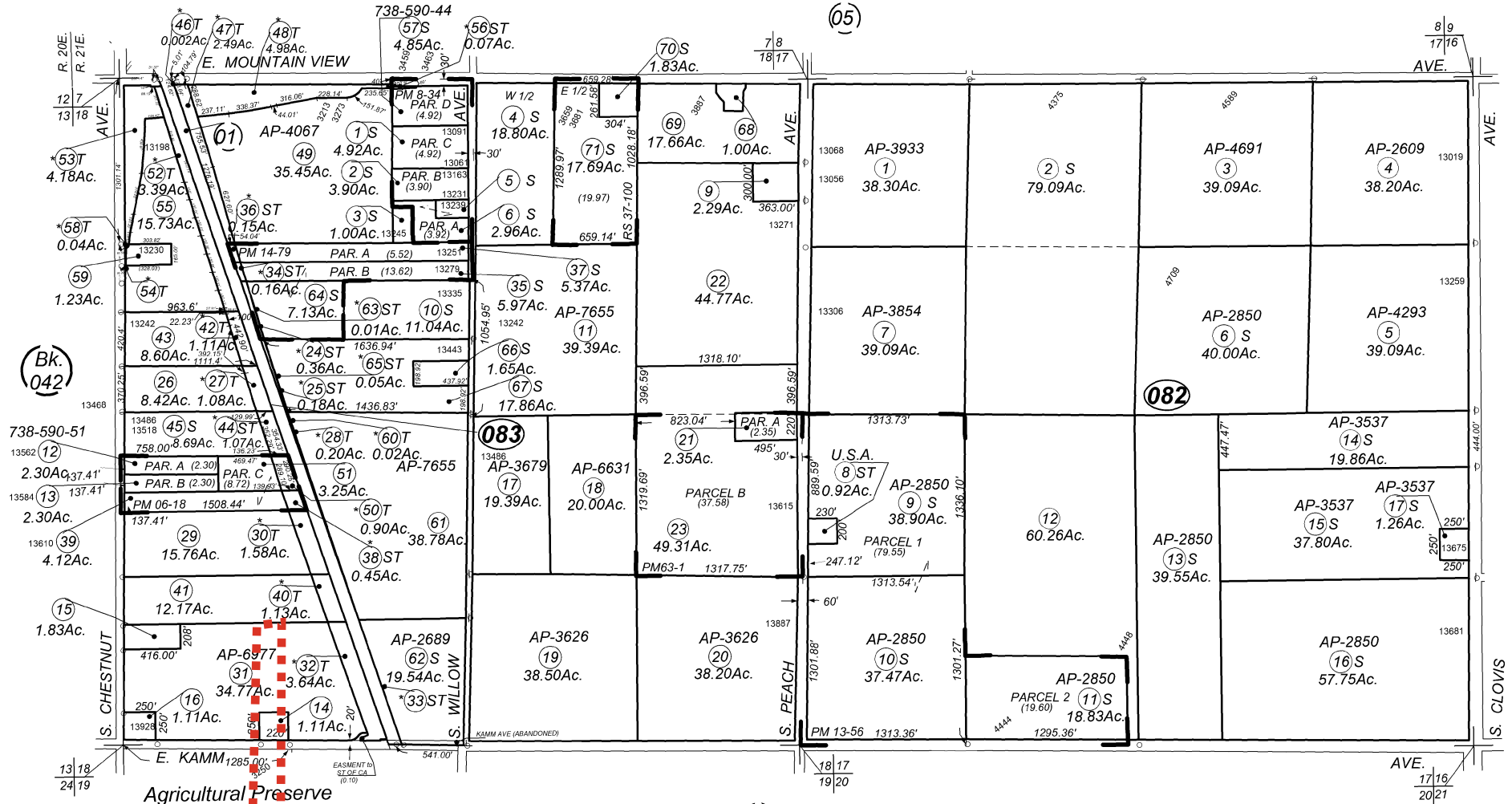


-NOTE-  
This map is for Assessment purposes only.  
It is not to be construed as portraying legal  
ownership or divisions of land for purposes  
of zoning or subdivision law.

SEC'S. 17 & 18, T.16S., R.21E., M.D.B. & M.

Tax Rate Area  
143-000  
180-000

385-08



NOTE - PARCEL NO'S WITH '\*' ARE: ST OF CA - HSR

Assessor's Map Bk.385 - Pg.08  
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses  
Assessor's Parcel Numbers Shown in Circles



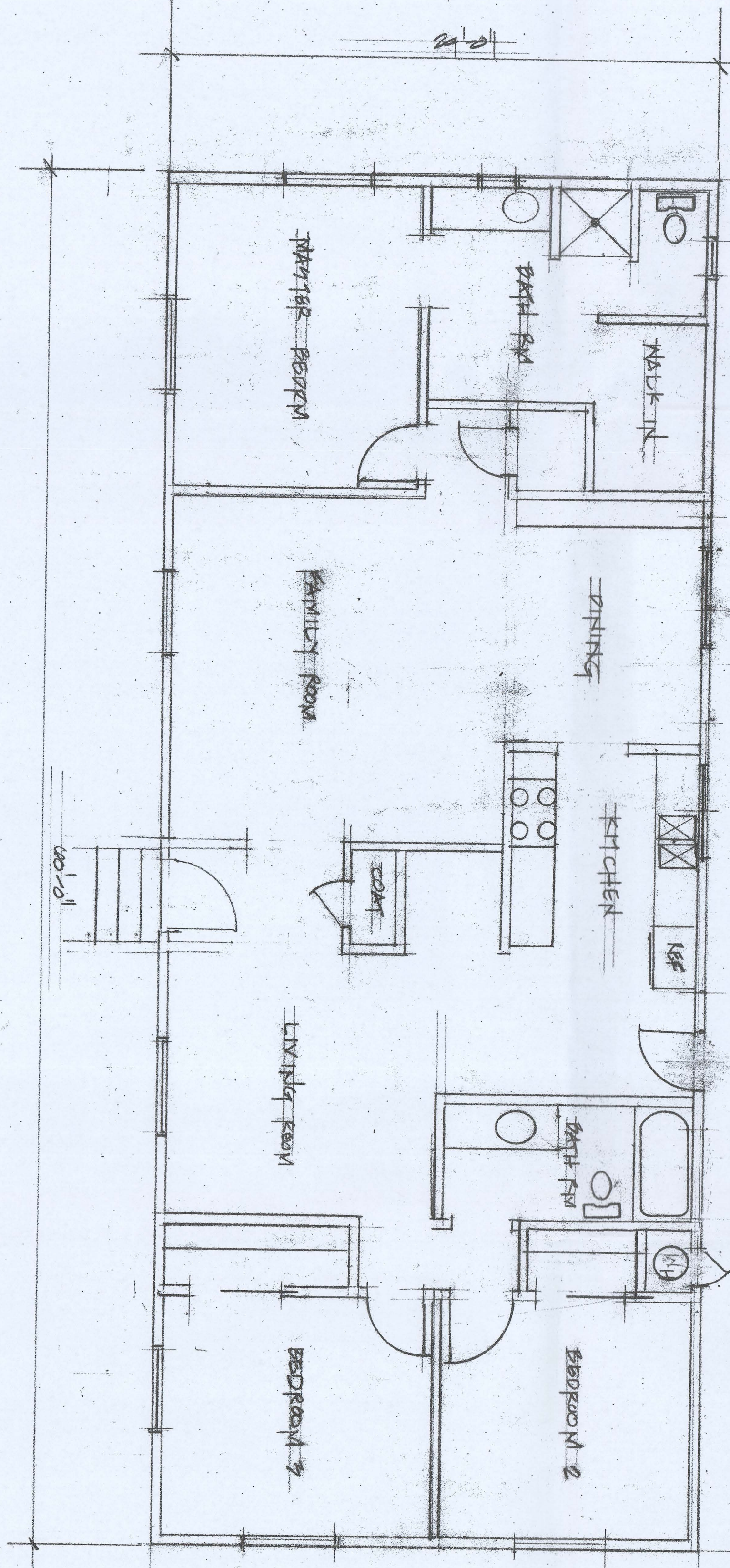




FLOOR PLAN

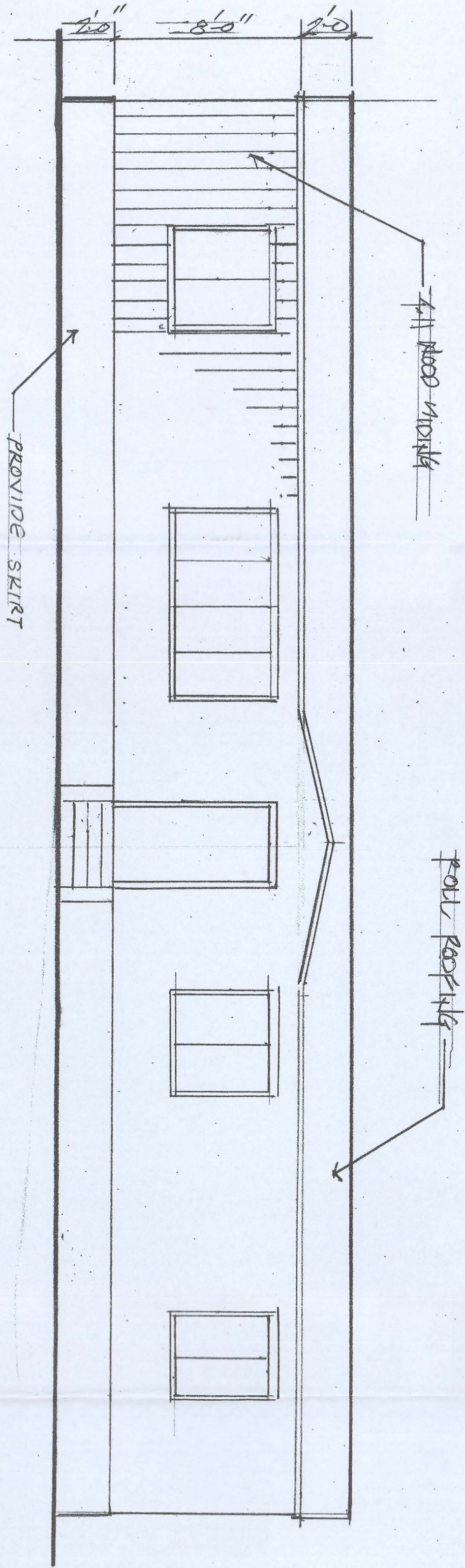
SCALE: 1/4" = 1'-0"

N

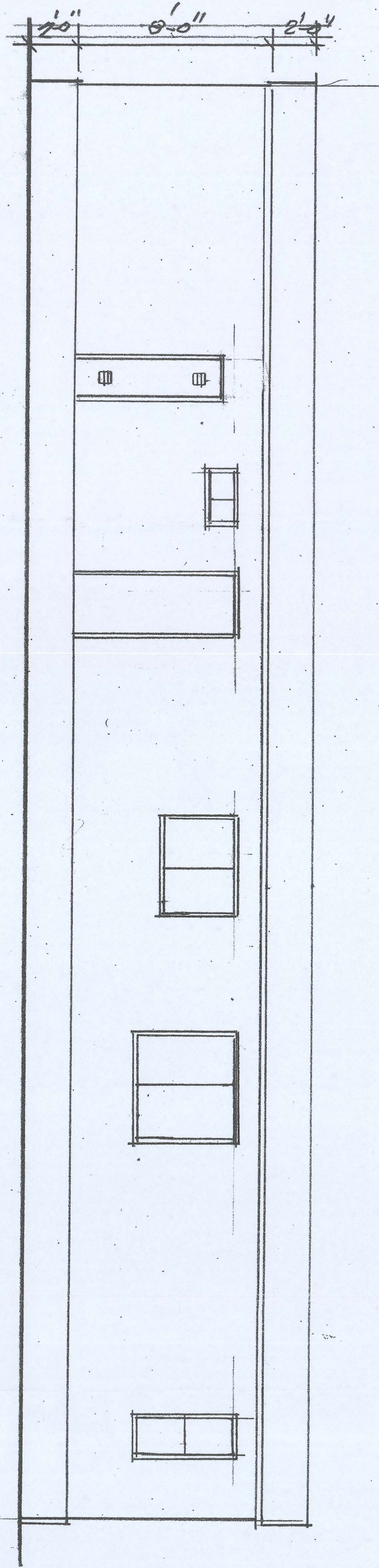




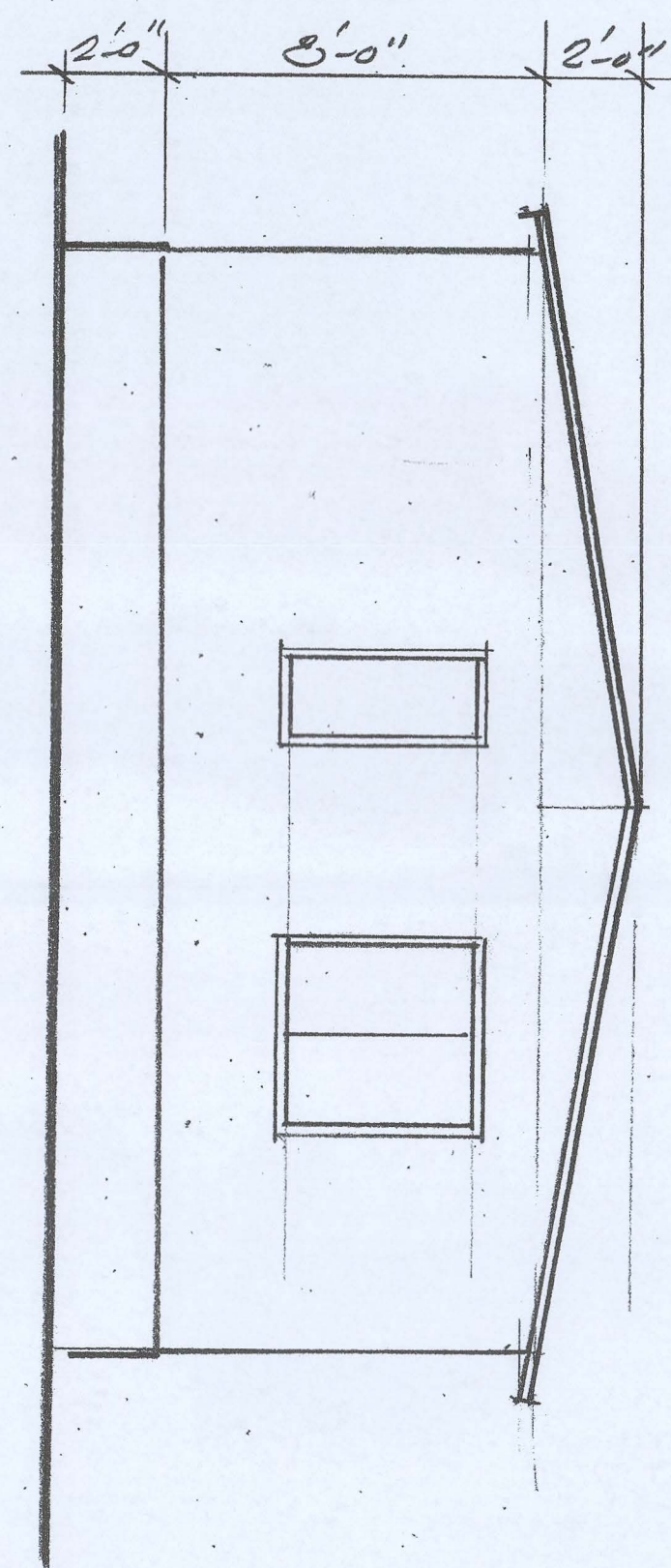
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



NEW ELEVATION  
SCALE: 1/4" = 1'-0"



Sheet Name:

ELEVATIONS

Project Name:

PROPOSED MOBILE HOME  
13201 S. WILLOW AVE. SELMA, CA.

MARIO A. VALMONTE & ASSOCIATES

5379 N. Aurora Ave. • Fresno, CA. 93722

Cell: (559) 351-4415 MARIO VALMONTE, C.Y.A.B.O., C.A.A.B.O.



Owner:

LUIS GONZALEZ  
13201 S. WILLOW AVE.  
SELMA, CA. 93662  
TEL. NO. 559-288-7993

Designer:

Date:

Drawn By:

MARIO

Scale:

11-23-24

Job No.

4510780

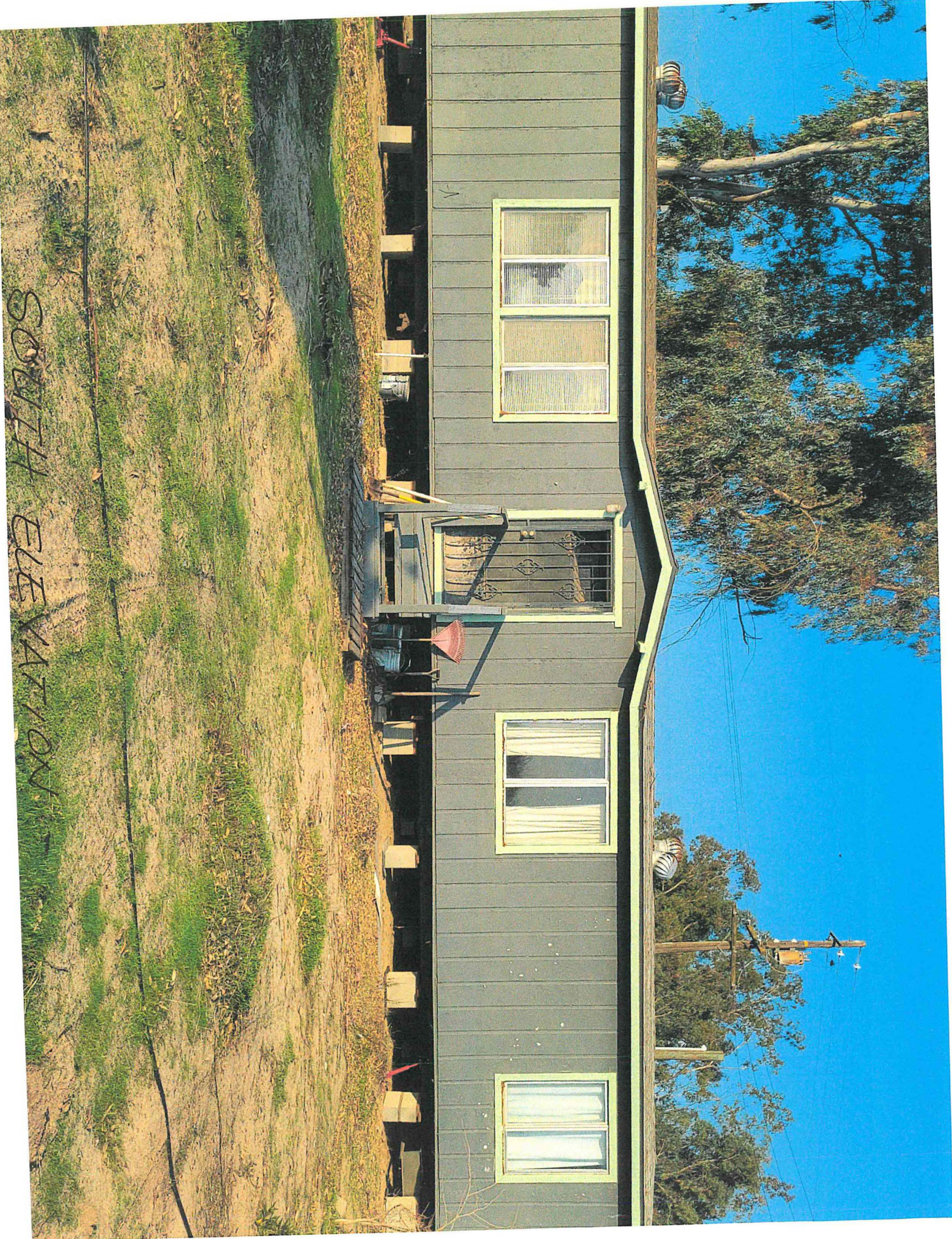
Sheet:

GONZALEZ

2.02

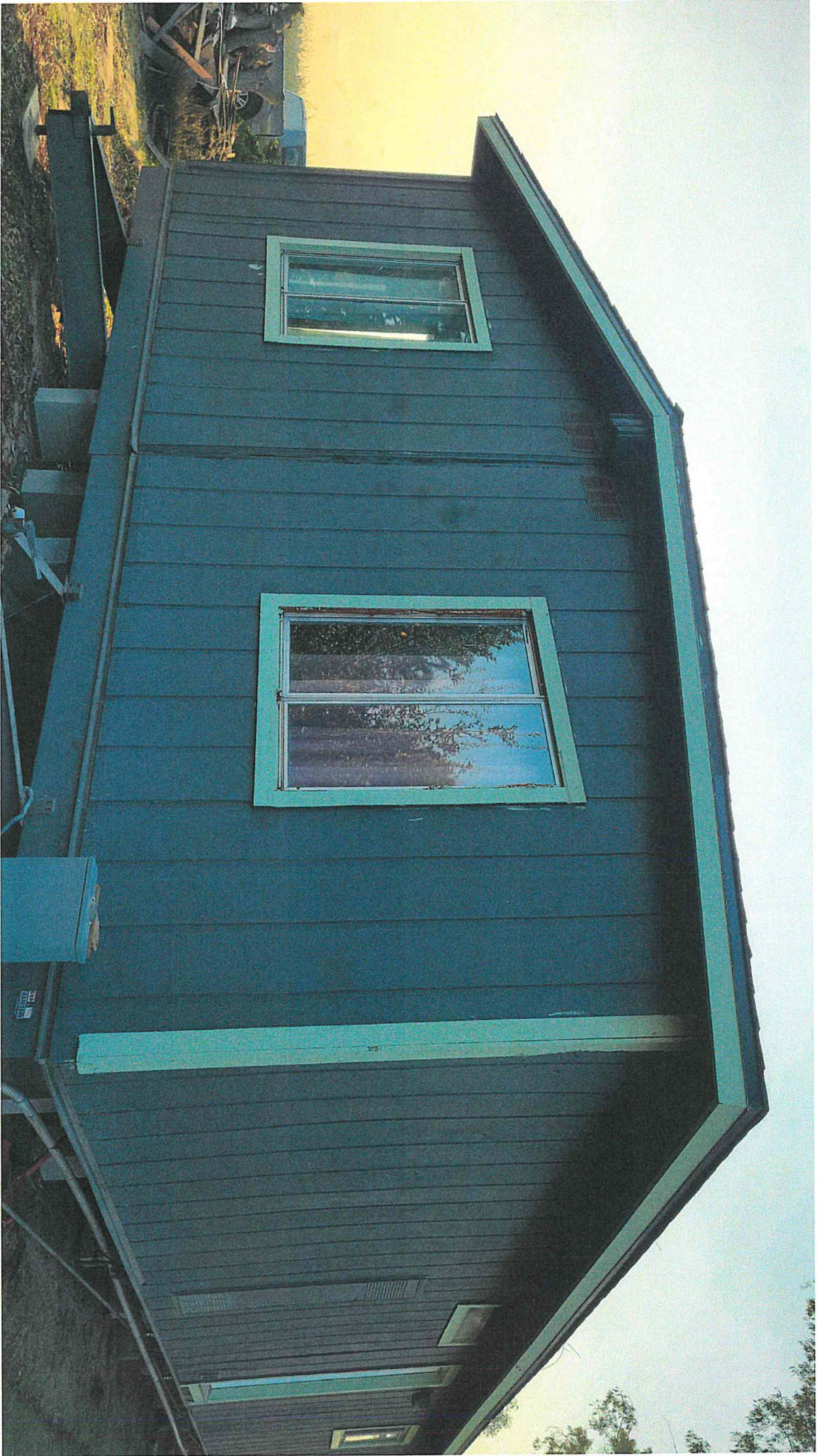


SOUTH ELEVATION





EAST ELEVATION



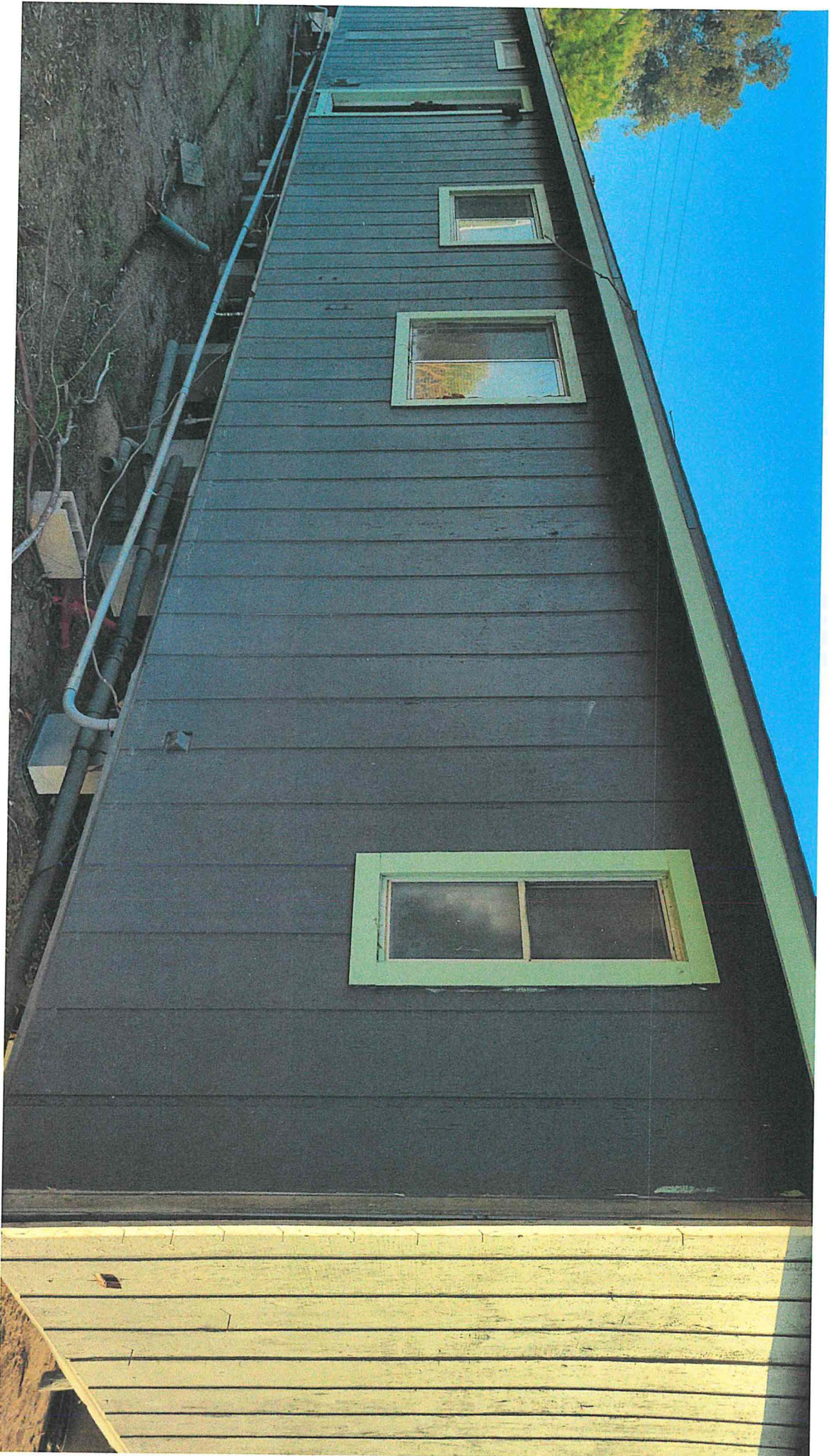




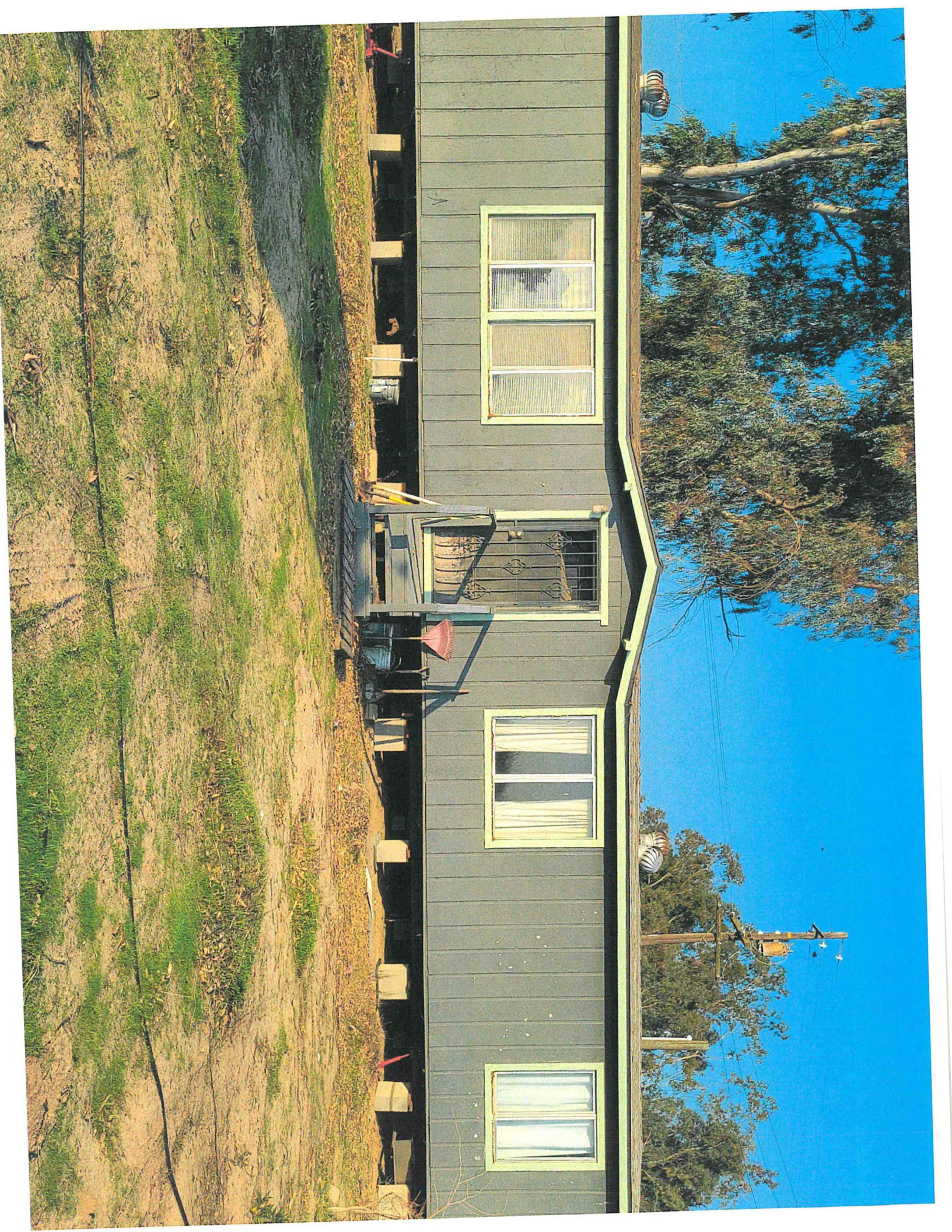
WEST ELEVATION



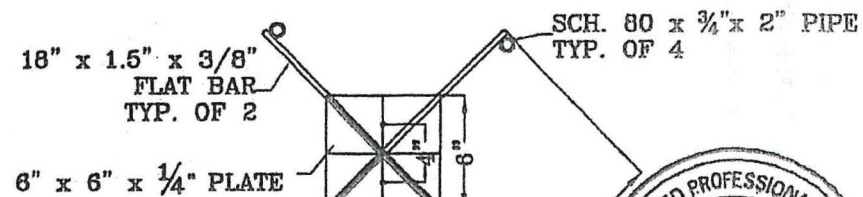
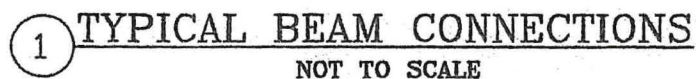
NORTH ELEVATION







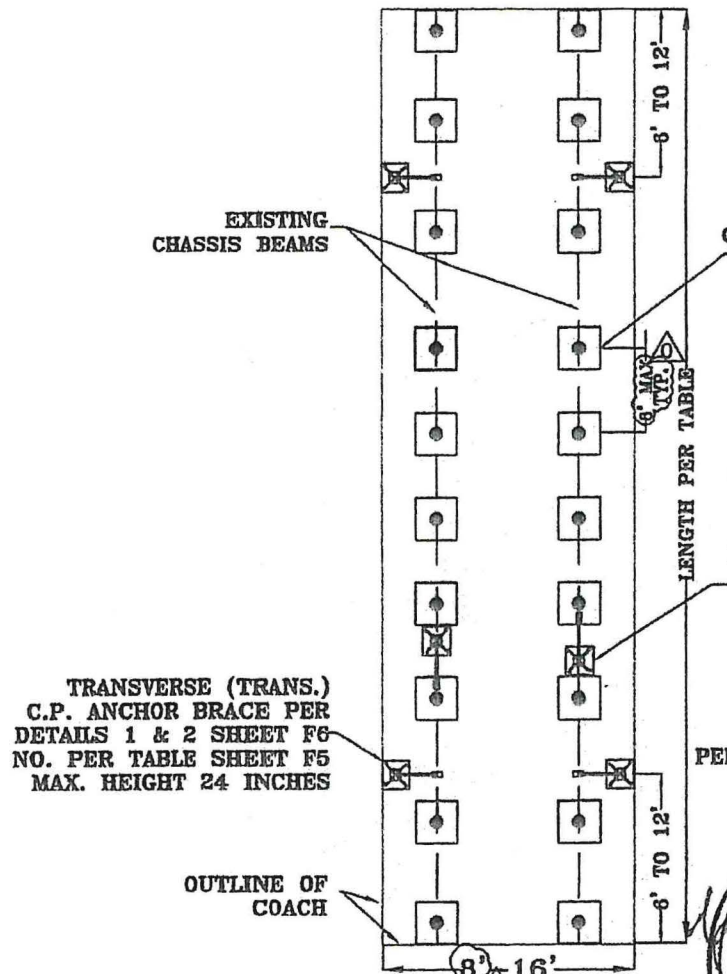




Signed: 9-8-22

2 C.P. ANCHOR BRACE NOT TO SCALE  
LISTING #186.7 BY CTC

RIDGE/MARRIAGE LINE PIERS SHOWN AS  
EXAMPLE ONLY. MUST BE INSTALLED EXACTLY  
AS SPECIFIED BY HOME INSTALLATION  
MANUAL AND/OR SUPPLEMENT



PLAN  
SINGLE WIDE HOMES  
NOT TO SCALE

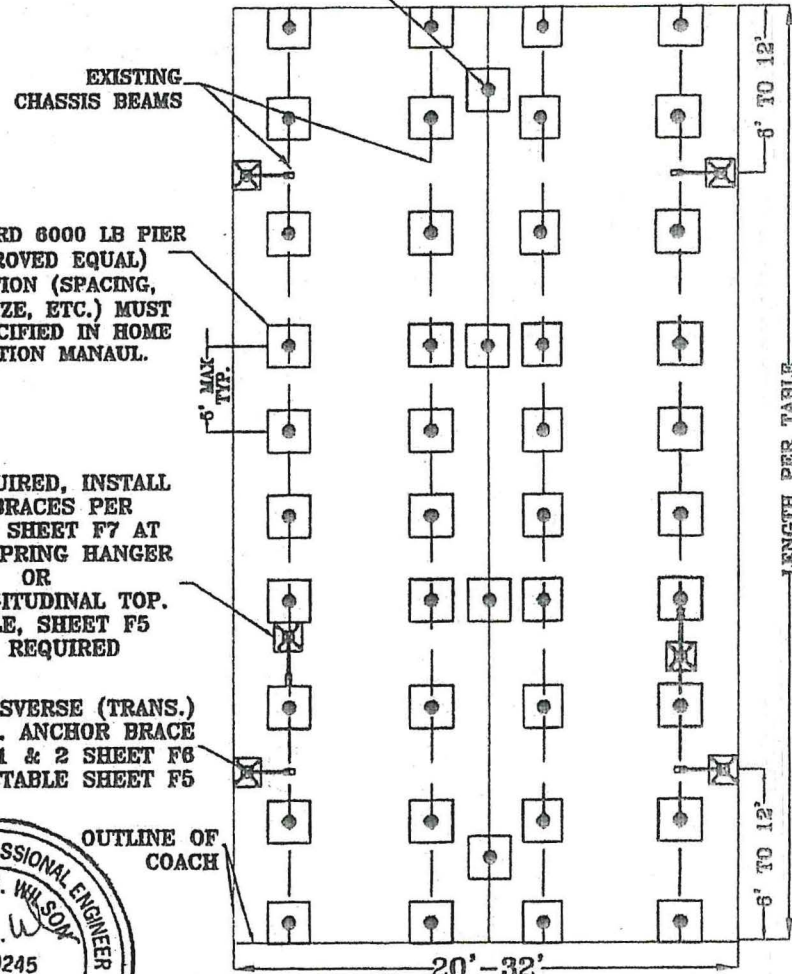
C.P. STANDARD 6000 LB PIER  
(OR APPROVED EQUAL)  
INSTALLATION (SPACING,  
FOOTING SIZE, ETC.) MUST  
BE AS SPECIFIED IN HOME  
INSTALLATION MANUAL.

WHEN REQUIRED, INSTALL  
LONG. BRACES PER  
DETAIL 3, SHEET F7 AT  
EXISTING SPRING HANGER  
OR  
WITH LONGITUDINAL TOP.  
SEE TABLE, SHEET F5  
FOR # REQUIRED

TRANSVERSE (TRANS.)  
C.P. ANCHOR BRACE  
PER DETAILS 1 & 2 SHEET F6  
NO. PER TABLE SHEET F5



Signed: 9-8-22



PLAN  
DOUBLE WIDE HOMES  
NOT TO SCALE

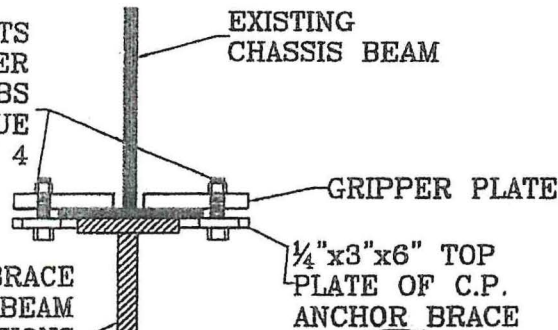
**ROCK SOLID ENGINEERING, INC.**

**ENGINEERED TIEDOWN SYSTEM**  
CENTRAL PIERS - ETS-107G

09/18/20  
SHEET F4  
OF 7



3/8"x 1.5" BOLTS  
NUT & WASHER  
TIGHTEN TO 20 FT-LBS  
MINIMUM TORQUE  
TYP. OF 4

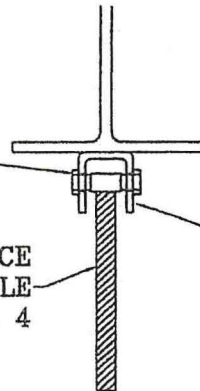


C.P. ANCHOR BRACE  
INSTALL AT CHASSIS BEAM  
IN ALTERNATING DIRECTIONS  
INSTALL AT 35-55° ANGLE  
PER DETAIL 4



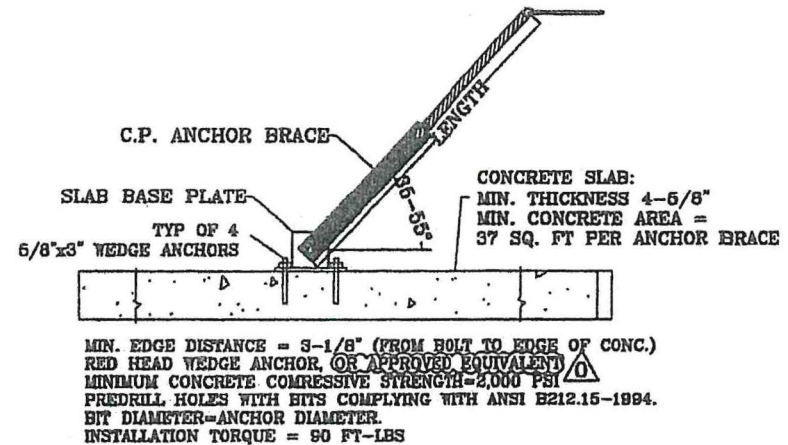
Signed: 9-8-22

1/2" x 2-1/2" BOLT  
WITH WASHER & NUT  
A325

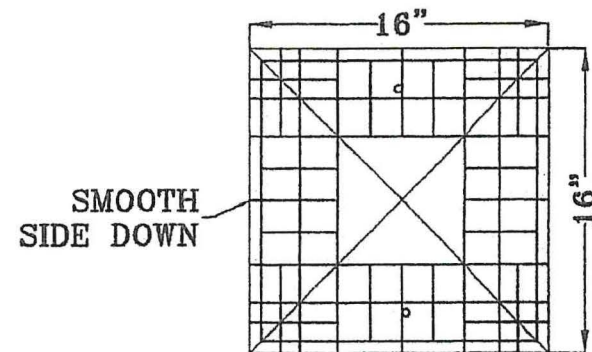


C.P. ANCHOR BRACE  
INSTALL AT 35-55° ANGLE  
PER DETAIL 4

3 BEAM CONNECTION: LONGITUDINAL  
NOT TO SCALE



4 OPTIONAL CONCRETE SLAB  
ATTACHMENT NOT TO SCALE



5 PLASTIC FOUNDATION PAD  
NOT TO SCALE

Rock SOLID ENGINEERING, INC.

ENGINEERED TIEDOWN SYSTEM  
CENTRAL PIERS - ETS-107G

09/18/20  
SHEET F7  
OF 7



## GENERAL NOTES:

REFERENCE: CALIFORNIA CODE OF REGULATIONS, TITLE 25 AND 2019 C.R.C./C.B.C. THESE PLANS MEET THE INTENT OF 2019 C.R.C. 301.1.3.

1. THE DESIGN WIND LOADS LISTED IN THE TABLE ARE PER 2019 CBC. MINIMUM WIND LOAD IS 15 PSF FOR ALL CATEGORIES.
2. THE DESIGN LOADS SHALL BE CONSISTENT WITH THE WIND ZONE AS ESTABLISHED FOR PERMANENT BUILDINGS BY THE LOCAL JURISDICTION. THIS PLAN IS NOT INTENDED FOR USE IN FLOOD ZONES.
3. FOOTINGS ARE TO BE SUPPORTED BY EITHER FIRM, UNSATURATED SOIL, COMPACTED FILL, ASPHALT OR CONCRETE. FOOTINGS ARE DESIGNED FOR 1500 PSF BEARING CAPACITY & SHALL BE COMPATIBLE WITH LOCAL SOIL CONDITIONS. THE C.P. ANCHOR BRACE SHALL NOT BE INSTALLED IN NON-COHESIVE SOIL (CLASS 4: SP, SW, GP, GW). ALL FOOTINGS SHALL BE FOUNDED IN ACCORDANCE WITH H.C.D GUIDELINES AND TITLE 25.
4. STRUCTURAL STEEL:
  - A. SHALL CONFORM TO ASTM A36  $F_y = 36$  KSI MINIMUM.
  - B. SHALL BE FABRICATED ACCORDING TO AISC SPECIFICATIONS.
  - C. SHALL BE WELDED ACCORDING TO AWS SPECIFICATIONS:
    - i. ELECTRODES: E70
    - ii. PLATES: ASTM A36
    - iii. BOLTS: SAE GR5=ASTM A449=ASTM A325
    - iv. THREADED ROD: COLD DRAWN LOW CARBON WELDABLE
  - D. ALL METAL COMPONENTS INCLUDING NAILS & SCREWS ETC. ARE TO BE PROTECTIVE COATED.
5. THE C.P. ANCHOR BRACE SHALL BE LISTED AND LABELED BY CERTIFIED TESTING AND CONSULTING SERVICES (CTC) FOR THE FOLLOWING LOADS:
  - a. LATERAL: 2767 LBS (Working Load)  
4151 LBS (Ultimate Load)
  - b. UPLIFT: 2133 LBS (Working Load)  
3200 LBS (Ultimate Load)
6. ALL STANDARD STEEL SUPPORT PIERS MUST BE POSITIVELY ATTACHED TO THE CHASSIS BEAM AND FOUNDATION PAD PER TITLE 25, SECTION 1334.1. STANDARD PIER SPACING PER MANUFACTURER'S INSTALLATION MANUAL BUT MAY BE NOT MORE THAN 5 FEET O.C.
7. FOR DOUBLE AND TRIPLE WIDE HOMES WHEN MANUFACTURER'S INSTALLATION MANUAL NOT AVAILABLE, STANDARD PIERS TO BE DETERMINED BY TITLE 25, SECTION 1335.5.
7. THIS SYSTEM MAY BE USED WITH MASONRY BLOCK STANDARD SUPPORTS. THE BLOCKS SHOULD BE INSTALLED PER THE HOME INSTALLATION MANUAL. SPACING=5 FT O.C. MAX FOR DOUBLE AND TRIPLE WIDE HOMES.

8. THIS SUPPORT SYSTEM PLAN IS DESIGNED TO BE CONSTRUCTED ON A LEVEL SITE WITH NO EXISTING SOIL PROBLEMS (SECTION 1334, TITLE 25)
9. WHEN OBSTRUCTIONS ARE ENCOUNTERED, THE DIRECTION OF THE ANCHOR BRACE MAY BE REVERSED PROVIDED THAT THE OPPOSITE ANCHOR BRACE IS ALSO REVERSED. THIS CONFIGURATION MAY BE USED WITH PERIMETER CHASSIS BEAMS.

### HOME SIZE NOTES:

1. NUMBER OF C.P. ANCHOR BRACES TO BE DETERMINED BY TABLE, SHEET F5.
2. UNLESS APPROVED BY ROCK SOLID ENGINEERING, INC., THE ROOF PITCH SHOULD NOT EXCEED:  
3:12 FOR SINGLE WIDE HOMES.  
4:12 FOR DOUBLE AND TRIPLE WIDE HOMES.
3. FOR ANY HOME SIZE OTHER THAN LISTED IN THE TABLE, THE ANCHOR AND PAD LAYOUT SHALL BE REVIEWED AND APPROVED BY ROCK SOLID ENGINEERING, INC.

### INSPECTION REQUIREMENTS:

1. THE DESIGN OF THIS SYSTEM IS BASED ON STANDARD MANUFACTURED HOMES AS BUILT BY THE MANUFACTURER. SITE BUILT ADDITIONS SUCH AS GARAGES AND SECONDARY ROOFS HAVE NOT BEEN INCLUDED IN THIS DESIGN.
2. ALL DIMENSIONS INCLUDED ON THIS PLAN, INCLUDING HOME SIZE, ROOF HEIGHT AND PIER HEIGHT, SHOULD BE FIELD VERIFIED BY THE LOCAL BUILDING OFFICIAL. ANY DISCREPANCIES SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION.
3. THE BUILDING PAD SHOULD BE INSPECTED TO ENSURE THAT PAD PREPARATION AND PROPER DRAINAGE PATTERNS HAVE BEEN ESTABLISHED IN ACCORDANCE WITH TITLE 25 & MANUFACTURER.



Signed: 9-8-22

HCD  
Exp 9/24/24

**Rock** SOLID ENGINEERING, INC.

ENGINEERED TIEDOWN SYSTEM  
CENTRAL PIERS - ETS-107G

09/18/20  
SHEET F2  
OF 7