



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: January 09, 2025

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director Planning
Development Services and Capital Projects, Attn: Chris Motta, Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga,
Principal Planner
Development Services and Capital Projects, Attn: James Anders,
Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David Randall,
Senior Planner
Development Services and Capital Projects, Policy Planning, Attn:
Mohammad Khorsand, Senior Planner; Dominique Navarrette, Planner
Development Services and Capital Projects, Zoning & Permit Review,
Attn: Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Development Engineering,
Attn: Laurie Kennedy, Office Assistant III
Water and Natural Resources Division, Attn: Augustine Ramirez, Division
Manager; Roy Jimenez
Water and Natural Resources Division, Transportation Planning, Attn:
Hector Luna, Senior Planner/Brody Hines, Planner
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,
Supervising Engineer
Department of Public Health, Environmental Health Division, Attn: Deep
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
Environmental Health Specialist

FROM: Arianna Brown, Planner
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4791

APPLICANT: Larry Adams

DUE DATE: **January 23, 2025**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow for an additional 692-squarefeet of aggregate area within the setback of a 2-acre parcel located within the R-R (Rural Residential) Zone District. Two structures built within the setback area. One is a Hay Storage 260-squarefeet within the setback area, and the other is a Carport 432-squarefeet within the setback area.

The subject parcel is located on the north side of E. Shields Ave and approximately 434- feet west of Indianola Ave, subject parcel is approximately 2.4-miles east from the City of Clovis. (APN: 309-260-10) (11346 E. Shields Ave.) (Sup. Dist. 5).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **January 23, 2025**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Arianna Brown, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email arbrown@fresnocountyca.gov.

AB

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Activity Code (Internal Review): 2392

Enclosures



Fresno County Department of Public Works and Planning

Date Received:

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- ☐ Pre-Application (Type) Land Use Application
- ☐ Amendment Application ☒ Director Review and Approval
- ☐ Amendment to Text ☐ for 2nd Residence
- ☐ Conditional Use Permit ☐ Determination of Merger
- ☐ Variance (Class)/Minor Variance ☐ Agreements
- ☐ Site Plan Review/Occupancy Permit ☐ ALCC/RLCC
- ☐ No Shoot/Dog Leash Law Boundary ☐ Other _____
- ☐ General Plan Amendment/Specific Plan/SP Amendment)
- ☐ Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

To get approval to leave the two structures in existing space that is 7 feet from the property line not the required 20 feet. The Hay storage is 13 x 20 = 260 sq feet is the setback area The carport is 18 x 24 = 432 sq feet is the setback area.

CEQA DOCUMENTATION: ☐ Initial Study ☐ PER ☐ N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: North side of East Shields Avenue
between North Del Ray Avenue and North Indianola Avenue
Street address: 11346 East Shields Avenue Sanger, California 93657

APN: 309-260-10 Parcel size: 2.0 Acres Section(s)-Twp/Rg: S _____ - T _____ S/R _____ E

ADDITIONAL APN(s): _____

I, Larry Adams (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type)	11346 E Shields Ave	Sanger	93657	559-681-5069
Larry Adams	11346 E Shields Ave	Sanger	93657	559-681-5069
Applicant (Print or Type)	Address	City	Zip	Phone

Representative (Print or Type)	Address	City	Zip	Phone
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CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.:	Fee: \$	
Application Type / No.:	Fee: \$	
Application Type / No.:	Fee: \$	
Application Type / No.:	Fee: \$	
PER/Initial Study No.:	Fee: \$	
Ag Department Review:	Fee: \$	
Health Department Review:	Fee: \$	
Received By: _____	Invoice No.: _____	TOTAL: \$

UTILITIES AVAILABLE:

WATER: Yes ☐ / No ☐

Agency: _____

SEWER: Yes ☐ / No ☐

Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: _____ - T _____ S/R _____ E

Related Application(s): _____

Zone District: _____

Parcel Size: _____

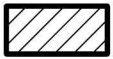
APN # _____ - _____ - _____

APN # _____ - _____ - _____

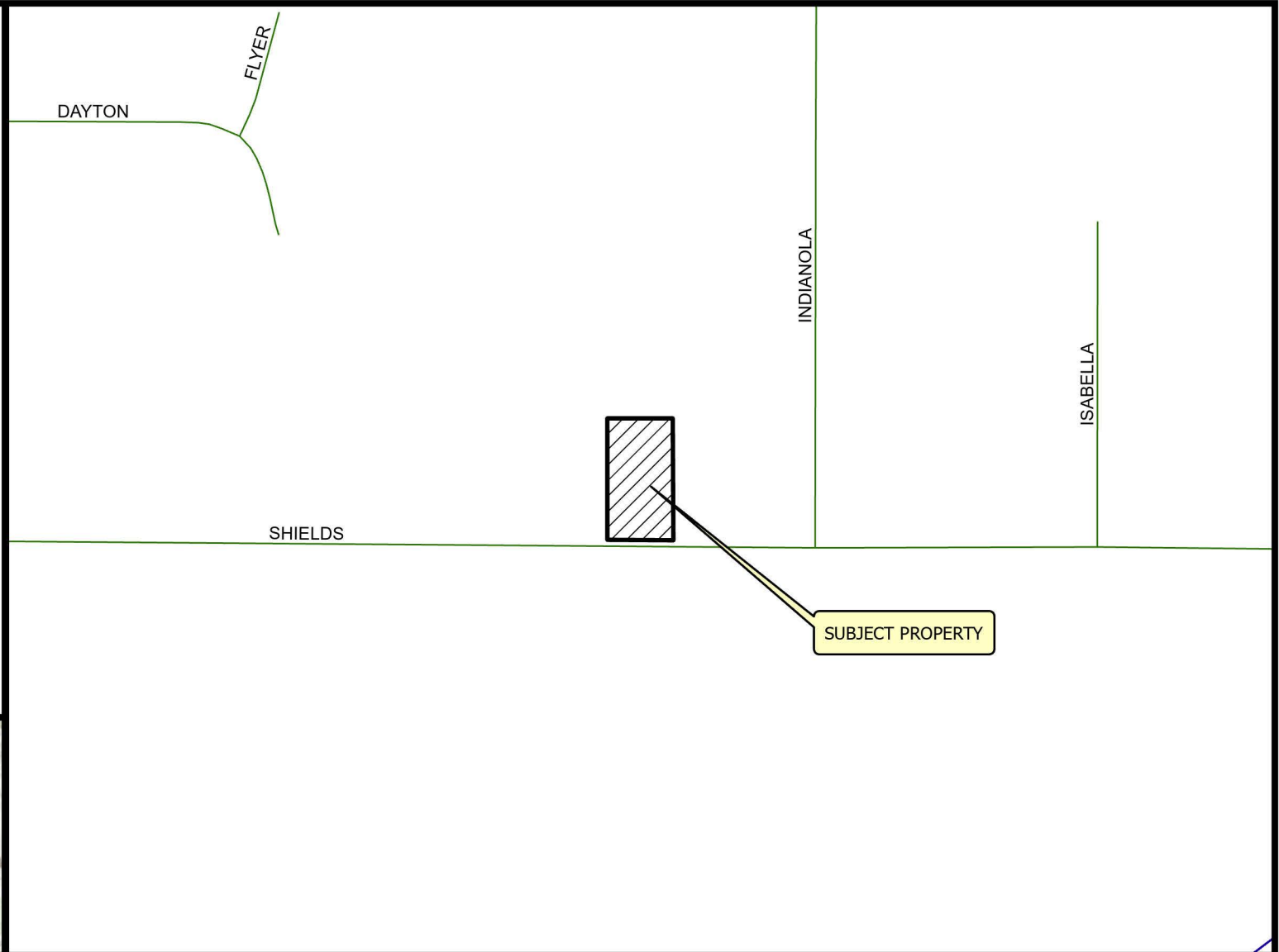
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APN # _____ - _____ - _____

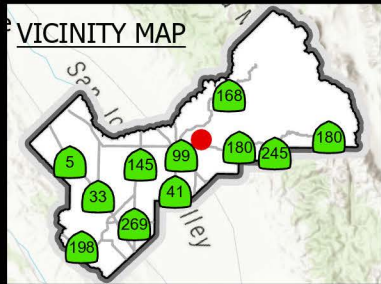
Legend



Subject Property



VICINITY MAP



LOCATION MAP

DRA 4791

2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division

Person Prepared by : chuang




On Date : 1/7/2025

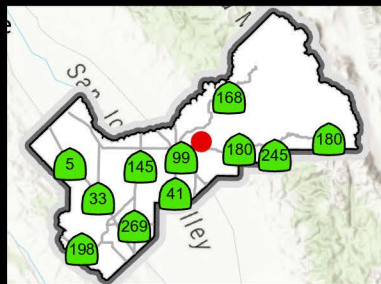
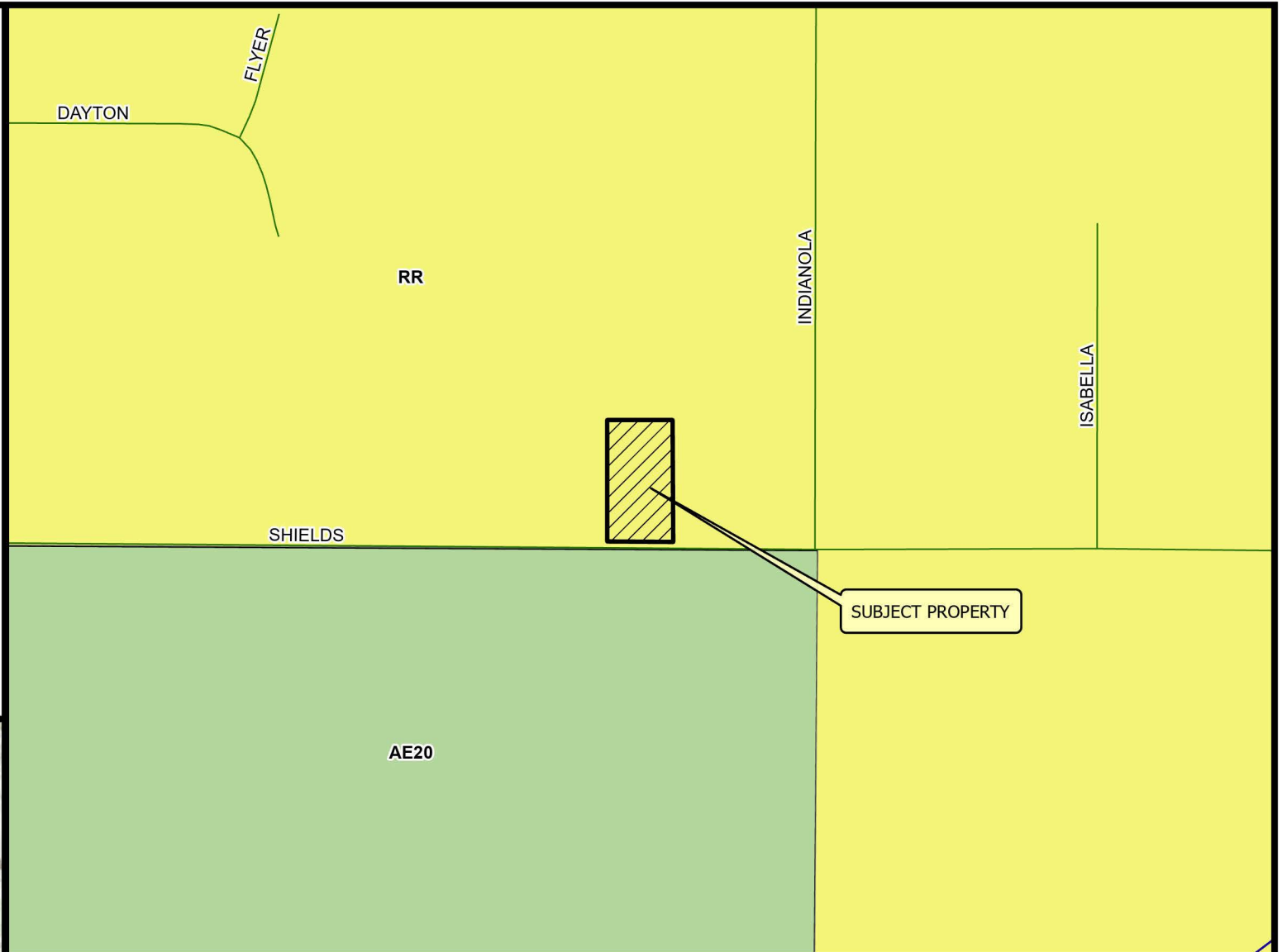


0 0.05 0.1 Mi

0 380 760 Feet

Legend

-  Subject Property
-  AE20
-  RR

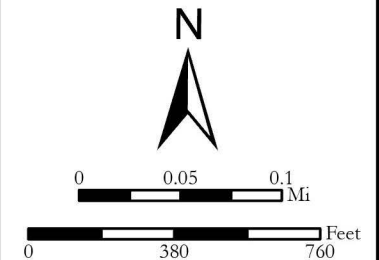


Existing Zoning Map



DRA 4791
STR 21 - 13S / 22E

2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : chuang
 On Date : 1/7/2025



LEGEND:

-  Subject Property
-  Ag Contract Land

LEGEND

AP1 - APARTMENT

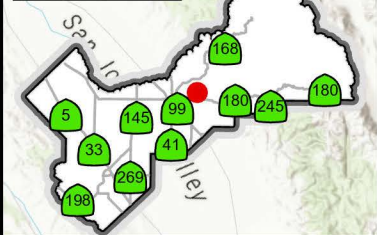
FC - FIELD CROP

ORC - ORCHARD

SF#- SINGLE FAMILY RESIDENCE

V - VACANT

VICINITY MAP



Existing Land Use Map

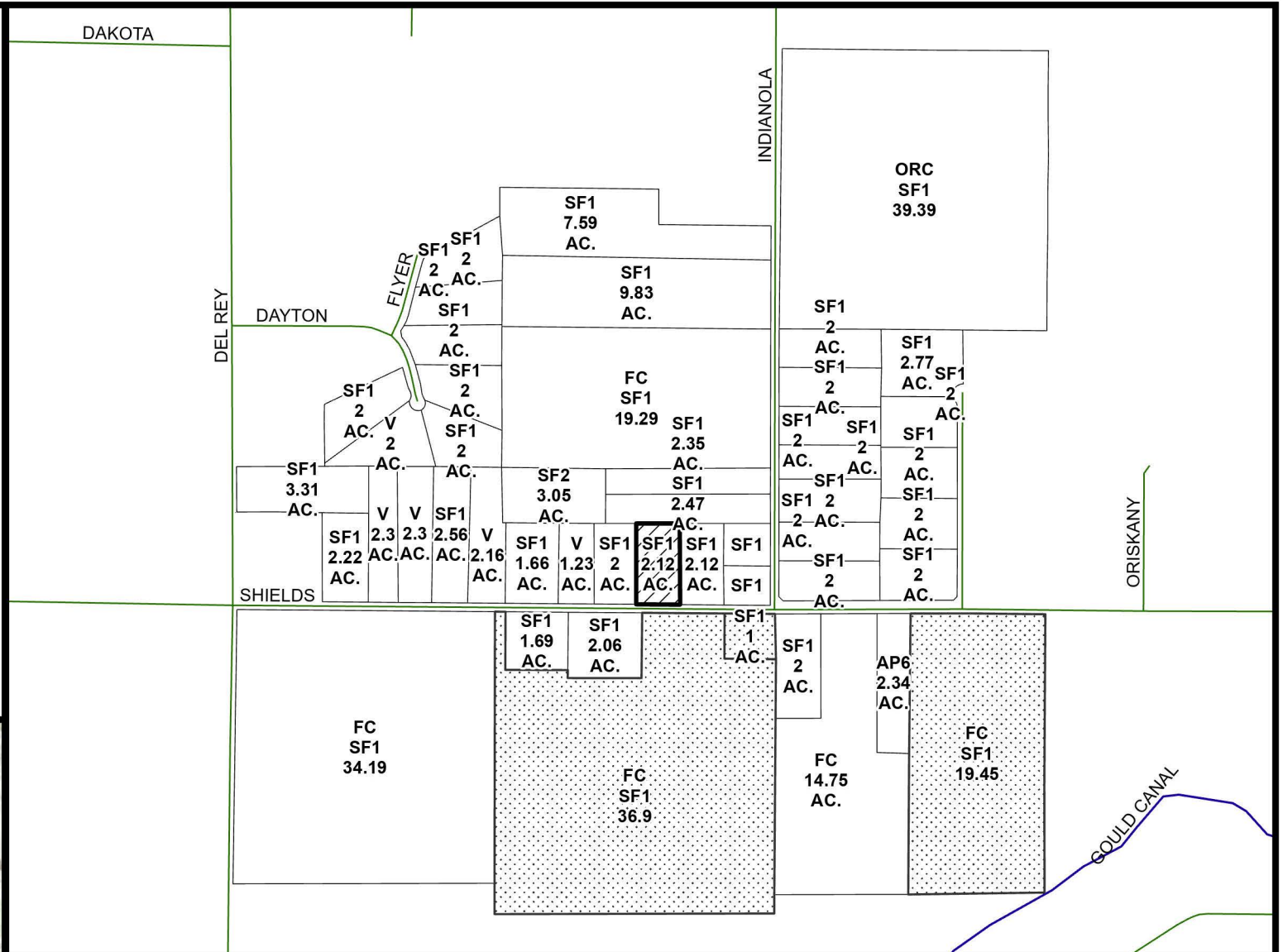
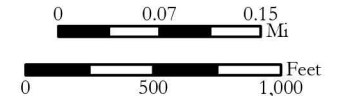
DRA 4791

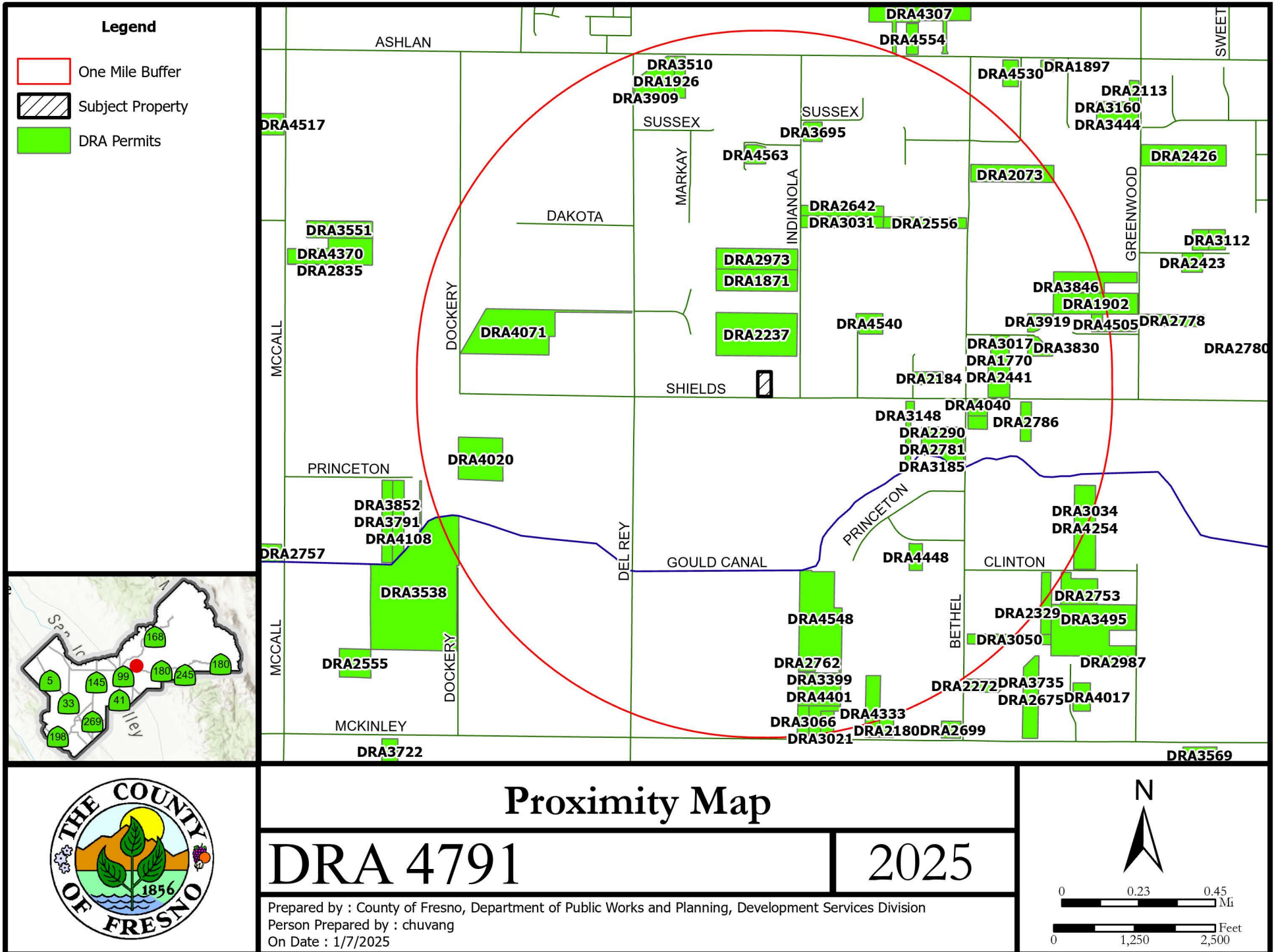
2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division

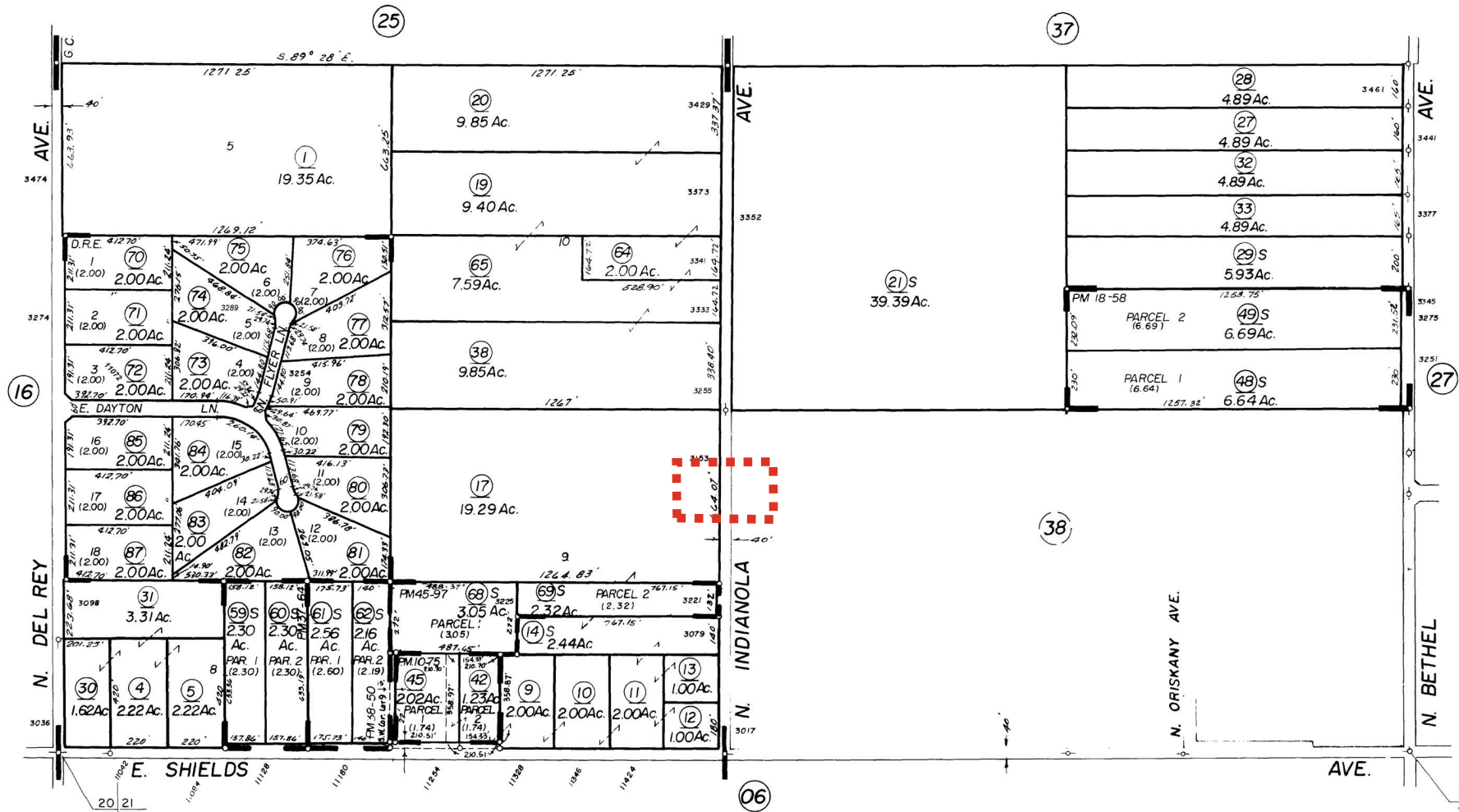
Person Prepared by : chuang

On Date : 1/7/2025





— NOTE —
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.



Agricultural Preserve
Gray Colony No. 1 - R. S. Bk. 2, Pg. 54
Parcel Map No. 1792 - Bk. 10, Pg. 75
Parcel Map No. 2644 - Bk. 18, Pg. 58

Parcel Map No. 4734-Bk.37, Pg.64

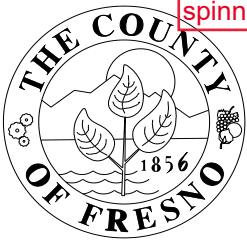
Parcel Map NO.6036-Bk. 38, Pg. 50
Parcel Map No. 6802-Bk. 45, Pg. 97

Del Rey Estates-Tr. No. 4180-Plat Bk. 52, Pgs. 56 & 57

Assessor's Map Bk.309-Pg. 26

County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.



Email to:
spinninass@hotmail.com

Mail to: 11346 E Shields Ave
Sanger, CA 93657

**Development Services
and
Capital Projects
Division**

Pre-Application Review

Department of Public Works and Planning

NUMBER: _____
APPLICANT: _____
PHONE: _____

PROPERTY LOCATION: _____
APN(s): _____ ALCC: No _____ Yes # _____ VIOLATION NO. _____
CNEL: No _____ Yes _____ (level) LOW WATER: No _____ Yes _____ WITHIN ½ MILE OF CITY: No _____ Yes: _____
ZONE DISTRICT: _____; SRA: No _____ Yes _____ HOMESITE DECLARATION REQ'D.: No _____ Yes _____
LOT STATUS: _____
Zoning: () Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No _____ Yes _____ ZM# _____ Initiated _____ In process _____
Map Act: () Lot of Rec. Map; () On '72 rolls; () Other _____; () Deeds Req'd (see Form #236)
SCHOOL FEES: No _____ Yes _____ DISTRICT: _____ PERMIT JACKET: No _____ Yes _____
FMFCD FEE AREA: _____ () Inside / () Outside District No.: _____ FLOOD PRONE: No _____ Yes _____
PROPOSAL _____

COMMENTS: _____
ORD. SECTION(S): _____ BY: _____ DATE: _____

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: _____ () GPA: _____ () MINOR VA: _____
COMMUNITY PLAN: _____ () AA: _____ () HD: _____
REGIONAL PLAN: _____ () CUP: _____ () AG COMM: _____
SPECIFIC PLAN: _____ () DRA: _____ () ALCC: _____
SPECIAL POLICIES: _____ () VA: _____ () IS/PER*: _____
SPHERE OF INFLUENCE: _____ () AT: _____ () Viol. (35%): _____
ANNEX REFERRAL (LU-G17/MOU): _____ () TT: _____ () Other: _____
() PLA: _____ Filing Fee: \$ _____
COMMENTS: _____ () TPM: _____ Pre-Application Fee: - \$262.04
() TPMW: _____ Total County Filing Fee: _____

PROCEDURES AND FEES:

FILING REQUIREMENTS:

- () Land Use Applications and Fees
- () This Pre-Application Review form
- () Copy of Deed / Legal Description
- () Photographs
- () Letter Verifying Deed Review
- () IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- () Site Plans - One (1) Copy (folded to 8.5"x11") *PDF COPY PREFERRED
- () Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- () Project Description / Operational Statement (Typed)
- () Statement of Variance Findings
- () Statement of Intended Use (ALCC)
- () Dependency Relationship Statement
- () Resolution/Letter of Release from City of _____
- () Nitrogen Loading Analysis or RWQCB supplemental treatment

OTHER FILING FEES:

- () Archaeological Inventory Fee: **\$75 at time of filing**
(Separate check to Southern San Joaquin Valley Info. Center)
- () CA Dept. of Fish & Wildlife (CDFW): **(\$50+\$2,916.75)**
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

BY: _____ DATE: _____
PHONE NUMBER: (559) _____ - _____

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- () COVENANT
- () MAP CERTIFICATE
- () PARCEL MAP
- () FINAL MAP
- () FMFCD FEES
- () ALUC or ALCC
- () SITE PLAN REVIEW
- () BUILDING PLANS
- () BUILDING PERMITS
- () WASTE FACILITIES PERMIT
- () SCHOOL FEES
- () OTHER (see reverse side)

PLU # 113 Fee: \$262.04

Note: This fee will apply to the application fee
if the application is submitted within six (6)
months of the date on this receipt.

OVER.....

OTHER PERMIT REQUIREMENTS AND/OR FEES

Although the primary purpose of the Pre-application Review is to identify the zoning ordinance application(s) required for your proposed project, our staff also makes every effort to identify other requirements or procedures that you may have to address in order to complete the project. We know how important it is for you to identify all of the steps, requirements and fees that may be encountered. During a pre-application meeting, the bottom portion of the "Pre-application Review" (see reverse side) will be used for that purpose. Items checked at the bottom of the form reference other clearances, applications or permit requirements that will involve additional fees. Some of these fees may be substantial, as shown in the examples cited below.

Drainage Ordinance:	Fees range from \$500/acre to \$15,000/acre. <i>(Fee determination is made during the application review process.)</i>
Site Plan Review (SPR):	Fees range from \$4,248.12 to \$14,873.44 depending on the size and zone district of the area being developed.
School District:	Fees vary and are set by each district. The most common fees are about \$2.00/square-foot for residential construction, and \$0.30/square-foot for commercial and industrial buildings. <i>(Contact the applicable school district.)</i>

Despite our best efforts at the pre-application meeting, it is not always possible to identify all of the requirements or fees that may be applicable to your project. Certain requirements, for example, may be identified during the application review process when we obtain comments from reviewing agencies such as the Air Pollution Control District, the California Regional Water Quality Control Board, the Fire Protection District, Water and Sewer Districts, and the County Health Department. It is important to recognize that your project may be subject to the permit and fee requirements of these and other agencies. We encourage you to contact these agencies to obtain current fee and permit information that may apply. In addition to the above, a Public Facility Impact Fee and Regional Transportation Mitigation Fee may also be assessed at building permit issuance.

If you have questions regarding any of the matters discussed above, we encourage you to discuss them with staff prior to submitting your application. A contact person and their phone number are listed on the front of this form.

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO.

NAME Mr. & Larry D. Adams
STREET ADDRESS 11346 E. Shields
CITY, STATE & ZIP CODE Sanger, CA 93657

Fresno County Recorder
William C. Greenwood
DOC- 2000-0055488

Monday, MAY 08, 2000 15:46:30
TCF \$1.00 MOD \$2.00 MIC \$1.00

DRF \$6.00

Tt1 Pd \$10.00

Nbr-0000332910

gsf/R1/1-2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

HOMESTEAD DECLARATION (SPOUSES AS DECLARED OWNERS)

We, Larry Dewayne Adams and Gloria Diane Adams
(FULL NAME OF DECLARANT) (FULL NAME OF DECLARANT)
do hereby certify and declare as follows:

(1) We are married to each other.

(2) We hereby claim as a homestead, and make ourselves declared homestead owners of, the premises located in the City of
Unincorporated Territory of, County of Fresno, State of California commonly known as
11346 E. Shields Avenue
APN 309-260-10

(STREET ADDRESS)

and more particularly described as follows: [Give complete legal description] The Westerly 1/3 of the following described property:
The Easterly 2/3 of the South 1/2 of Lot 9 of GRAY COLONY NO. 1, in the County of Fresno, State of California,
according to the map thereof recorded in Book 2 Page 54 of Records of Survey, Fresno County Records.
EXCEPTING THEREFROM the North 272 feet thereof. ALSO EXCEPTING THEREFROM the West 1/4 thereof.

(3) I, na, own the following interest in the above declared homestead:
(FULL NAME OF DECLARANT)

(4) I, na, own the following interest in the above declared homestead:
(FULL NAME OF DECLARANT)

(5) The above declared homestead is the principal dwelling of Larry Dewayne Adams and Gloria Diane Adams
(NAME OF ONE OR BOTH SPOUSES, WHICHEVER IS APPLICABLE)
and we currently reside in that declared homestead.

(6) The facts stated in this Declaration are true as of our personal knowledge.

Dated: May 8, 2000

Larry Dewayne Adams
(SIGNATURE OF DECLARANT)
Gloria Diane Adams
(SIGNATURE OF DECLARANT)

STATE OF California
COUNTY OF Fresno

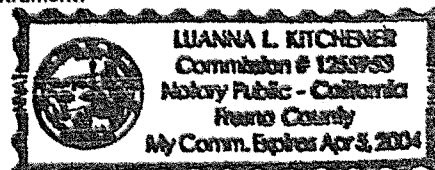
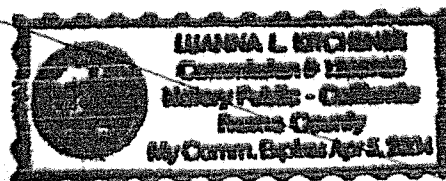
On May 8, 2000 before me, Luanna L. Kitchener, Notary Public personally appeared
(NAME/TITLE I.e. "JANE DOE, NOTARY PUBLIC")

Larry D. Adams and Gloria D. Adams

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that ~~they~~ they executed the same in ~~their~~ their authorized capacity(ies), and that by ~~their~~ their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Luanna L. Kitchener
(SIGNATURE OF NOTARY)



WOLCOTT'S FORM 752 - Rev. 8-94
HOMESTEAD DECLARATION (Spouses as Declared Owners)
(price class 3A)
©1994 WOLCOTT'S FORMS, INC.

(SEAL)

Before you use this form, fill in all blanks, and make whatever changes are appropriate and necessary to your particular transaction. Consult a lawyer if you doubt the form's fitness for your purpose and use. Wolcotts makes no representation or warranty, express or implied, with respect to the merchantability or fitness of this form for an intended use or purpose.



Order No.
Escrow No. 153595-KC
Loan No.

7716

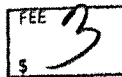
RECORDED AT REQUEST OF
First American Title Co. of Fresno

AT 8 MIN. PAST 8 M

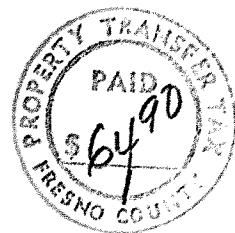
JAN 23 1978

FRESNO COUNTY, CALIFORNIA
GALEN LARSON, County Recorder

Noted Steelman
BY DEPUTY RECORDER



SPACE ABOVE THIS LINE FOR RECORDER'S USE



WHEN RECORDED MAIL TO:
Mr. and Mrs. Larry Adams
11346 E. Shields
Sanger, CA

MAIL TAX STATEMENTS TO:

Arden Mortgage Co.
Post Office Box 1147
Lafayette, CA 94549
Loan Name: Adams, Larry

DOCUMENTARY TRANSFER TAX \$64.90

X Computed on the consideration or value of property conveyed; OR
..... Computed on the consideration or value less liens or encumbrances
remaining at time of sale.

K. Carleton First American Title Co.
Signature of Declarant or Agent determining tax - Firm Name

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

DAVID G. CHANDLER and ELLEN D. CHANDLER, husband and wife

hereby GRANT(S) to

LARRY DEWAYNE ADAMS and GLORIA DIANE ADAMS, husband and wife as Joint Tenants

the real property in the City of unincorporated territory
County of Fresno

State of California, described as

The Westerly 1/3 of the following described property: The Easterly 2/3 of the South 1/2
of Lot 9 of GRAY COLONY NO. 1, in the County of Fresno, State of California, according to
the map thereof recorded in Book 2 page 54 of Records of Survey, Fresno County Records.
EXCEPTING THEREFROM the North 272 feet thereof. ALSO EXCEPTING therefrom the West 1/4 thereof

Dated November 3, 1977

STATE OF CALIFORNIA
COUNTY OF

Fresno

ss.

On November 8, 1977

before me, the undersigned, a Notary Public in and for said
State, personally appeared David G. Chandler
Ellen D. Chandler

known to me to be the person S whose names
subscribed to the within instrument and acknowledged that
they executed the same.

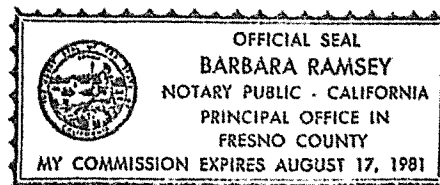
WITNESS my hand and official seal.

Signature

Barbara Ramsey
Barbara Ramsey

David G. Chandler
David G. Chandler

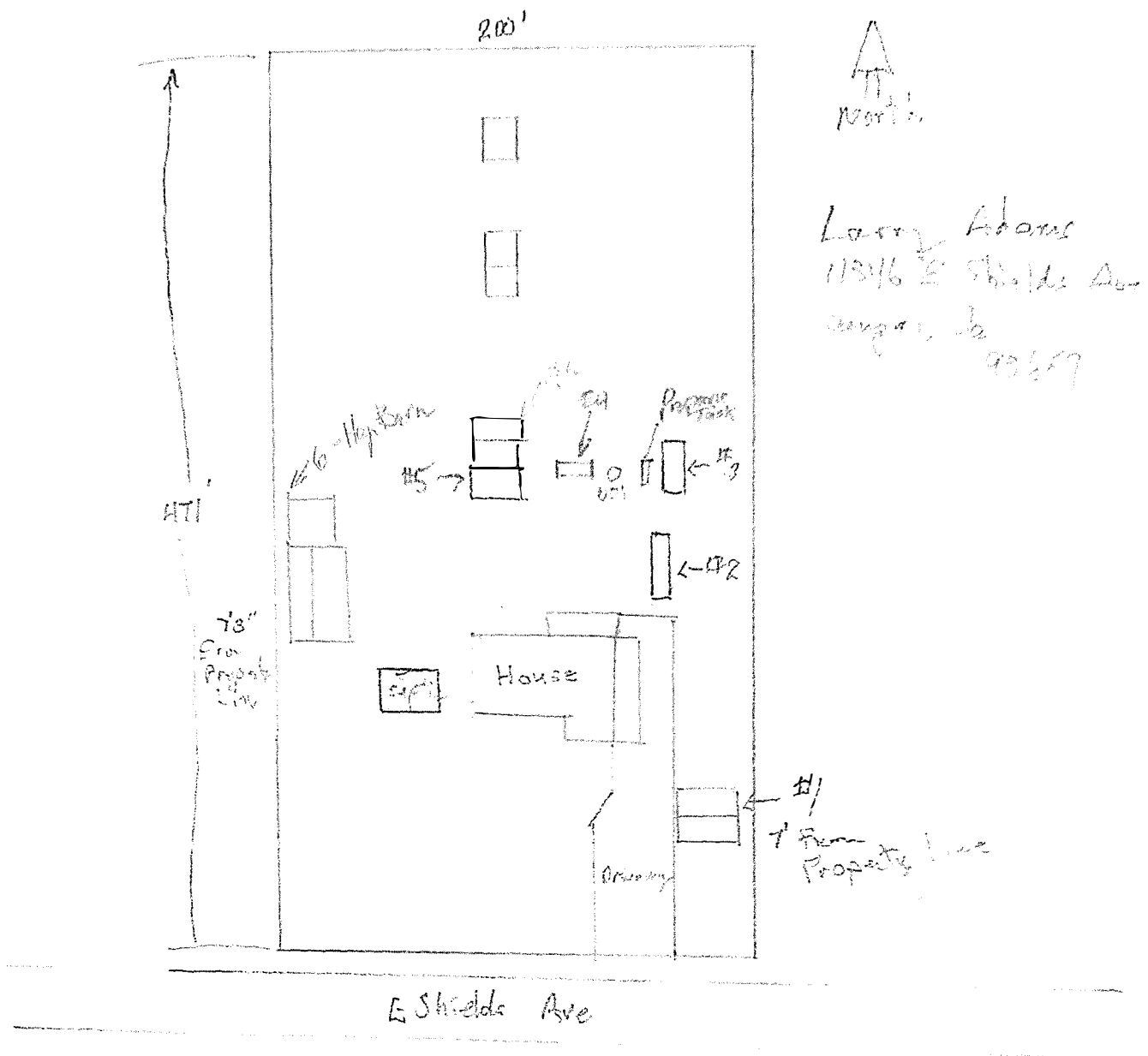
Ellen D. Chandler
Ellen D. Chandler



(This area for official notarial seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

1002 (10/69)



Item

- #1 Aluminum Carport, When installed Madera Carport told us we did not have to permit it. 7 feet off property line.
- #2 Travel Trailer parked behind Fence.
- #3 Chain Link Dog kennel. No roof, open air.
- #4 Golden State Builders Shed 8 x 14. = 112 sq Ft,
- #5 Wood Building. It was here when we bought the property. It is indicated on the plot map in 1998.
- #6 Plot Map has been sent to show the location and sizes.

Description : Carport Plans 24-014294

Size: 25 Feet Deep and 24 Feet Wide

All Metal Structure

Mounted to cement slab on a 25 Foot 2 ½ inch square tubing with 2 ¼ inch square tubing by 12 inches long welded to it for the mounting of the upright to secure the roof to. It is bolted to the cement using ½ inch expansion bolts, 6 per side.

Each side has 6 each, 7 foot 2 ½ inch square tubing bolted to the runners evenly spaced at approx. 5 feet. The first and last upright has a 2 ½ inch channel bolted at approx. 39 inches up the side support and 32 inches to the bottom tube.

Each upright has a 2 ¼ inch insert bolted in the top end and the roof tubing is 2 ½ inch one piece from right to left side of the cover with formed curve bolted to the side upright, there is a 2 foot long 2 ½ inch channel bolted to the upright and the roof tubing.

The roof tubing goes from 8 foot on the sides to 10 feet at the peak. Curved to produce the slope from center to the sides. It has a 10 foot 2 ½ inch channel bolted at 7 feet from each side across the center for strength and stability.

The roofing is aluminum sheeting 36 inch wide to 26 feet long bolted to the roof tubing. There are 9 sheets that has 1 running down the middle of the top and then 4 on each side curving down the sides. The roof is bolted to the tubing with self-drilling and tapping screws with rubber seals. The roof overhangs the front and rear 6 inches with a metal trim bolted to it.

The structure is bolted together with the self-drilling and tapping screws with rubber seals..



Free Standing Pole Cover / Hay Storage

20 feet / 20 feet

North →

→ West

1 1/2 inch
Angle Iron welded

20'



2" Round steel Poles
7 each
3' in Ground

2" x 4" Steel Tubing
Front / Middle / Rear
welded

opening East

1 1/2 inch Angle Iron welded

Roof Aluminum Sheets

Rear Wall Galvanized Steel

