



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: November 17, 2025

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director Planning  
Development Services and Capital Projects, Attn: Chris Motta, Division Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga,  
Principal Planner  
Development Services and Capital Projects, Attn: James Anders,  
Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: Tawanda  
Mtunga, Senior Planner  
Development Services and Capital Projects, Policy Planning, Attn:  
Tawanda Mtunga, Principal Planner  
Development Services and Capital Projects, Zoning & Permit Review,  
Attn: Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Development Engineering,  
Attn: Laurie Kennedy, Office Assistant III  
Water and Natural Resources Division, Attn: Augustine Ramirez, Division  
Manager; Roy Jimenez  
Water and Natural Resources Division, Transportation Planning, Attn:  
Hector Luna, Senior Planner/Brody Hines, Planner  
Road Maintenance and Operations Division, Attn: Mohamed Mohamoud  
Department of Public Health, Environmental Health Division, Attn: Deep  
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,  
Environmental Health Specialist  
Fresno County Fire Protection District, Attn: Diane Rodriguez; [fkp.prevention-  
planning@fire.ca.gov](mailto:fkp.prevention-planning@fire.ca.gov)

FROM: Arianna Brown, Planner  
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4808

APPLICANT: Eu Yang & Kham Boriboun

DUE DATE: **December 8, 2025**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow for a secondary residence on a 16.21-acre parcel. The existing residence to be considered the secondary dwelling, not to exceed 2,000 square-feet, and the proposed new residence will become the primary.

The subject parcel is located on the east side of S. Cherry Ave. approximately a quarter mile from the intersection with E. Adams Ave. on the east side of State Route 41 approximately 1-mile south of the unincorporated community of Easton (APN: 335-070-50) (7349 S. Cherry) (Sup. Dist. 1).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **December 8, 2025**. Any comments received after this date may not be used.

**If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Arianna Brown, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email [arbrown@fresnocountyca.gov](mailto:arbrown@fresnocountyca.gov).

AB

G:\4360Devs&Pin\PROJSEC\PROJDOCS\DRA\4800-4899\4808\Notices\DRA 4808 Notice of Application.docx

*310Activity Code (Internal Review): 2392*

Enclosures



**Development Services  
and  
Capital Projects  
Division**

**Mail to:**  
Destiny Family Homes  
Attn: Kaysa Bryson  
1035 U. St.  
Fresno, CA 93721  
**Email To:**  
kbfarmllc@gmail.com  
or  
kaysa@destinyfamilyhomes

**Pre-Application Review**

**Department of Public Works and Planning**

**NUMBER:** \_\_\_\_\_  
**APPLICANT:** \_\_\_\_\_  
**PHONE:** \_\_\_\_\_

**PROPERTY LOCATION:** \_\_\_\_\_  
**APN(s):** \_\_\_\_\_ **ALCC:** No \_\_\_ Yes # \_\_\_\_\_ **VIOLATION NO.** \_\_\_\_\_  
**CNEL:** No \_\_\_ Yes \_\_\_ (level) **LOW WATER:** No \_\_\_ Yes \_\_\_ **WITHIN 1/2 MILE OF CITY:** No \_\_\_ Yes: \_\_\_\_\_  
**ZONE DISTRICT:** \_\_\_\_\_; **SRA:** No \_\_\_ Yes \_\_\_ **HOMESITE DECLARATION REQ'D.:** No \_\_\_ Yes \_\_\_  
**LOT STATUS:**  
**Zoning:** ( ) Conforms; ( ) Legal Non-Conforming lot; ( ) Deed Review Req'd (see Form #236)  
**Merger:** May be subject to merger: No \_\_\_ Yes \_\_\_ **ZM#** \_\_\_\_\_ **Initiated** \_\_\_\_\_ **In process** \_\_\_\_\_  
**Map Act:** ( ) Lot of Rec. Map; ( ) On '72 rolls; ( ) Other \_\_\_\_\_; ( ) Deeds Req'd (see Form #236)  
**SCHOOL FEES:** No \_\_\_ Yes \_\_\_ **DISTRICT:** \_\_\_\_\_ **PERMIT JACKET:** No \_\_\_ Yes \_\_\_  
**FMFCD FEE AREA:** \_\_\_ ( ) Inside / ( ) Outside **District No.:** \_\_\_\_\_ **FLOOD PRONE:** No \_\_\_ Yes \_\_\_  
**PROPOSAL** \_\_\_\_\_

**COMMENTS:** \_\_\_\_\_  
**ORD. SECTION(S):** \_\_\_\_\_ **BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

<b>GENERAL PLAN POLICIES:</b>		<b>PROCEDURES AND FEES:</b>
<b>LAND USE DESIGNATION:</b> _____	( ) GPA: _____	( ) MINOR VA: _____
<b>COMMUNITY PLAN:</b> _____	( ) AA: _____	( ) HD: _____
<b>REGIONAL PLAN:</b> _____	( ) CUP: _____	( ) AG COMM: _____
<b>SPECIFIC PLAN:</b> _____	( ) DRA: _____	( ) ALCC: _____
<b>SPECIAL POLICIES:</b> _____	( ) VA: _____	( ) IS/PER*: _____
<b>SPHERE OF INFLUENCE:</b> _____	( ) AT: _____	( ) Viol. (35%): _____
<b>ANNEX REFERRAL (LU-G17/MOU):</b> _____	( ) TT: _____	( ) Other: _____
	( ) PLA: _____	<b>Filing Fee: \$</b> _____
<b>COMMENTS:</b> _____	( ) TPM: _____	<b>Pre-Application Fee: - \$262.04</b>
	( ) TPMW: _____	<b>Total County Filing Fee: _____</b>

<b>FILING REQUIREMENTS:</b>	<b>OTHER FILING FEES:</b>
( ) Land Use Applications and Fees	( ) Archaeological Inventory Fee: <b>\$75 at time of filing</b>
( ) This Pre-Application Review form	(Separate check to Southern San Joaquin Valley Info. Center)
( ) Copy of Deed / Legal Description	( ) CA Dept. of Fish & Wildlife (CDFW): <b>(\$50+\$2,916.75)</b>
( ) Photographs	(Separate check to Fresno County Clerk for pass-thru to CDFW.
( ) Letter Verifying Deed Review	Must be paid prior to IS closure and prior to setting hearing date.)
( ) IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.	
( ) Site Plans - One (1) Copy (folded to 8.5"X11") *PDF COPY PREFERRED	
( ) Floor Plan & Elevations - 4 copies (folded to 8.5"X11") + 1 - 8.5"x11" reduction	
( ) Project Description / Operational Statement (Typed)	
( ) Statement of Variance Findings	
( ) Statement of Intended Use (ALCC)	
( ) Dependency Relationship Statement	
( ) Resolution/Letter of Release from City of _____	
( ) Nitrogen Loading Analysis or RWQCB supplemental treatment	

**BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**PHONE NUMBER:** (559) \_\_\_\_\_ - \_\_\_\_\_

**NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:**

( ) COVENANT	( ) SITE PLAN REVIEW
( ) MAP CERTIFICATE	( ) BUILDING PLANS
( ) PARCEL MAP	( ) BUILDING PERMITS
( ) FINAL MAP	( ) WASTE FACILITIES PERMIT
( ) FMFCD FEES	( ) SCHOOL FEES
( ) ALUC or ALCC	( ) OTHER (see reverse side)

**PLU # 113 Fee: \$262.04**  
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

OVER.....



Fresno County Department of Public Works and Planning

Date Received: [ ] (Application No.) [ ]

MAILING ADDRESS: Department of Public Works and Planning Development Services Division 2220 Tulare St., 6th Floor Fresno, Ca. 93721

LOCATION: Southwest corner of Tulare & "M" Streets, Suite A Street Level Fresno Phone: (559) 600-4497 Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class )/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

make Primary residence of 1387 sq ft the Secondary residence. Build New home of approx 4000 sq ft, New home to become Primary residence DRA

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: side of between and Street address:

APN: 33507050 Parcel size: 16-21 acre Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

I, Kausa Bryson (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type) Eu Yang, Kham Boribain 7349 S Cherry Fresno 93725 (559) 270-8089
Applicant (Print or Type) Eu Yang, Kham Boribain 7349 S Cherry Fresno ca 93725 (559) 270-8089
Representative (Print or Type) Kausa Bryson 1035 U St Fresno CA 93721 (559) 812-6822

CONTACT EMAIL: kbfarm11c@gmail or kausa@destinyfamilyhomes.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Table with columns for Application Type / No., Fee: \$, and TOTAL: \$

UTILITIES AVAILABLE:

WATER: Yes [ ] / No [ ] Agency:
SEWER: Yes [ ] / No [ ] Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section: Sect-Twp/Rg: - T S/R E
APN #
APN #
APN #
APN #

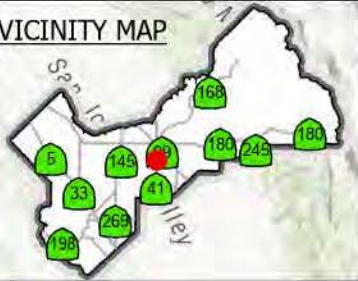
**Legend**



SubjectProperty



**VICINITY MAP**

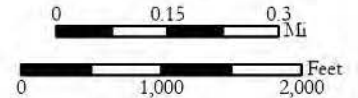


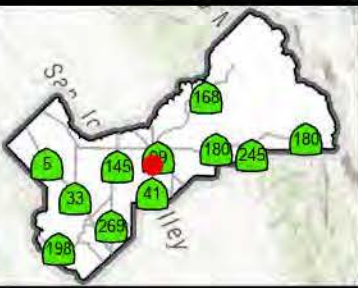
# LOCATION MAP

## DRA4808

## 2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
Person Prepared by : mdo  
On Date : 10/15/2025



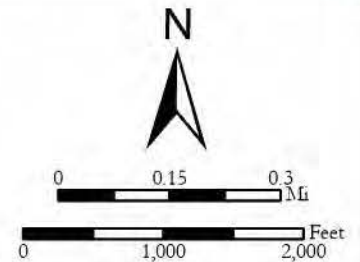


# Existing Zoning Map



DRA4808  
STR 15 - 15S / 20E

2025

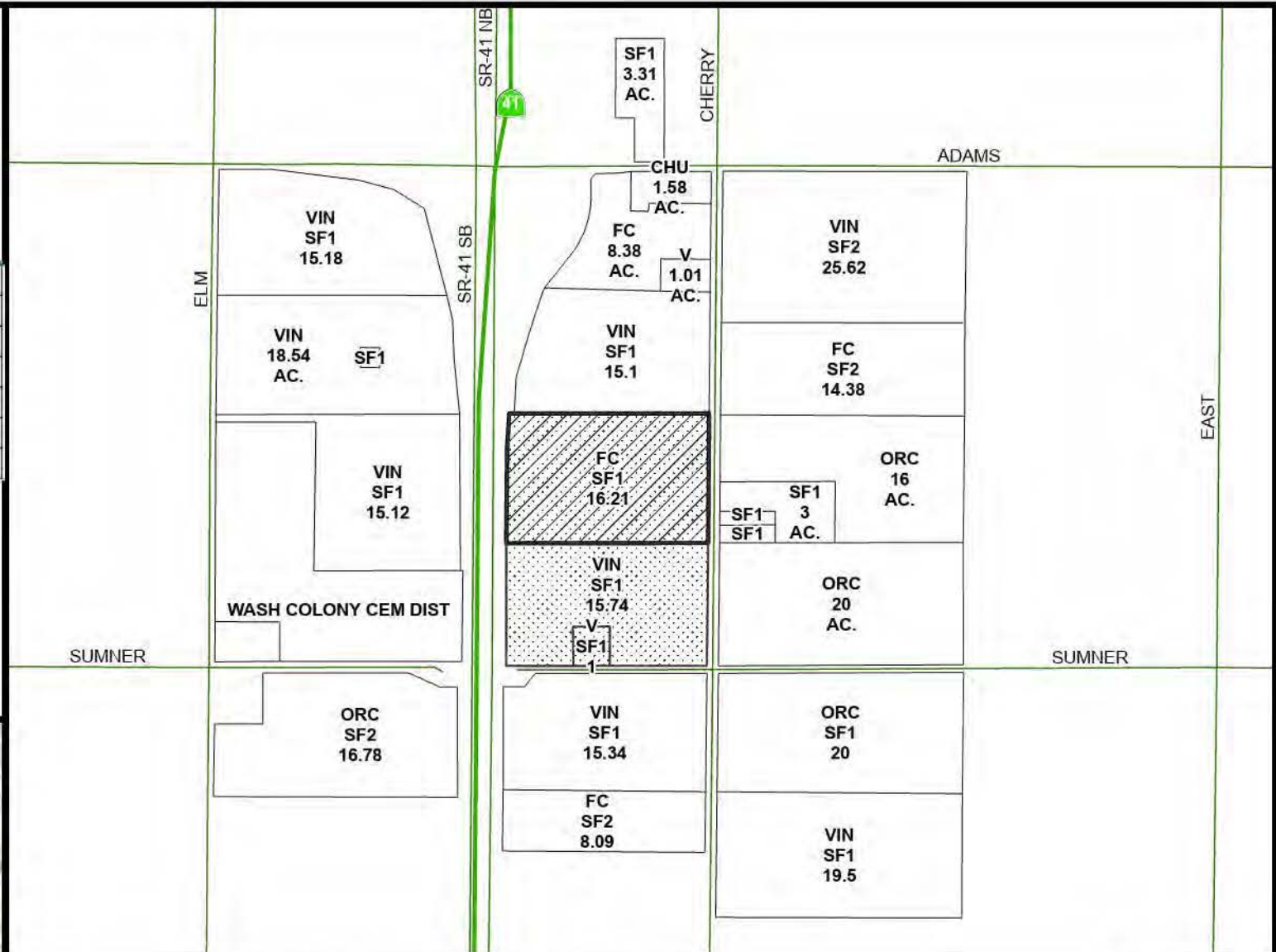
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mdo  
 On Date : 10/15/2025



**LEGEND:**

-  Subject Property
-  Ag Contract Land

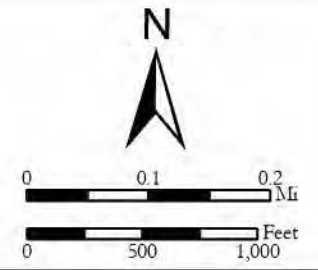
<b>LEGEND</b>
SF#- SINGLE FAMILY RESIDENCE
ORC - ORCHARD
VIN - VINEYARD
FC - FIELD CROP
CHU - CHURCH
V - VACANT






# Existing Land Use Map

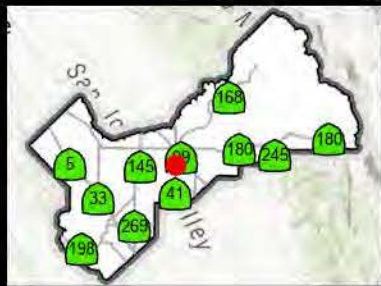
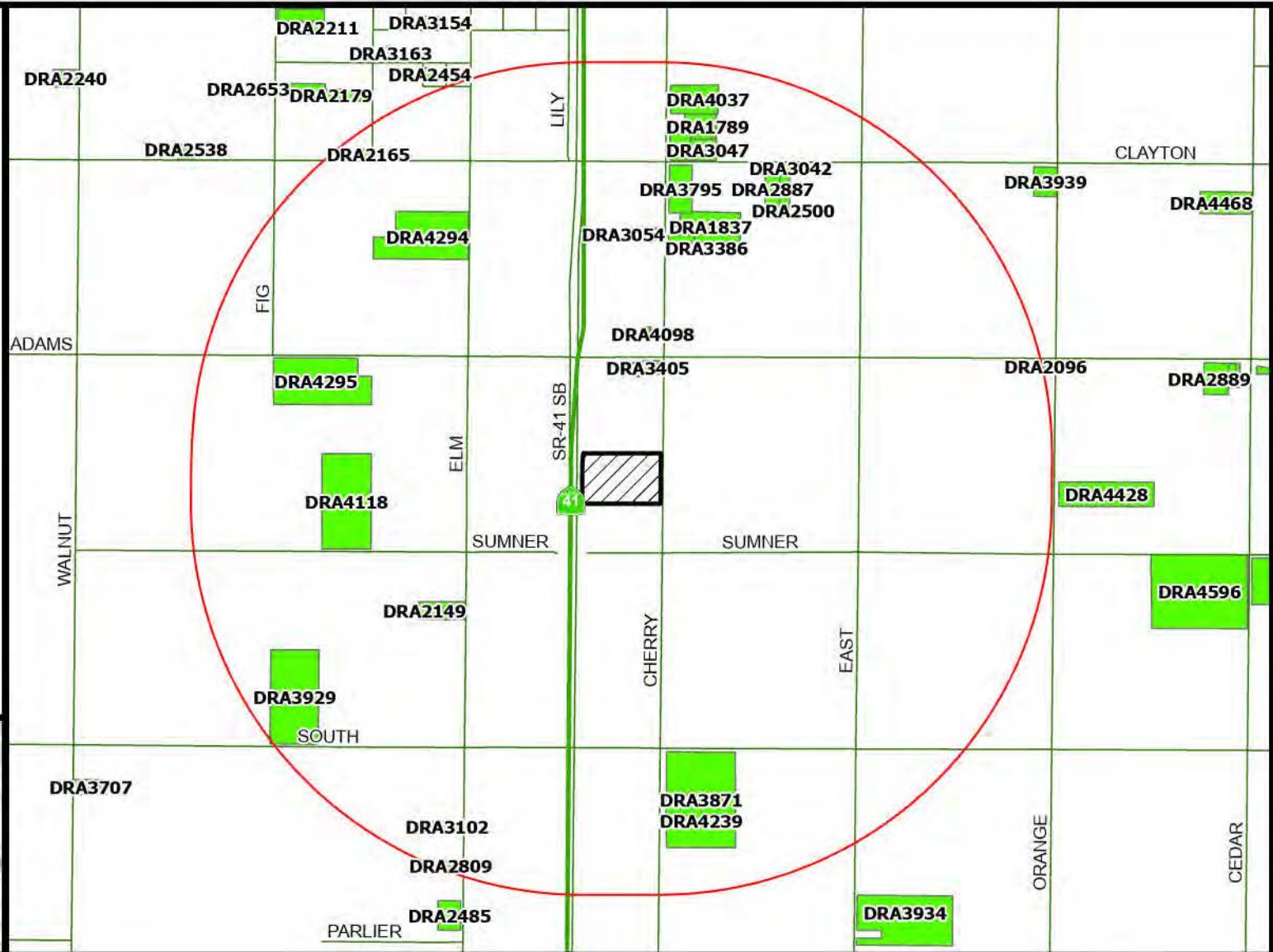
## DRA4808 | 2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mdo  
 On Date : 10/15/2025



**Legend**

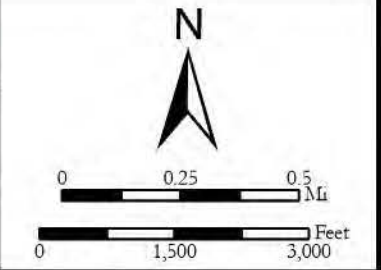
-  Mile\_Buffer
-  Subject Property
-  DRA Permits



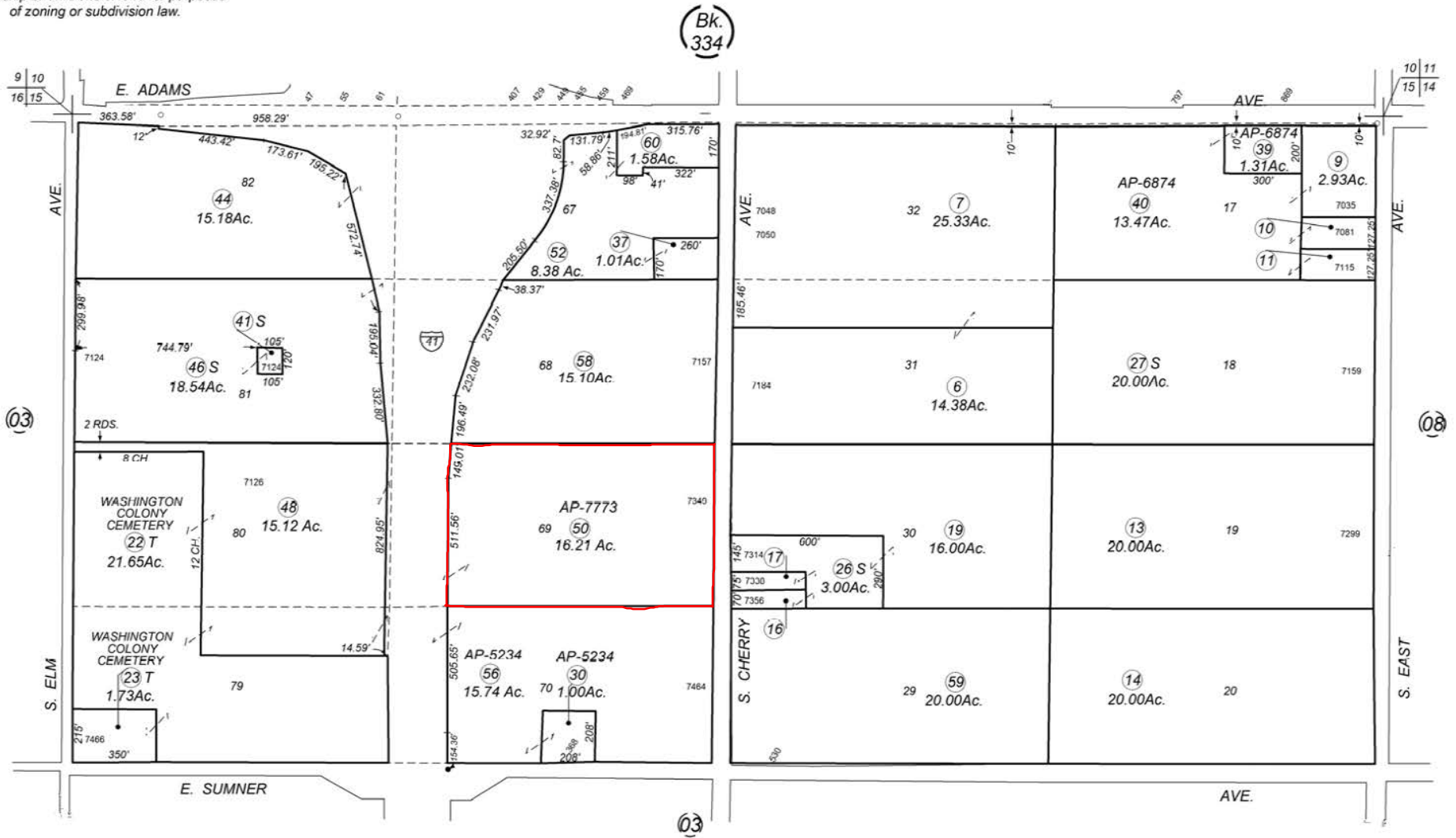
# Proximity Map

DRA4808
2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mdo  
 On Date : 10/15/2025



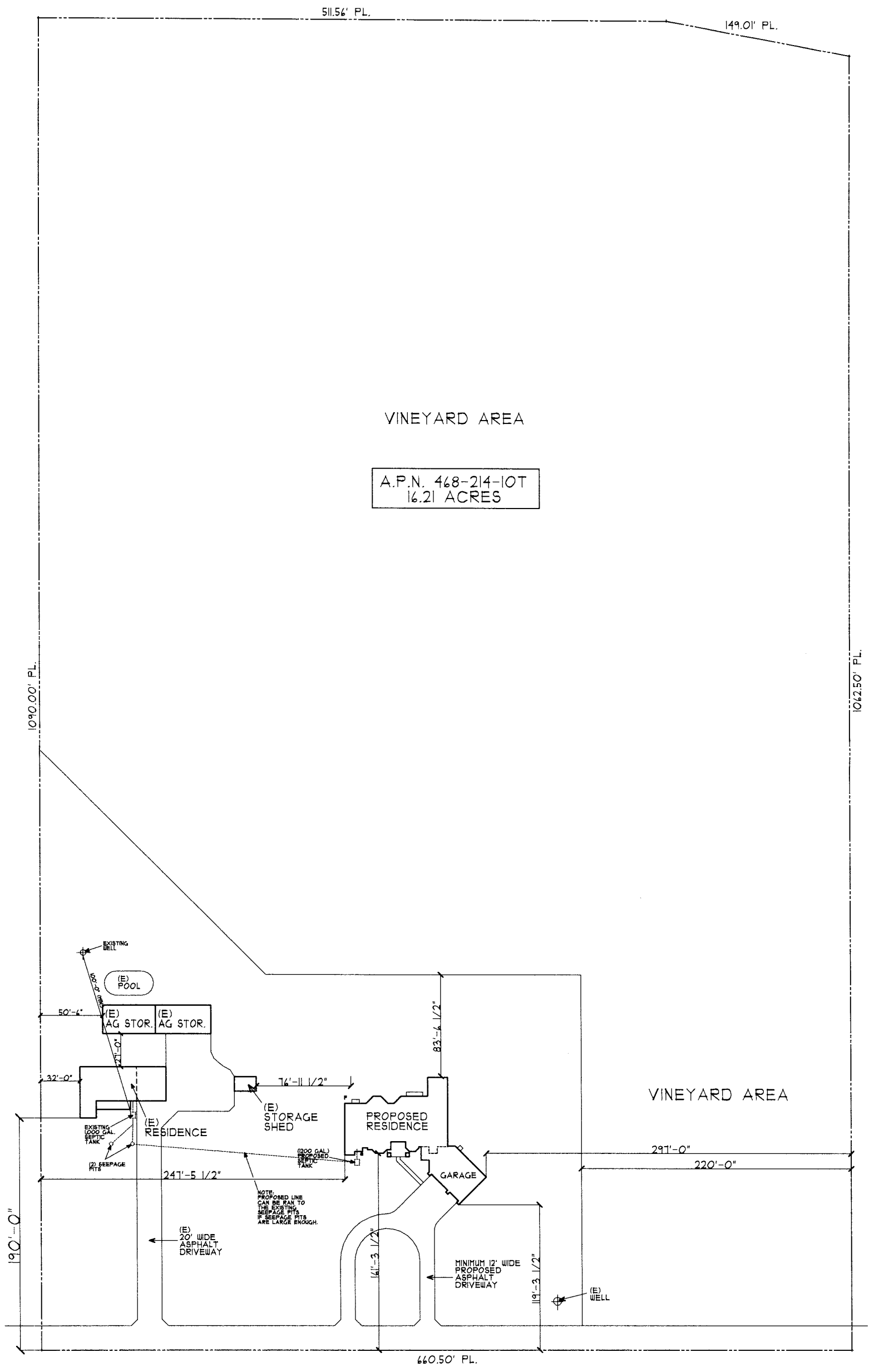
-NOTE-  
This map is for Assessment purposes only.  
It is not to be construed as portraying legal  
ownership or divisions of land for purposes  
of zoning or subdivision law.



Agricultural Preserve  
Washington Irrigated Colony - Plat Bk.2, Pg.4

Assessor's Map Bk.335 - Pg.07  
County of Fresno, Calif.

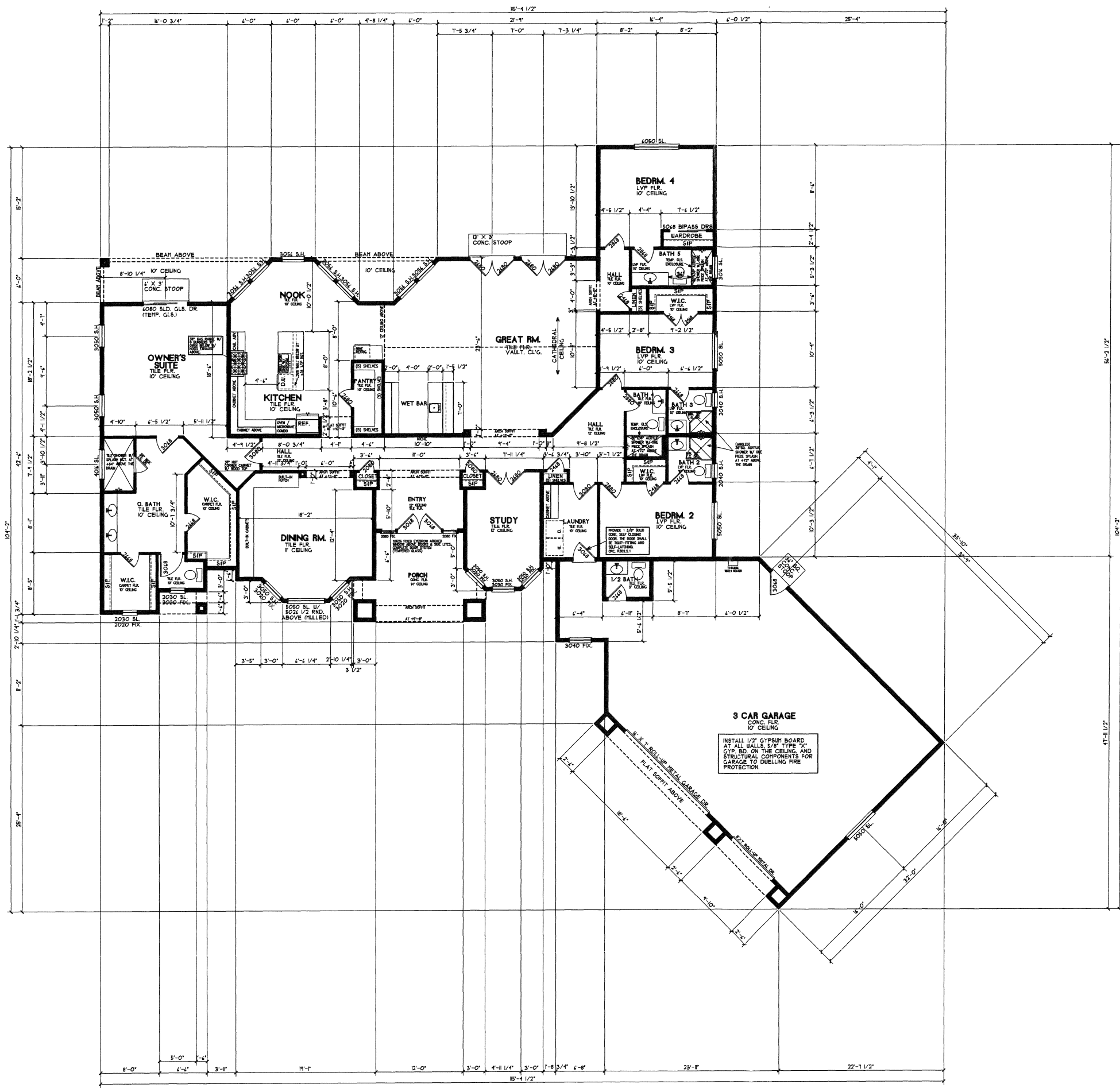
Note - Assessor's Block Numbers Shown in Ellipses  
Assessor's Parcel Numbers Shown in Circles



7349 S. CHERRY AVE.  
SITE PLAN

SCALE: 1"=40'-0"





NOTE: THE PERMIT FOR THIS PROJECT REQUIRES FIRE SPRINKLERS

NOTE: FINGER JOINTED STUDS IN STRUCTURAL WALLS (BEARING OR SHEAR) SHALL BE APPROVED AND ARE NOT ALLOWED AT HOLDDOWN LOCATIONS.

NOTE: GAS FIREPLACE OR DECORATIVE GAS APPLIANCE WITH STANDING PILOT SHALL COMPLY WITH TABLE 4-2 OF THE 2022 CEC.

NOTE: THE MAXIMUM SIZE OF OPENINGS IN HORIZONTAL DIAPHRAGMS ARE NOT TO EXCEED 24 INCHES WITHOUT BLOODING.

NOTE: 160 COMMON NAILS ARE NOT TO BE USED FOR NAILING INTO BOTTOM CHORD OF TRUSS.

COMPLY WITH TABLE R602.3(1) FASTENER SCHEDULE

CALIFORNIA GREEN BUILDING STANDARDS: REFER TO SHEET GB.1 & GB.2 FOR THE MANDATORY REQUIREMENTS FOR MEETING THE CALIFORNIA GREEN BUILDING STANDARDS, CHAPTER 4, RESIDENTIAL MANDATORY FEATURES.

NOTE: ALL FASTENERS AND CONNECTORS THAT ARE IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (CRC R311.3.1)

GLAZING: [CRC R308.4.5] HAZARDOUS LOCATIONS  
S. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 6" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE

NOTE: 18" DEEP WINDOWS ABOVE A TUB & SHOWER LOCATION ARE NOT REQUIRED TO HAVE TEMPERED GLASS. THE SILL HEIGHT MEASURED VERTICALLY FROM THE STANDING SURFACE EXCEEDS 60".

NOTE: WATER CLOSETS SHALL BE CAPABLE OF USING A MAXIMUM OF 1.28 GALLONS PER FLUSH. [CPC 403.2.1]

NOTE: A. THE APPROVED TRUSS DRAWINGS MUST BE ON THE JOB SITE FOR INSPECTION PURPOSES.  
B. DO NOT USE STRAPS NAILED INTO NARROW SIDE OF TRUSS CHORDS WITHOUT TRUSS ENGINEER APPROVAL.  
C. REFER TO TRUSS DIAGRAMS FOR MANUFACTURER'S WEB BRACING LOCATIONS.

DATE DRAWN: 8-2024  
REVISIONS: DATE: 9-2024  
DATE: 12-2024  
DATE:  
DESIGNER SINCE 1985

GENERAL NOTES:

- WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET. CURRENT CRC 301.1.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. WATER RESISTANT GYPSUM BD. IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS.
- ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. WINDOWS SHALL HAVE A CLEAR OPENING OF 5.75 SQ. FT. AND MINIMUM OPENINGS OF 20" WIDE AND 24" HIGH (CLEAR).
- PROVIDE A MAXIMUM SILL HEIGHT OF 44-INCHES ABOVE THE FINISHED FLOOR FOR ALL WINDOWS THAT ARE USED FOR EMERGENCY EXITS. (CRC R310.1)
- SAFETY GLAZING SHALL BE APPROVED IN THE FOLLOWING APPLICATIONS:
  - SHOWER DOORS
  - WINDOWS LOCATED IN OR ADJACENT TO A DOOR, WITHIN A 24" ARC OF DOOR
  - WINDOWS GREATER THAN 18" WIDE AND CLOSER THAN 18" TO THE FLOOR.
  - ALL PATIO AND SLIDING GLASS DOORS.
- SAFETY GLAZING ON DOORS OR WINDOWS SHALL BE LABELED AS SUCH FOR INSPECTION PURPOSES.
- PROVIDE EXHAUST VENTILATION FOR THE COOKTOP TO THE EXTERIOR OF THE BUILDING.
  - PROVIDE APPROVED EXHAUST DUCT UNDER SLAB OR FLOOR FOR INDUCTION TYPE, (DOWN DRAFT) EXHAUST VENTS.
  - THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.
- BATHTUB AND SHOWER SPACES:
  - BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
  - THE MINIMUM WIDTH OF A SHOWER DOOR SHALL BE 22".
- PROVIDE THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR INSPECTION FOR THE GAS APPLIANCE, FIREPLACE OR EPA RATED WOOD STOVE.

PLUMBING REQUIREMENTS:  
1. ALL SHOWER AND TUB/SHOWER VALVES MUST BE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING TYPES. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES. [CURRENT CPC]

VENTILATION FOR INDOOR AIR QUALITY: [CALIFORNIA ENERGY CODE, SECTION 150.0]  
D) ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2 VENTILATION AND ACCEPTABLE INDOOR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF THAT STANDARD. ASHRAE STANDARD 62.2 CONTINUOUS OPERATION OF CENTRAL FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATION SYSTEMS IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED IN SECTION 4 OF ASHRAE STANDARD 62.2. ADDITIONALLY, ALL DWELLING UNITS SHALL MEET THE FOLLOWING REQUIREMENTS:  
1. FIELD VERIFICATION AND DIAGNOSTIC TESTING:  
A. AERFLOW PERFORMANCE. THE WHOLE-BUILDING VENTILATION AIRFLOW REQUIRED BY SECTION 4 OF ASHRAE STANDARD 62.2 SHALL BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING IN ACCORDANCE WITH THE APPLICABLE PROCEDURES SPECIFIED IN REFERENCE RESIDENTIAL APPROX RAL.7.

NOTE: BATHROOM EXHAUST FANS [CRC R303.3.1]  
EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4, AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5.

NOTE: KITCHEN EXHAUST OUTLETS SHALL TERMINATE AT LEAST TWO FEET ABOVE THE ROOF AND SHALL EXTEND AT LEAST TEN FEET ABOVE THE ADJACENT GRADE LEVEL. [CPC R602.1.2]

FLOOR PLAN

FLOOR AREA	
TOTAL LIVING AREA:	3734 SQ.FT.
GARAGE:	1366 SQ.FT.
COVERED PORCH:	180 SQ.FT.
REAR ROOF OVERHANG:	185 SQ.FT.

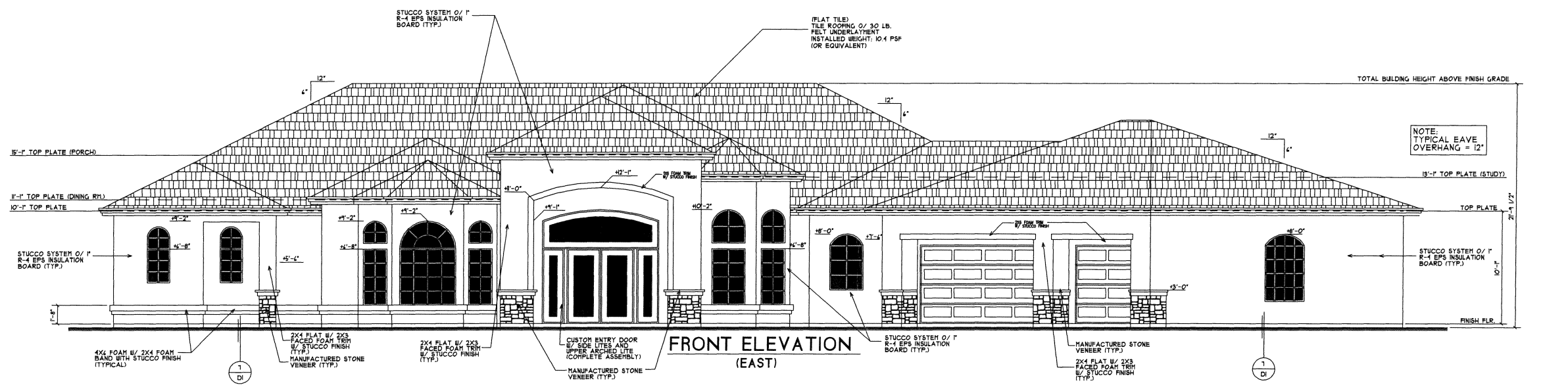
**RP** **RON POPE & ASSOCIATES**  
468 W. KENOSHA AVE. CLOVIS, CA. 93819  
(559) 392-2708  
E-MAIL: ron.pope101@yahoo.com

**YANG RESIDENCE** JOB NO: JB:3734  
DRAWN BY: RON POPE SHEET NO:  
SCALE: 3/16" = 1'-0" **A-2**

DATE DRAWN:	9-2024
REVISIONS:	
DATE:	12-2024
DESIGNER:	RON POPE
DATE:	

**GENERAL NOTES:**

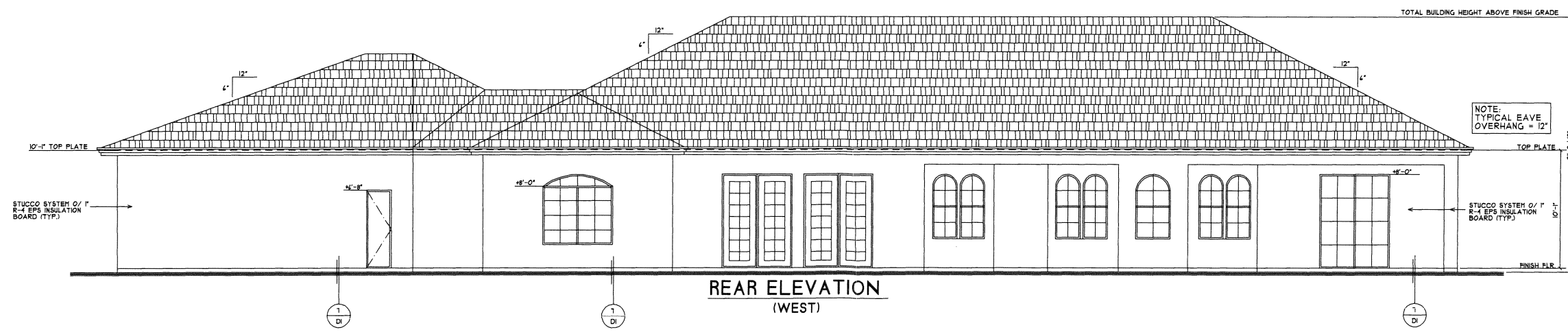
- ROOF COVERING SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT CRC.
  - PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE STUCCO IS APPLIED OVER PLYWOOD SHEATHING.
  - NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT THE FREEZE BLOCK.
  - PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS. ALSO, PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ADJUTS THE WALL.
  - PROVIDE FOR ALL TYPES OF ROOF SHEET METAL VALLEY FLASHING WITH A 36-INCH WIDE UNDERLAMENT DIRECTLY UNDER FLASHING AND OVER NORMAL REQUIRED UNDERLAMENT.
  - WEEP SCREED SHALL BE 25 GAUGE "J" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.
  - AN ANTI-PONDING DEVICE IS REQUIRED AT THE BOTTOM COURSE OF ALL TILE ROOFS WHERE A RAISED FACHA BOARD IS USED.
- EXTERIOR LATH MATERIALS:**
- EAGLE ONE-COAT EXTERIOR STUCCO SYSTEM, ESR-2772
  - THE MAXIMUM COATING THICKNESS IS 1/2"
  - PROVIDE ONE LAYER OF GRADE "D" BUILDING PAPER AND TWO LAYERS OVER ANY PLYWOOD SHEATHING.
  - APPLY 1" TO 1 1/2" THICK EXPANDED POLYSTYRENE (EPS) INSULATION BOARD.
  - APPLY WIRE LATH THAT COMPLIES WITH USE M. 20 GAUGE, 1 INCH GALVANIZED STEEL WOVEN WIRE FABRIC.
  - CAULKING: ACRYLIC LATEX CAULKING MATERIAL COMPLYING WITH ASTM C 824.
  - ALL TRIM, SCREDS AND CORNER REINFORCEMENT MUST HAVE GALVANIZED STEEL OR APPROVED PLASTIC.
  - WEEP SCREED SHALL BE 25 GAUGE "J" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.
  - LATH AND PLASTER SHALL BE INSTALLED PER CRC-R41.3
- EPS FOAM INSULATION (THERMAL BARRIER)**
- INSULFOAM LLC  
6004 NORTH WESTGATE BOULEVARD, SUITE 120  
TACOMA WASHINGTON, 98406 (852) 447-5213  
THERMAL BUILDING CONCEPTS LLC  
1366 ELON DRIVE, WAUKON, IOWA, 52172  
ESR-1788
  - INSULFOAM EXPANDED POLYSTYRENE (EPS) AND R-TECH AND THERMAL 3MT INSULATION BOARDS.
  - INSULFOAM EXPANDED POLYSTYRENE (EPS) AND R-TECH INSULATION BOARDS ARE EPS FOAM PLASTIC BOARDS USED AS NON-STRUCTURAL THERMAL INSULATION IN WALL CAVITIES OR CEILING ASSEMBLIES, DOOR CAVITIES, ROOFS AND AS EXTERIOR PERIMETER INSULATION AROUND CONCRETE SLAB EDGES, ON FOUNDATION WALLS OR UNDER FLAT CONCRETE SLAB ON GRADE CONSTRUCTION, EXCEPT IN AREAS WHERE THE PROBABILITY OF TERMITE EXPOSURE IS "VERY HEAVY" AS DEFINED IN IRC SECTION 2603.8 AND IRC SECTION R318.4. THE INSULATION MAY BE USED ON THE OUTSIDE FACES OF EXTERIOR WALLS OF TYPE V-B (BC) CONSTRUCTION OF STRUCTURES CONSTRUCTED IN ACCORDANCE WITH THE IRC. THE INSULATION BOARDS MAY BE USED ON WALLS IN ATTICS AND CRAWL SPACES WITH NO COVERING APPLIED TO THE ATTIC OR CRAWL SPACE SIDE OF THE FOAM PLASTIC. WHEN THE BOARDS ARE INSTALLED IN ACCORDANCE WITH SECTION 4.2, THE R-TECH BOARDS MAY BE USED AS AN ALTERNATIVE TO THE WATER-RESISTIVE BARRIERS SPECIFIED IN THE BC OR IRC. WHEN INSTALLED AS SET FORTH IN SECTION 4.3, THERMAL 3MT INSULATION BOARDS ARE IDENTICAL TO R-TECH INSULATION BOARDS AND MAY BE USED AND INSTALLED IN THE SAME MANNER AS R-TECH INSULATION BOARDS.
  - PROVIDE A THERMAL BARRIER BETWEEN THE INTERIOR OF THE STRUCTURE AND THE FOAM SUBSTRATE, INCLUDING ATTIC AND GARAGE SPACE.
- NOTE: THE INSULFOAM INSULATION IS A QUALIFIED THERMAL BARRIER [CRC 2603.4]



**FRONT ELEVATION (EAST)**

**FASCIA BOARD:**  
INSTALL 2X8 FASCIA BOARD (TYPICAL)  
INSTALL METAL RAIN GUTTERS (TYP.)

- MANUFACTURED VENEER NOTES:**
- MANUFACTURER: ELDERADO STONE CORPORATION, STONEDRIFT INDUSTRIES
  - PRECAST CONCRETE BRICK AND STONE VENEER.
  - REPORT NO. ESR-1215
  - INSTALLATION OF ELDERADO STONE PRECAST STONE VENEER MUST COMPLY WITH THE ABOVE NOTED REPORT, THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS, AND THE APPLICABLE CODE. THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS MUST BE AVAILABLE AT THE JOBSITE AT ALL TIMES DURING INSTALLATION. THE VENEER MAY BE APPLIED OVER BACKINGS OF CEMENT PLASTER, CONCRETE OR CONCRETE MASONRY.
  - PROVIDE 2-LAYERS OF BUILDING PAPER BEHIND THE VENEER PER [CRC R703.12 AND R703.7.3]



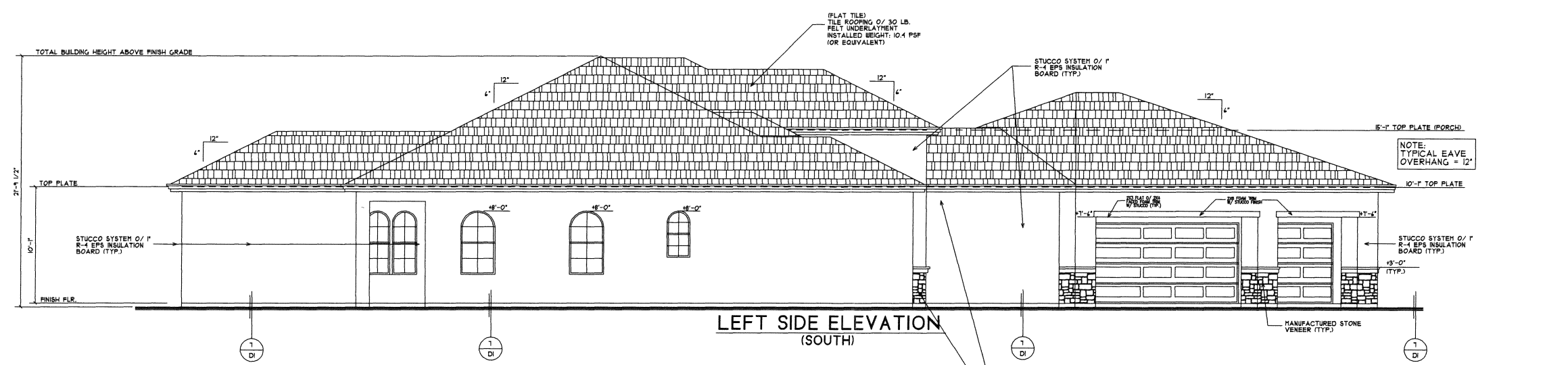
**REAR ELEVATION (WEST)**

**EXTERIOR ELEVATIONS**

	<b>RON POPE &amp; ASSOCIATES</b> 468 W. KENOSHA AVE. CLOVIS, CA. 93819 (559) 392-2706 E-MAIL: ron.pope@1017@yahoo.com
	JOB NO.: JB-3134 SHEET NO.: A-3
YANG RESIDENCE DRAWN BY: RON POPE SCALE: 1/4" = 1'-0"	JOB NO.: JB-3134 SHEET NO.: A-3

**GENERAL NOTES:**

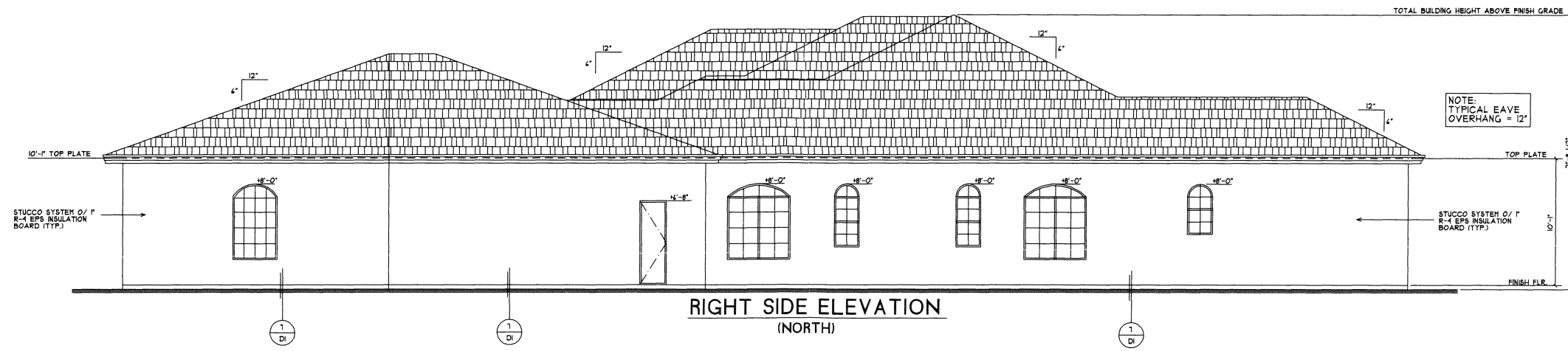
- ROOF COVERING SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT DRC.
  - PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE STUCCO IS APPLIED OVER PLYWOOD SHEATHING.
  - NO EAVE NOTCHES ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT THE FREEZING BLOCK.
  - PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS ALSO. PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
  - PROVIDE FOR ALL TYPES OF ROOF SHEET METAL VALLEY FLASHING WITH A 36-INCH WIDE UNDERLAYMENT DIRECTLY UNDER FLASHING AND OVER NORMAL REQUIRED UNDERLAYMENT.
  - WEEP SCREED SHALL BE 26 GAUGE "D" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.
  - AN ANTI-PONDING DEVICE IS REQUIRED AT THE BOTTOM COURSE OF ALL TILE ROOFS WHERE A RAISED FACIA BOARD IS USED.
- EXTERIOR LATH MATERIALS:**
- EAGLE ONE-COAT EXTERIOR STUCCO SYSTEM, ESR-2772
  - THE MAXIMUM COATING THICKNESS IS 1/2".
  - PROVIDE ONE LAYER OF GRADE "D" BUILDING PAPER, AND TWO LAYERS OVER ANY PLYWOOD SHEATHING.
  - APPLY 1" TO 1 1/2" THICK EXPANDED POLYSTYRENE (EPS) INSULATION BOARD.
  - APPLY WIRE LATH THAT COMPLIES WITH USE #1 20 GAUGE, 1 INCH GALVANIZED STEEL WOVEN WIRE FABRIC.
  - CAULKING: ACRYLIC LATEX CAULKING MATERIAL COMPLYING WITH ASTM C 834.
  - ALL TRIM, SCREEDS AND CORNER REINFORCEMENT MUST HAVE GALVANIZED STEEL OR APPROVED PLASTIC.
  - WEEP SCREED SHALL BE 26 GAUGE "D" METAL AND SHALL BE INSTALLED AT A MIN. OF 4" ELEV. ABOVE GRADE AND 2" ABOVE ANY PAVED SURFACE.
  - LATH AND PLASTER SHALL BE INSTALLED PER IRC-R601.3 EPS FOAM INSULATION (THERMAL BARRIER)
- INSULFOAM LLC**  
 6004 NORTH WESTGATE BOULEVARD, SUITE 120  
 TACOMA WASHINGTON, 98408 (855) 443-5213  
**THERMAL BUILDING CONCEPTS LLC**  
 1366 GLOM DRIVE, WAUKOK, IOWA, 52172
- ESR-1768**  
 INSULFOAM EXPANDED POLYSTYRENE (EPS) AND R-TECH AND THERMAL 3HT INSULATION BOARDS.  
 2.0 USES:  
 INSULFOAM EXPANDED POLYSTYRENE (EPS) AND R-TECH INSULATION BOARDS ARE EPS FOAM PLASTIC BOARDS USED AS NON-STRUCTURAL THERMAL INSULATION IN WALL CHIMNEYS OR CEILING ASSEMBLIES, DOOR CAVITIES, ROOFS AND AS EXTERIOR PERIMETER INSULATION AROUND CONCRETE SLAB EDGES ON FOUNDATION WALLS OR UNDER FLAT CONCRETE SLAB ON GRADE CONSTRUCTION, EXCEPT IN AREAS WHERE THE PROBABILITY OF TERMITE EXPOSURE IS "VERY HEAVY" AS DEFINED IN IRC SECTION 2603.3 AND IRC SECTION 2603.4. THE INSULATION MAY BE USED ON THE OUTSIDE FACES OF EXTERIOR WALLS OF TYPE V-B (BC) CONSTRUCTION, OR STRUCTURES CONSTRUCTED IN ACCORDANCE WITH THE IRC. THE INSULATION BOARDS MAY BE USED ON WALLS IN ATTICS AND CRAWL SPACES WITH NO COVERING APPLIED TO THE ATTIC OR CRAWL SPACE SIDE OF THE FOAM PLASTIC, WHEN THE BOARDS ARE INSTALLED IN ACCORDANCE WITH SECTION 4.2. THE R-TECH BOARDS MAY BE USED AS AN ALTERNATE TO THE WATER-RESISTIVE BARRIERS SPECIFIED IN THE BC OR IRC, WHEN INSTALLED AS SET FORTH IN SECTION 4.1. THERMAL 3HT INSULATION BOARDS ARE IDENTICAL TO R-TECH INSULATION BOARDS AND MAY BE USED AND INSTALLED IN THE SAME MANNER AS R-TECH INSULATION BOARDS.
- PROVIDE A THERMAL BARRIER BETWEEN THE INTERIOR OF THE STRUCTURE AND THE FOAM SUBSTRATE, INCLUDING ATTIC AND CRAWL SPACES.  
 NOTE: THE INSULFOAM INSULATION IS A QUALIFIED THERMAL BARRIER. [IRC 2603.4]



**LEFT SIDE ELEVATION (SOUTH)**

**FASCIA BOARD:**  
 INSTALL 2X8 FASCIA BOARD (TYPICAL)  
 INSTALL METAL RAIN GUTTERS (TYP.)

- MANUFACTURED VENEER NOTES:**
- MANUFACTURER: ELDERADO STONE CORPORATION STONECRAFT INDUSTRIES
  - PRECAST CONCRETE BRICK AND STONE VENEER.
  - REPORT NO. ESR-1215
  - INSTALLATION OF ELDERADO STONE PRECAST STONE VENEER MUST COMPLY WITH THE ABOVE NOTED REPORT, THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS, AND THE APPLICABLE CODE. THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS MUST BE AVAILABLE AT THE JOBSITE AT ALL TIMES DURING INSTALLATION. THE VENEER MAY BE APPLIED OVER BACKINGS OF CEMENT PLASTER, CONCRETE OR CONCRETE MASONRY.
  - PROVIDE 2-LAYERS OF BUILDING PAPER BEHIND THE VENEER PER [IRC R703.12 AND R703.7.3]



**RIGHT SIDE ELEVATION (NORTH)**

**EXTERIOR ELEVATIONS**

**RON POPE & ASSOCIATES**  
 468 W. KENOSHA AVE. CLOVIS, CA. 93819  
 (559) 392-2706  
 E-MAIL: ron.pope1017@yahoo.com

**YANG RESIDENCE** JOB NO: JB:3734  
 DRAWN BY: RON POPE SHEET NO:  
 SCALE: 1/4" = 1'-0" **A-4**



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## INITIAL STUDY APPLICATION

### INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. \_\_\_\_\_

Project No(s). \_\_\_\_\_

Application Rec'd.: \_\_\_\_\_

### GENERAL INFORMATION

1. Property Owner: Kham Sibuan E. Glang Phone/Fax \_\_\_\_\_

Mailing Address: 1349 S. Cherry Fresno CA 93721  
Street City State/Zip

2. Applicant: Kham Sibuan E. Glang Phone/Fax: \_\_\_\_\_

Mailing Address: 1349 S. Cherry Fresno CA 93721  
Street City State/Zip

3. Representative: Kayla Bryan Phone/Fax: \_\_\_\_\_

Mailing Address: 1035 W. St Fresno CA 93721  
Street City State/Zip

4. Proposed Project: New home build

5. Project Location: 7349 S. Cherry approx mid way

between grand yard and other home # 1504

6. Project Address: 7349 S. Cherry Ave Fresno CA

7. Section/Township/Range:     /    /     8. Parcel Size: 6.21

9. Assessor's Parcel No. 33507050 OVER.....

10. Land Conservation Contract No. (If applicable): 7773

11. What other agencies will you need to get permits or authorization from:

- |  |  |
|--|--|
| <input type="checkbox"/> LAFCo (annexation or extension of services) | <input type="checkbox"/> SJVUAPCD (Air Pollution Control District) |
| <input type="checkbox"/> CALTRANS                                    | <input type="checkbox"/> Reclamation Board                         |
| <input type="checkbox"/> Division of Aeronautics                     | <input type="checkbox"/> Department of Energy                      |
| <input type="checkbox"/> Water Quality Control Board                 | <input type="checkbox"/> Airport Land Use Commission               |
| <input type="checkbox"/> Other _____                                 |  |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969?  Yes  No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District<sup>1</sup>: \_\_\_\_\_

14. Existing General Plan Land Use Designation<sup>1</sup>: \_\_\_\_\_

**ENVIRONMENTAL INFORMATION**

15. Present land use: Crop land, Field Crops, Row Crops, all soil classe  
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

\_\_\_\_\_  
\_\_\_\_\_

Describe the major vegetative cover: dirt

Any perennial or intermittent water courses? If so, show on map: \_\_\_\_\_

Is property in a flood-prone area? Describe:  
No

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: ag

South: ag

East: ag

West: ag



24. Anticipated volume of water to be used (gallons per day)<sup>2</sup>: Average
25. Proposed method of liquid waste disposal:  
 septic system/individual  
 community system<sup>3</sup>-name \_\_\_\_\_
26. Estimated volume of liquid waste (gallons per day)<sup>2</sup>: Average for single family home
27. Anticipated type(s) of liquid waste: typical of septic
28. Anticipated type(s) of hazardous wastes<sup>2</sup>: Septic waste
29. Anticipated volume of hazardous wastes<sup>2</sup>: typical septic waste for average home
30. Proposed method of hazardous waste disposal<sup>2</sup>: septic
31. Anticipated type(s) of solid waste: Stool in septic or refuse in bin
32. Anticipated amount of solid waste (tons or cubic yards per day): average
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): 0
34. Proposed method of solid waste disposal: septic & provide receptacles for trash
35. Fire protection district(s) serving this area: \_\_\_\_\_
36. Has a previous application been processed on this site? If so, list title and date: yes
37. Do you have any underground storage tanks (except septic tanks)? Yes \_\_\_\_\_ No
38. If yes, are they currently in use? Yes \_\_\_\_\_ No \_\_\_\_\_

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

Kayla Bry  
SIGNATURE

2/6/2025  
DATE

<sup>1</sup>Refer to Development Services and Capital Projects Conference Checklist

<sup>2</sup>For assistance, contact Environmental Health System, (559) 600-3357

<sup>3</sup>For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

# NOTICE AND ACKNOWLEDGMENT

## INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

## STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2024: \$4,051.25 for an EIR; \$2,916.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.

  
Applicant's Signature

9/22/25  
Date

FRESNO County Recorder  
Paul Dictos, C.P.A.  
DOC-  
2014-0123130-00  
Acct 3059-Fidelity National Title - Fresno  
Wednesday, OCT 29, 2014 12:48:55  
Ttl Pd \$25.00 Rcpt # 0004201111  
APR/R7/1-3

RECORDING REQUESTED BY:  
Fidelity National Title Company  
Order No.: FAMC-0351400039  
Title No.: FFOM-TO14000227

When Recorded Mail Document To:  
Kham P. Boriboun and Eu Yang  
7349 South Cherry Ave.  
Fresno, CA 93725

APN/Parcel ID(s): 335-070-50

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**INTERSPOUSAL TRANSFER DEED**  
(Excluded from reappraisal under California Constitution Article 13 A Section 1 et seq.)

The undersigned grantor(s) declare(s)

- This transfer is exempt from the documentary transfer tax.  
 The documentary transfer tax is \$ \_\_\_\_\_ and is computed on:  
 the full value of the interest or property conveyed.  
 the full value less the liens or encumbrances remaining thereon at the time of sale.  
The property is located in  the City of Fresno.

This is an Interspousal Transfer and not a change in ownership under Section 63 of the Revenue and Taxation Code and Grantor(s) has (have) checked the applicable exclusion from reappraisal:

- A creation, transfer, or termination, solely between spouses, of any co-owner's interest.

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,** Kham Phone Boriboun, a married man as his sole and separate property

**hereby GRANT(S) to** Kham P. Boriboun and Eu Yang, husband and wife as joint tenants

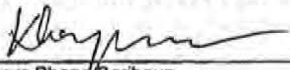
**the real property in the City of Fresno, County of Fresno, State of California:**

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

The grantor is executing this instrument for the purpose of relinquishing all of grantor's rights, title and interest, including, but not limited to, any community property interest in and to the land described herein and placing title in the name of the grantee as his/her separate property.

Dated: October 17, 2014

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

  
\_\_\_\_\_  
Kham Phone Boriboun

**MAIL TAX STATEMENTS AS DIRECTED ABOVE**

INTERSPOUSAL TRANSFER DEED  
(continued)

APN/Parcel ID(s): 335-070-50

State of CA  
County of Fresno

On 10/18/14 before me, Susan Stuart, Notary Public,  
(here insert name and title of the officer)

personally appeared Kham Phone Boriborn KHAM PHONE BORIBORN  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the  
within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies),  
and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s)  
acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and  
correct.

WITNESS my hand and official seal.

Susan Stuart  
Signature

(Seal)



MAIL TAX STATEMENTS AS DIRECTED ABOVE

**EXHIBIT "A"**  
Legal Description

**For APN/Parcel ID(s): 335-070-50**

---

LOT 69 OF WASHINGTON IRRIGATED COLONY, AS PER MAP RECORDED IN BOOK 2 PAGE 1 OF PLATS,  
RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION CONVEYED BY DEED DATED APRIL 2, 1971, FROM THE  
DEPARTMENT OF VETERAN AFFAIRS OF THE STATE OF CALIFORNIA, TO THE STATE OF CALIFORNIA.

ALSO EXCEPTING THEREFROM ALL THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA IN A DEED  
RECORDED JANUARY 17, 1996, INSTRUMENT NO. 96-006158, OFFICIAL RECORDS.

**MAIL TAX STATEMENTS AS DIRECTED ABOVE**