



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: February 4, 2026

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director Planning  
Development Services and Capital Projects, Attn: Chris Motta, Division Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga,  
Principal Planner  
Development Services and Capital Projects, Attn: James Anders,  
Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: Tawanda  
Mtunga, Principal Planner  
Development Services and Capital Projects, Policy Planning, Attn:  
Tawanda Mtunga, Principal Planner  
Development Services and Capital Projects, Zoning & Permit Review,  
Attn: Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Development Engineering,  
Attn: Laurie Kennedy, Office Assistant III  
Water and Natural Resources Division, Attn: Augustine Ramirez, Division Manager  
Water and Natural Resources Division, Attn: Roy Jimenez, Senior Planner  
Water and Natural Resources Division, Transportation Planning, Attn: Hector Luna,  
Senior Planner/Darren Findley, Senior Engineering Technician/Brody Hines,  
Planner  
Water and Natural Resources Division, Community Development, Attn: Yvette  
Quiroga, Principal Planner  
Design Division, Attn: Mohammad Alimi, Division Manager; Erin Haagenson,  
Program Manager  
Resources Division, Attn: Daniel Amann, Interim Division Manger  
Resources Division, Special Districts, Attn: Christopher Bump, Special Districts  
Manager  
Road Maintenance and Operations Division, Attn: Mohamoud Mohamed, Senior  
Engineer  
Department of Public Health, Environmental Health Division, Attn: Deep Sidhu,  
Supervising Environmental Health Specialist; Kevin Tsuda, Environmental  
Health Specialist  
Fresno County Fire Protection District, Attn: Diane Rodriguez; [fkuprevention-  
planning@fire.ca.gov](mailto:fkupreventionplanning@fire.ca.gov)  
Fresno County Department of Agriculture, Attn: Melissa Cregan  
Fresno Metropolitan Flood Control District, Attn: Frank Fowler, Chair,  
[developmentreview@fresnofloodcontrol.org](mailto:developmentreview@fresnofloodcontrol.org); Peter Sanchez, General  
Manager, [peters@fresnofloodcontrol.org](mailto:peters@fresnofloodcontrol.org)  
California Department of Fish and Wildlife, Attn: Jim Vang, Environmental Scientist;  
Craig Bailey, Environmental Scientist; [R4CEQA@wildlife.ca.gov](mailto:R4CEQA@wildlife.ca.gov)

FROM: Oscar Gake, Planner  
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4814, Initial Study 8858

APPLICANT: Roger Hurtado

DUE DATE: **February 19, 2026**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow an expansion of an existing temple facility on a 7.53-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District.

The subject parcel is located on the south side of E. Alluvial Ave., approximately 0.77-miles from the City limits of the City of Clovis. (APN: 565-042-13) (ADDRESS: 7699 E. Alluvial Ave.) (Sup. Dist. 5).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **February 19, 2026**. Any comments received after this date may not be used.

**If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Oscar Gake, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4224, or email [ogake@fresnocountyca.gov](mailto:ogake@fresnocountyca.gov).

OG  
G:\4360Devs&Pln\PROJSEC\PROJDOCS\DRA\4800-4899\4814\notices\DRA 4814 Notice of Application.docx  
*310Activity Code (Internal Review): 2395*

Enclosures



Development Services and Capital Projects Division

MAIL TO: 1645 SHAW AVE STE. 101 CLOVIS, CA 93611

Pre-Application Review

Department of Public Works and Planning

NUMBER: APPLICANT: PHONE:

PROPERTY LOCATION: APN(s): ALCC: No Yes # VIOLATION NO. CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/2 MILE OF CITY: No Yes ZONE DISTRICT: SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes LOT STATUS: Zoning: ( ) Conforms; ( ) Legal Non-Conforming lot; ( ) Deed Review Req'd (see Form #236) Merger: May be subject to merger: No Yes ZM# Initiated In process Map Act: ( ) Lot of Rec. Map; ( ) On '72 rolls; ( ) Other; ( ) Deeds Req'd (see Form #236) SCHOOL FEES: No Yes DISTRICT: PERMIT JACKET: No Yes FMFCD FEE AREA: ( ) Inside / ( ) Outside District No.: FLOOD PRONE: No Yes PROPOSAL

COMMENTS: ORD. SECTION(S): BY: DATE:

GENERAL PLAN POLICIES: LAND USE DESIGNATION: COMMUNITY PLAN: REGIONAL PLAN: SPECIFIC PLAN: SPECIAL POLICIES: SPHERE OF INFLUENCE: ANNEX REFERRAL (LU-G17/MOU): PROCEDURES AND FEES: ( ) GPA: ( ) MINOR VA: ( ) AA: ( ) HD: ( ) CUP: ( ) AG COMM: ( ) DRA: ( ) ALCC: ( ) VA: ( ) IS/PER\*: ( ) AT: ( ) Viol. (35%): ( ) TT: ( ) Other: ( ) PLA: Filing Fee: \$ COMMENTS: ( ) TPM: Pre-Application Fee: - \$269.90 ( ) TPMW: Total County Filing Fee:

FILING REQUIREMENTS: ( ) Land Use Applications and Fees ( ) This Pre-Application Review form ( ) Copy of Deed / Legal Description ( ) Photographs ( ) Letter Verifying Deed Review ( ) IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required. ( ) Site Plans - One (1) Copy (folded to 8.5"X11") \*PDF COPY PREFERRED ( ) Floor Plan & Elevations - 4 copies (folded to 8.5"X11") + 1 - 8.5"x11" reduction ( ) Project Description / Operational Statement (Typed) ( ) Statement of Variance Findings ( ) Statement of Intended Use (ALCC) ( ) Dependency Relationship Statement ( ) Resolution/Letter of Release from City of ( ) Nitrogen Loading Analysis or RWQCB supplemental treatment OTHER FILING FEES: ( ) Archaeological Inventory Fee: \$75 at time of filing (Separate check to CSU Bakersfield) ( ) CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,968.75) (Separate check to Fresno County Clerk for pass-thru to CDFW. Must be paid prior to IS closure and prior to setting hearing date.)

BY: DATE: PHONE NUMBER: (559) -

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY: ( ) COVENANT ( ) SITE PLAN REVIEW ( ) MAP CERTIFICATE ( ) BUILDING PLANS ( ) PARCEL MAP ( ) BUILDING PERMITS ( ) FINAL MAP ( ) WASTE FACILITIES PERMIT ( ) FMFCD FEES ( ) SCHOOL FEES ( ) ALUC or ALCC ( ) OTHER (see reverse side)

PLU # 113 Fee: \$269.90 Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

OVER.....



Fresno County Department of Public Works and Planning

Date Received:

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class )/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

The Phase 1 scope of work consists of a new 13,784 S.F. building along with site improvements. Future Phase 2 scope of work will entail of a 3,282 S.F. Building Expansion along with expansion of the parking lot.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: South side of E. Alluvial Ave.
between N. De Wolf Ave. and Leonard Ave.
Street address: 7695 E. Alluvial Ave.

APN: 565-04-213 Parcel size: 7.55 Acres Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s): N/A

I, Srikanth Gopalkrishna (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Table with 5 columns: Name, Address, City, Zip, Phone. Rows include SRIKANTH GOPALKRISHNA, Owner (Centerline Design, LLC), Applicant (Roger Hurtado), and Representative (Roger Hurtado).

CONTACT EMAIL: roger@clinedesignllc.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

UTILITIES AVAILABLE:

Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: Fee: \$
Ag Department Review: Fee: \$
Health Department Review: Fee: \$
Received By: Invoice No.: TOTAL: \$

WATER: Yes [ ] / No [ ]
Agency: On-Site Well
SEWER: Yes [ ] / No [ ]
Agency: On-Site Septic System

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: - T S/R E

Related Application(s):

APN # - -

Zone District:

APN # - -

Parcel Size:

APN # - -

APN # - -



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## AGENT AUTHORIZATION

### AUTHORIZATION OF AGENT TO ACT ON BEHALF OF PROPERTY OWNER

The Agent Authorization form is required whenever a property owner grants authority to an individual to submit and/or pursue a land use entitlement application on their behalf. This form must be completed by the property owner and submitted with the land use entitlement application to confirm that the property owner has granted authority to a representative to sign application forms on their behalf and represent them in matters related to a land use entitlement application.

***The below named person is hereby authorized to act on my behalf as agent in matters related to land use entitlement applications associated with the property listed below.***

_____ Agent Name (Print or Type)	_____ Centerline Design, LLC Company Name (Print or Type)
_____ 1645 Shaw Ave. Ste. 101 Mailing Address	_____ Clovis / CA / 93611 City / State / Zip Code
_____ 559-298-3060 Phone Number	_____ roger@clinedesignllc.com Email Address
_____ 565-04-213 Project APN	_____ 7695 E. Alluvial Ave. Project Street Address

A list consisting of \_\_\_\_ additional properties is attached (include the APN for each property).

Project Description (Print or Type):

\_\_\_\_\_  
The Phase 1 scope of work consists of a new 12,142 S.F. building along with site improvements.

\_\_\_\_\_  
Future Phase 2 will be expansion of 3,282 S.F. along with expansion of the parking lot.

***The undersigned declares under penalty of perjury that they own, possess, control or manage the property referenced in this authorization and that they have the authority to designate an agent to act on behalf of all the owners of said property. The undersigned acknowledges delegation of authority to the designated agent and retains full responsibility for any and all actions this agent makes on behalf of the owner.***

srikanth gopal  
\_\_\_\_\_  
Owner Signature

\_\_\_\_\_  
12/5/2025  
Date

\_\_\_\_\_  
SRIKANTH GOPAL  
Owner Name (Print or Type)

\_\_\_\_\_  
5593850027  
Phone Number

\_\_\_\_\_  
srirao09@gmail.com  
Email Address

*\* If the legal owner of the property is a corporation, company, partnership or LLC, provide a copy of a legal document with this authorization form showing that the individual signing this authorization form is a duly authorized partner, officer or owner of said corporation, company, partnership or LLC.*

G:\4360Devs&Pin\FORMS\F410 Agent Authorization 8-14-19.doc



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## INITIAL STUDY APPLICATION

### INSTRUCTIONS

*Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).*

OFFICE USE ONLY

IS No. \_\_\_\_\_

Project No(s). \_\_\_\_\_

Application Rec'd.: \_\_\_\_\_

### GENERAL INFORMATION

1. **Property Owner :** Hindu Temple of Fresno **Phone/Fax:** 559-385-0027

**Mailing Address:** 7699 E. Alluvial Ave. Clovis, CA, 93619  
**Street City State/Zip**

2. **Applicant :** Centerline Design, LLC **Phone/Fax:** 559-298-3060

**Mailing Address:** 1645 Shaw Ave. Clovis, CA, 93611  
**Street City State/Zip**

3. **Representative:** Roger Hurtado **Phone/Fax:** (559) 298-3060 ext. 13

**Mailing Address:** 1645 Shaw Ave. Clovis, CA, 93611  
**Street City State/Zip**

4. **Proposed Project:** Scope of project consists of new 13,784 S.F. building Phase 1, Hindu Temple Community Hall, with site improvements. Future Phase 2 will be expansion of 3,283 S.F. along with parking expansion.

5. **Project Location:** South side of E. Alluvial Ave. between N. De Wolf Ace and Leonard Ave.

6. **Project Address:** 7695 E. Alluvial Ave., Clovis, CA, 93619

7. **Section/Township/Range:** 35 / 12 / 21 8. **Parcel Size:** 7.55 Acres

9. **Assessor's Parcel No.** 565-04-213 **OVER.....**

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<u>      </u> LAFCo (annexation or extension of services)	<u>      </u> SJVUAPCD (Air Pollution Control District)
<u>      </u> CALTRANS	<u>      </u> Reclamation Board
<u>      </u> Division of Aeronautics	<u>      </u> Department of Energy
<u>      </u> Water Quality Control Board	<u>      </u> Airport Land Use Commission
<u>      </u> Other _____	

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969?        Yes   x   No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District<sup>1</sup>: AL-20

14. Existing General Plan Land Use Designation<sup>1</sup>: AL- Agriculture - Irrigated Ag.

**ENVIRONMENTAL INFORMATION**

15. Present land use: Existing retention basin and natural vegetation  
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:  
Hindu Temple, Hall, Priest residences, water tank, fire pump, parking field

Describe the major vegetative cover: Native vegetation

Any perennial or intermittent water courses? If so, show on map: Yes

Is property in a flood-prone area? Describe:  
No

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Residential

South: Agricultural

East: Agricultural/Residential

West: Residential

17. **What land use(s) in the area may be impacted by your Project?:** Existing vegetation

18. **What land use(s) in the area may impact your project?:** None

19. **Transportation:**

**NOTE:** The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. **Will additional driveways from the proposed project site be necessary to access public roads?**  
           Yes      x   No

B. **Daily traffic generation:**

I.	<b>Residential - Number of Units</b>	<u>          </u> N/A
	<b>Lot Size</b>	<u>          </u> N/A
	<b>Single Family</b>	<u>          </u> N/A
	<b>Apartments</b>	<u>          </u> N/A

II.	<b>Commercial - Number of Employees</b>	<u>          </u> N/A
	<b>Number of Salesmen</b>	<u>          </u> 0
	<b>Number of Delivery Trucks</b>	<u>          </u> 1
	<b>Total Square Footage of Building</b>	<u>          </u> 13,784

III. **Describe and quantify other traffic generation activities:** \_\_\_\_\_  
           Weddings, Weekly religious ceremonies  
\_\_\_\_\_

20. **Describe any source(s) of noise from your project that may affect the surrounding area:** \_\_\_\_\_  
           Large events, i.e. Weddings, Religious ceremonies

21. **Describe any source(s) of noise in the area that may affect your project:** None

22. **Describe the probable source(s) of air pollution from your project:** None

23. **Proposed source of water:**  
( x ) private well  
( ) community system<sup>3</sup>--name: \_\_\_\_\_ OVER.....

- 24. *Anticipated volume of water to be used (gallons per day)*<sup>2</sup>: 100 gpd M-F, 300 gpd Sundays and special events
- 25. *Proposed method of liquid waste disposal:*  
 *septic system/individual*  
 *community system*<sup>3</sup>-name \_\_\_\_\_
- 26. *Estimated volume of liquid waste (gallons per day)*<sup>2</sup>: 100 gpd M-F, 300 gpd Sundays and special events
- 27. *Anticipated type(s) of liquid waste:* Restroom waste, kitchen waste on special event days.
- 28. *Anticipated type(s) of hazardous wastes*<sup>2</sup>: None
- 29. *Anticipated volume of hazardous wastes*<sup>2</sup>: None
- 30. *Proposed method of hazardous waste disposal*<sup>2</sup>: N/A
- 31. *Anticipated type(s) of solid waste:* Kitchen waste on special event days
- 32. *Anticipated amount of solid waste (tons or cubic yards per day):* 1/2 (.5) cubic yards
- 33. *Anticipated amount of waste that will be recycled (tons or cubic yards per day):* 1/4 (.25) cubic yards
- 34. *Proposed method of solid waste disposal:* Solid waste collection service
- 35. *Fire protection district(s) serving this area:* City of Clovis, Fire Department
- 36. *Has a previous application been processed on this site? If so, list title and date:* Yes, DRA No. 4375 August 5, 2015
- 37. *Do you have any underground storage tanks (except septic tanks)?* Yes \_\_\_\_\_ No
- 38. *If yes, are they currently in use?* Yes \_\_\_\_\_ No \_\_\_\_\_

**TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.**

Srikanth Gopalkrishna  
SIGNATURE

9/12/2025  
DATE

<sup>1</sup>Refer to Development Services and Capital Projects Conference Checklist  
<sup>2</sup>For assistance, contact Environmental Health System, (559) 600-3357  
<sup>3</sup>For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

(Revised 12/14/18)

# **NOTICE AND ACKNOWLEDGMENT**

## **INDEMNIFICATION AND DEFENSE**

*The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.*

## **STATE FISH AND WILDLIFE FEE**

*State law requires that specified fees (effective January 1, 2019: \$3,271.00 for an EIR; \$2,354.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.*

*The following projects are exempt from the fees:*

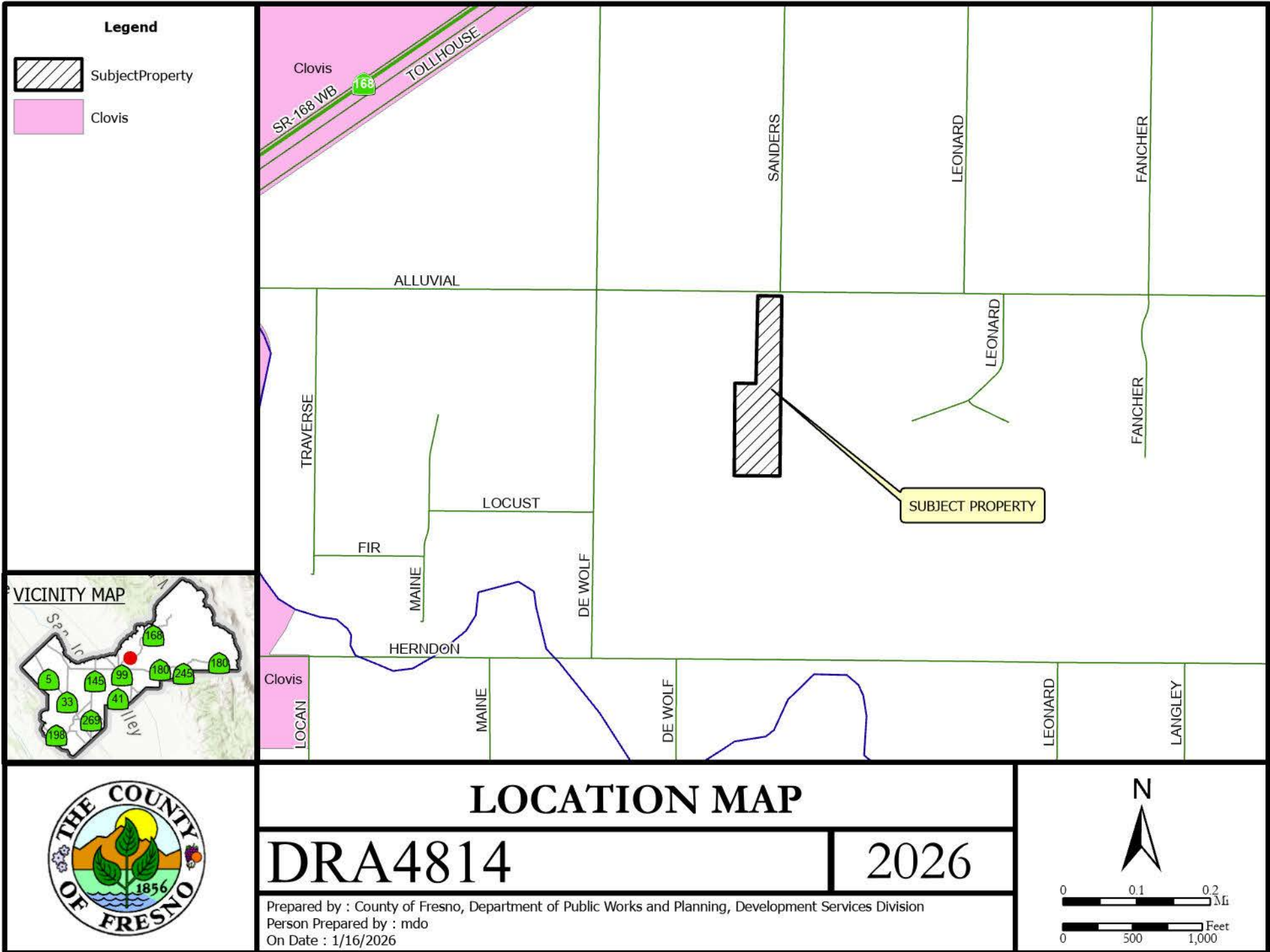
- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

*A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.*

*Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.*

*Srikanth Gopalkrishna*  
Applicant's Signature

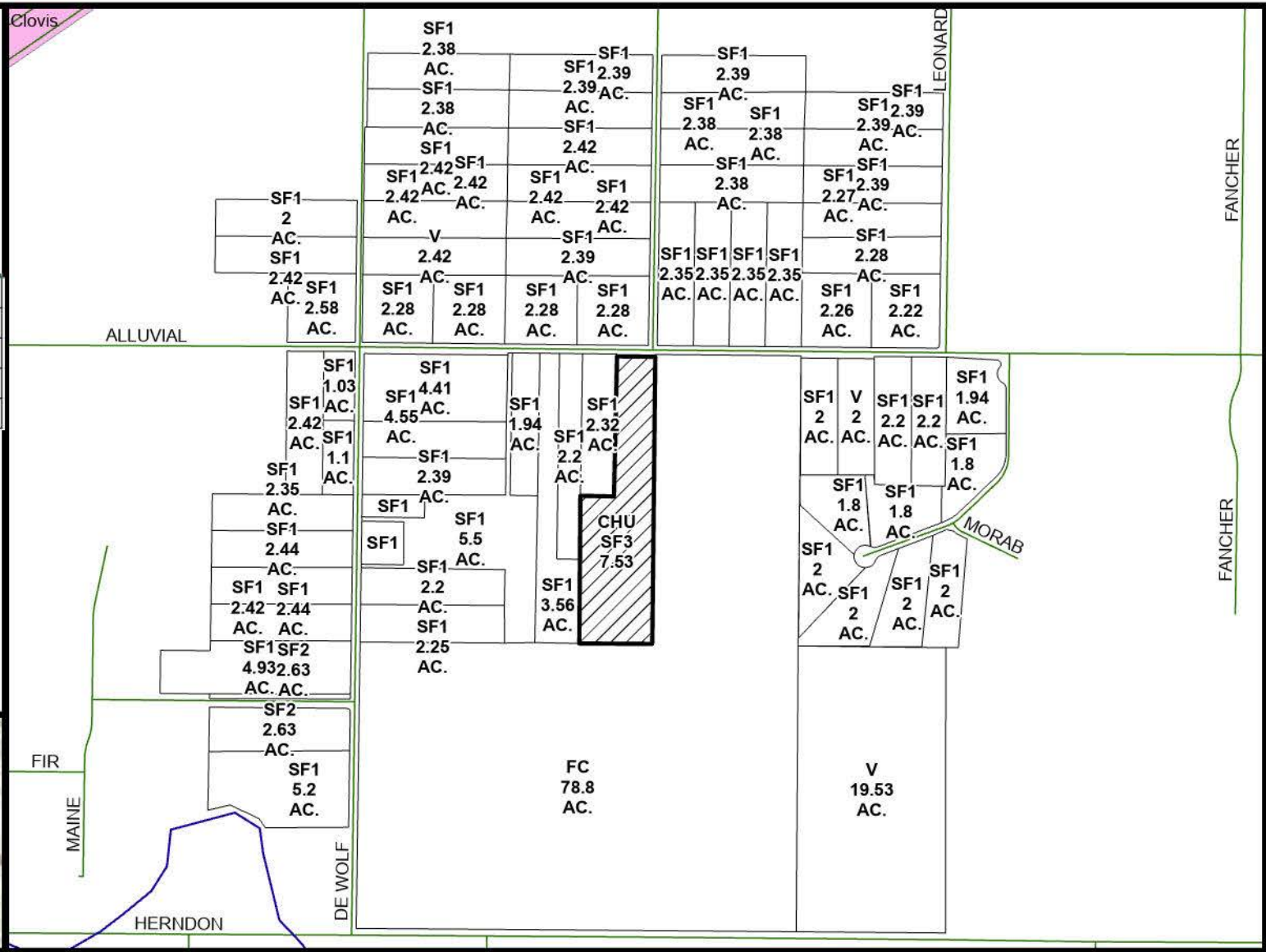
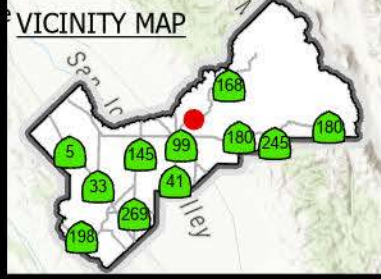
9/12/2025  
Date



**LEGEND:**

 Subject Property

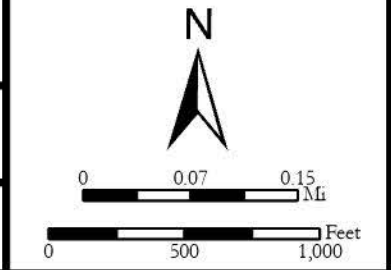
LEGEND
SF#- SINGLE FAMILY RESIDENCE
V - VACANT
CHU - CHURCH
FC - FIELD CROP

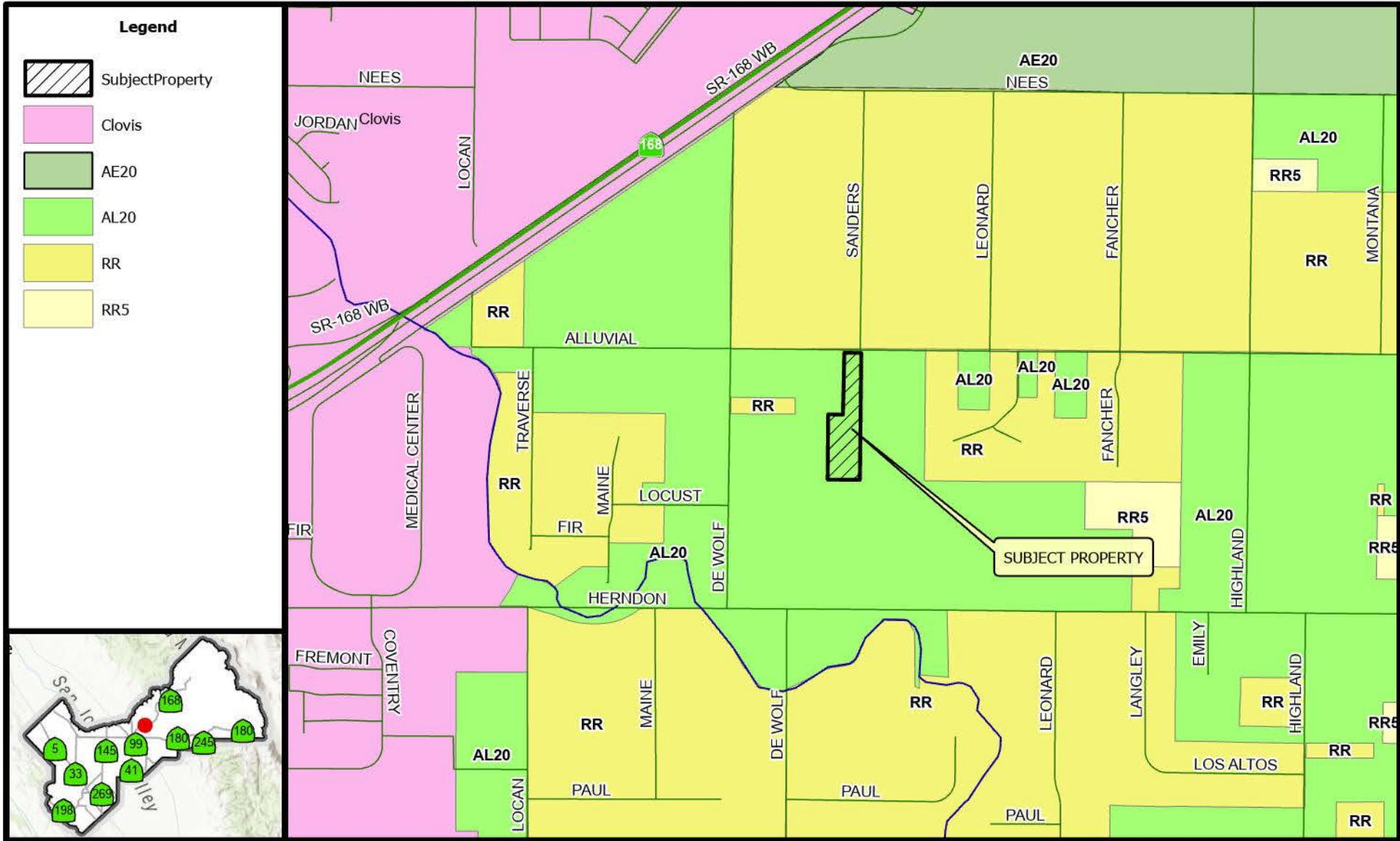








# Existing Land Use Map

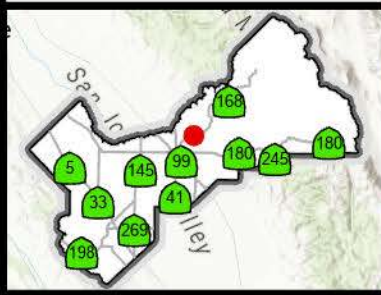
## DRA4814 | 2026

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mdo  
 On Date : 1/16/2026





- Legend**
-  SubjectProperty
  -  Clovis
  -  AE20
  -  AL20
  -  RR
  -  RR5

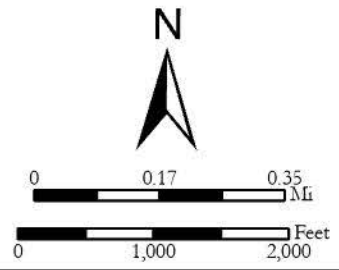


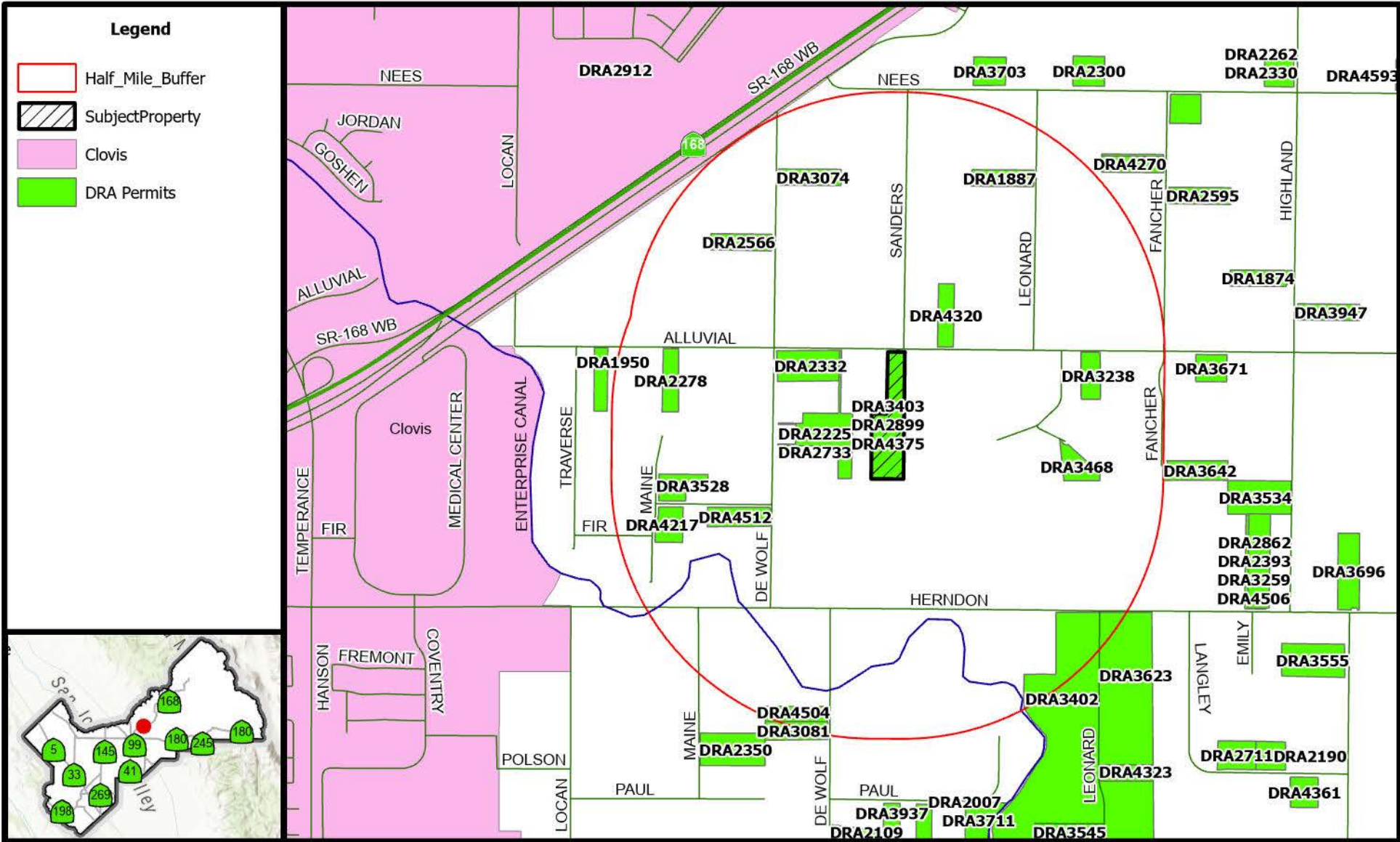
# Existing Zoning Map

DRA4814  
STR 35- 12S / 21E

2026

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mdo  
 On Date : 1/16/2026



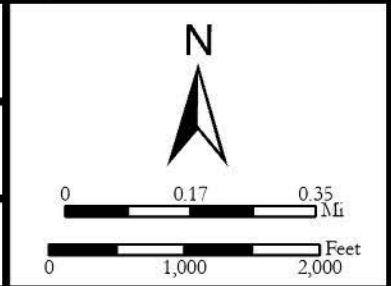


# Proximity Map

## DRA4814

## 2026

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mdo  
 On Date : 1/16/2026



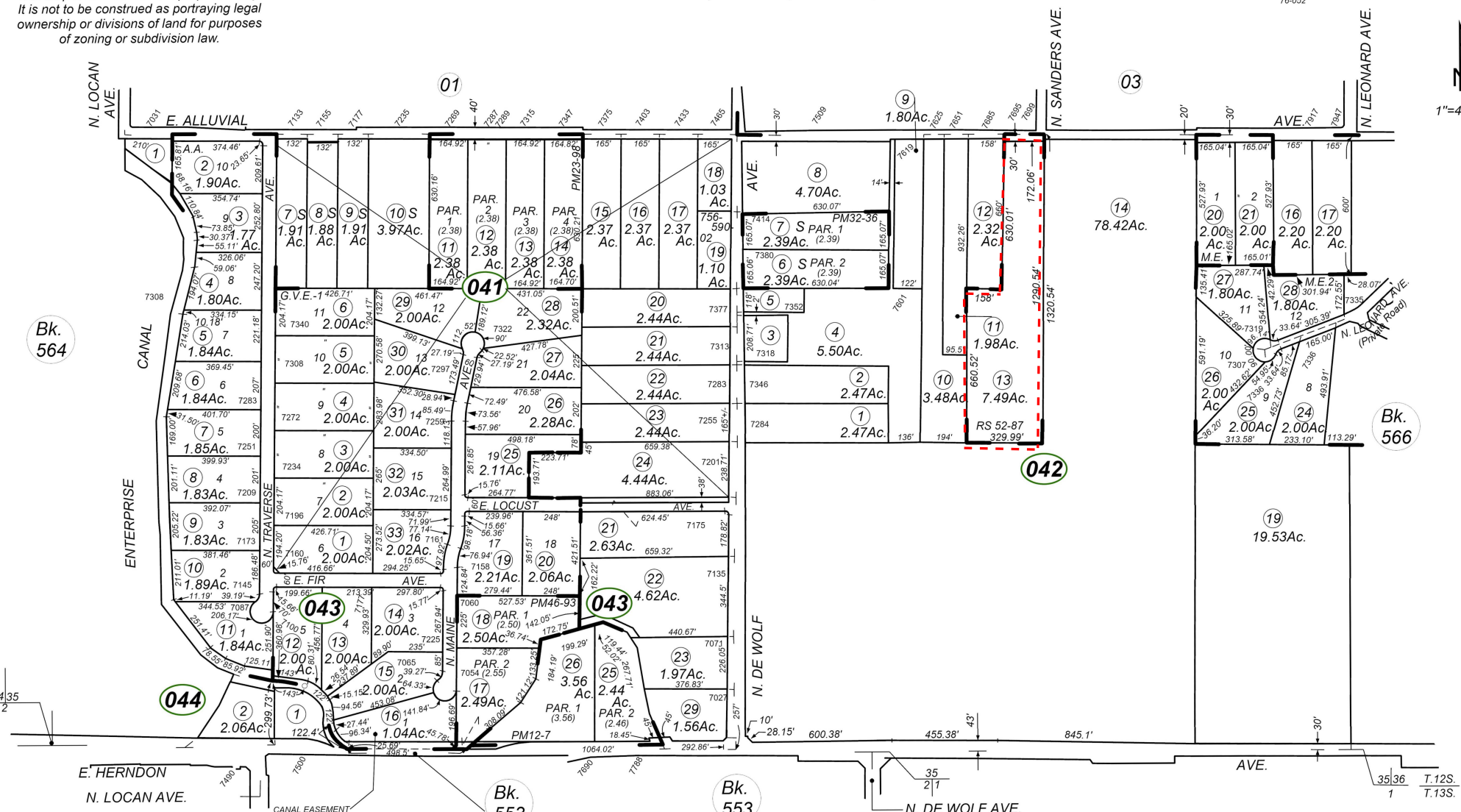
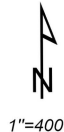
-NOTE-  
This map is for Assessment purposes only.  
It is not to be construed as portraying legal  
ownership or divisions of land for purposes  
of zoning or subdivision law.

POR. SEC. 35, T.12S., R.21E., M.D.B.&M.

Tax Rate Area

565-04

1-025  
76-045  
76-052



**Agricultural Preserve**  
 Aquarian Acres - Tract No. 2883 - Plat Bk. 35, Pgs. 98 & 99  
 Grand View Estates No. 1 - Tract No. 2911 - Plat Bk. 35, Pgs. 78 & 79  
 Morab Estates - Tract No. 4666 - Plat Bk. 58, Pgs. 29-32  
 Morabe Estates No. 2 - Tract No. 4692 - Plat Bk. 61, Pgs. 24-27  
 Parcel Map No. 1833 - Bk. 12, Pg. 7

Parcel Map No. 3516 - Bk. 23, Pg. 98  
 Parcel Map No. 5155 - Bk. 32, Pg. 36  
 Parcel Map No. 7058 - Bk. 46, Pg. 93  
 Record of Survey - Bk. 52, Pg. 87

Assessor's Map Bk. 565 - Pg. 04  
 County of Fresno, Calif.

8/15/2025 BD

Note - Assessor's Block Numbers Shown in Ellipses  
 Assessor's Parcel Numbers Shown in Circles



September 15, 2025

County of Fresno  
Department of Public Works and Planning  
2220 Tulare Street  
Fresno, CA 93721

## EXISTING HINDU TEMPLE / NEW COMMUNITY HALL OPERATIONAL STATEMENT

**Subject Project:**

Adding a New Ground-Up Community Hall Building to an Existing Hindu Temple Site.

**Subject Property:**

7695 E. Alluvial Avenue  
Clovis, CA 93619  
APN: **565-04-213**

**Special Note:** Regarding the use and operation of the new Community Hall Building, the existing Hindu Temple and new Community Hall Building will not have independent / individual events at the same time. Parking requirements are based on the most restrictive area.

**1. Nature of Use / Project Description:**

The Hindu Temple congregation established in 1998 and has been at this site since 1998.

The proposed Phase 1 development consists of adding a ±13,784 S.F. Community Hall Building to the existing Hindu Temple site. The Community Hall Building will consist of an event area, kitchen, restrooms, office space, and 3,679 S.F. outdoor covered patio. This new Community Hall Building will be positioned south of the existing temple in the open space of the existing site. Future Phase 2 will consist of a ±3,283 S.F. Building Expansion to the Community Hall along with the expansion of the parking lot.

**2. Operational Time Limits:**

Existing Sanctuary Worship Services are conducted daily between the hours of 10AM – 1PM and 5PM – 8PM. The new Community Hall will average about 2 to 3 special events (weddings, funerals, and the like) per month. The existing Temple and New Community Hall Building will not have independent/individual events at the same time.

**3. Number of Visitors:**

Average attendance in worship services is approximately 50 each Sunday in 2 services, none of which exceeds 100. Approximately 70 people participate in 1 evening activities, and other groups that meet throughout the week generally do not exceed 150 in number.

4. Number of Employees:

The Church staff currently consists of full-time employees, part-time employees and a variable number of volunteers throughout the week. Church office hours are 3 people, 10am to 1pm, 5pm to 8pm.

5. Service/Delivery Vehicles:

The existing Temple does not own/operate any service or delivery vehicles and only receives delivery vehicles an average of 0 per week.

6. Access to the Site:

The Site is on the South Side of Alluvial Avenue, access to the site is off Alluvial Avenue, a public, paved road.

7. Number of Parking Spaces:

Site Parking consists of 99 existing parking stalls for the Temple; the new development will provide 56 new standard parking stalls (35 new "EV" parking stalls and 6 accessible parking stalls) for a new total of 196 parking stalls. The existing 99 parking stalls will continue to serve the existing Sanctuary as originally approved. The existing 99 stalls plus the proposed new 97 parking stalls (totaling 196 stalls) will serve the new Community Hall Building. The existing Sanctuary and New Community Hall Building will not have individual/concurrent events.

8. Any goods to be sold on site:

There will not be any goods sold on site.

9. What equipment is used:

There will be new commercial kitchen equipment to be installed and used within the new Community Hall Building that will be used for Wedding and Funeral receptions. No outdoor equipment will be added to this site as a part of this new development.

10. What supplies or materials are used and how are they stored:

There are no supplies or materials to be used or stored as part of this project.

11. Does the use cause an unsightly appearance:

The new Community Hall Building will not cause any unsightly appearance (noise, glare, dust, odor).

12. List any solid or liquid waste to be produced.

During a special event in the new Community Hall Building, solid waste will be produced. It will be disposed of in the new trash enclosure and will be picked up by the local trash service company. (Currently 3 cu yards of solid waste per week). Liquid waste will be disposed of via the on-site septic system.

13. Estimated volume of water to be used (gallons per day):

Monday – Friday possibly 100 gallons per day, 300 gallons of water used per day on Sundays and special events. Source of water is on site well.

14. Describe any proposed advertising including size, appearance and placement:

There is no proposed advertising signage as part of this project.

15. Will existing building be used or will new building be constructed:

The proposed development consists of a new ±13,784 S.F. Community Hall Building. The existing Sanctuary and priest quarters are scheduled to remain.

16. Explain which buildings or what portion of building will be used in the operation:

See #15 above.

17. Will any outdoor lighting or an outdoor amplification system be used? :

The only outdoor lighting will be the parking lot lighting and Building mounted lighting. No outdoor sound amplification system is a part of this project. No additional permanent lighting or sound amplification equipment will be used for any outdoor activities; temporary portable equipment may be occasionally used.

18. Landscaping or fencing proposed? :

Additional landscaping will be added to the area between and around the new parking area and the new Community Hall Building. The only new fencing is between the New Community Building and the New Retention Basin.

19. Any other information that will provide a clear understanding of the project or operation:  
None at this time.

20. Identify all Owners, Officers and/or Board Members for each application submitted:

J P SETHI-CHAIRMAN  
GITA RAJANI-PRESIDENT,  
YASHU TOPRANI-TRESURER  
SRIKANTH GOPAL M.S. P.E-EC MEMBER AND PROJECT ENGINEER  
SHILPA LOPEZ-SECRETARY  
ANAND KAPOOR-MEMBER  
BINDIA PATEL-MEMBER  
PRAVEEN-MEMBER

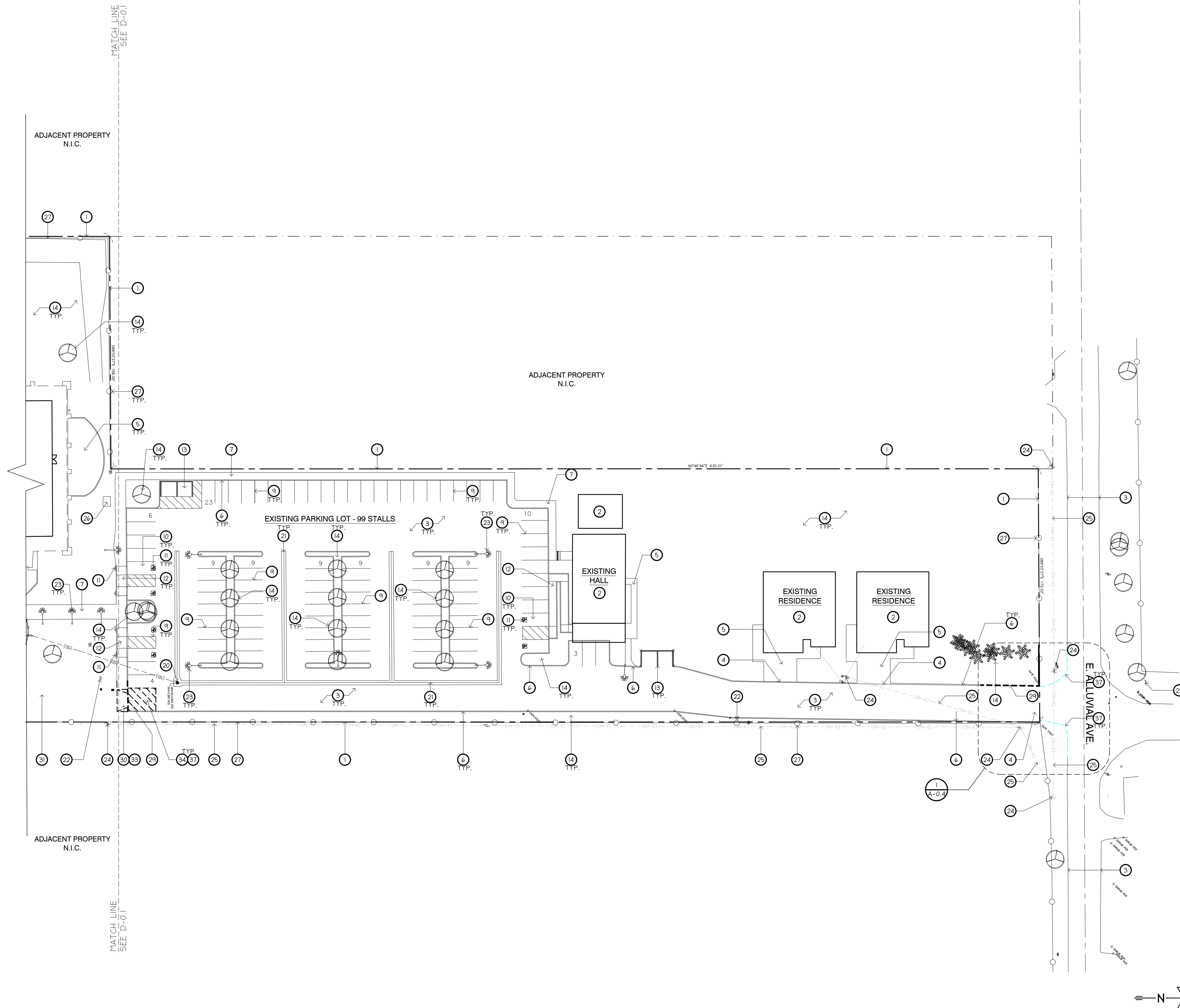
Should you have any questions, please do not hesitate to call.

Thank you,



Rogelio Hurtado, NCARB  
Architect  
Centerline Design, LLC





**KEYED NOTES**

- 1 LOCATION OF EXISTING PROPERTY LINE.
- 2 LOCATION OF EXISTING BUILDING TO REMAIN.
- 3 LOCATION OF EXISTING AC PAVING TO REMAIN.
- 4 LOCATION OF EXISTING DRIVE APPROACH TO REMAIN.
- 5 LOCATION OF EXISTING CONCRETE FLATWORK TO REMAIN.
- 6 LOCATION OF EXISTING CONCRETE CURB TO REMAIN.
- 7 LOCATION OF EXISTING CONCRETE SIDEWALK TO REMAIN.
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- 23 LOCATION OF EXISTING SITE LIGHTING TO REMAIN.
- 24 LOCATION OF EXISTING POWER POLE TO REMAIN.
- 25 LOCATION OF EXISTING OVERHEAD POWER LINES TO REMAIN.
- 26 LOCATION OF EXISTING TRANSFORMER TO REMAIN.
- 27 LOCATION OF EXISTING WROUGHT IRON FENCE TO REMAIN.
- 28 LOCATION OF EXISTING FDC TO REMAIN.
- 29 DASHED LINES INDICATE LOCATION OF EXISTING CONCRETE CURB TO BE REMOVED.
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- 36 LOCATION OF EXISTING BASIN TO BE INFILLED - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 37 LOCATION OF EXISTING A.C. PAVING TO BE REMOVED.

**CENTERLINE DESIGN, LLC**  
 PLANNING - DESIGN - CONSULTING  
 1645 SHAW AVE, SUITE 101  
 CLOVIS, CALIFORNIA 93611  
 559-295-3060 (OFFICE)

**PROJECT**  
 PROPOSED DEVELOPMENT FOR:  
 HINDU TEMPLE - COMMUNITY HALL BUILDING  
 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619

**STATUS**

Current Release Date	09-12-25
Planning Submittal	09-12-25
Plan Check Submittal	--

**REVISIONS**

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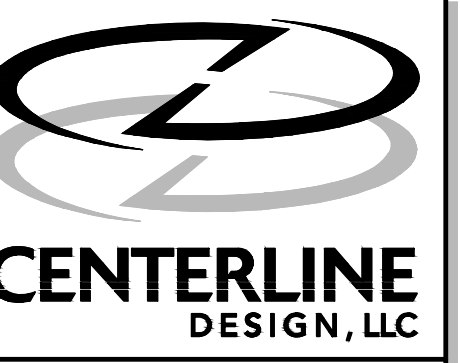
**IDENTIFICATION**

Scale	1" = 30'-0"
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	D-0.0

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**DEMO SITE PLAN - NORTH**

**D-0.0**



PLANNING - DESIGN - CONSULTING  
 1645 SHAW AVE, SUITE 101  
 CLOVIS, CALIFORNIA 93611  
 559-295-3060 (OFFICE)

**KEYED NOTES**

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PROJECT  
**PROPOSED DEVELOPMENT FOR:  
 HINDU TEMPLE - COMMUNITY HALL BUILDING**  
 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619

STATUS

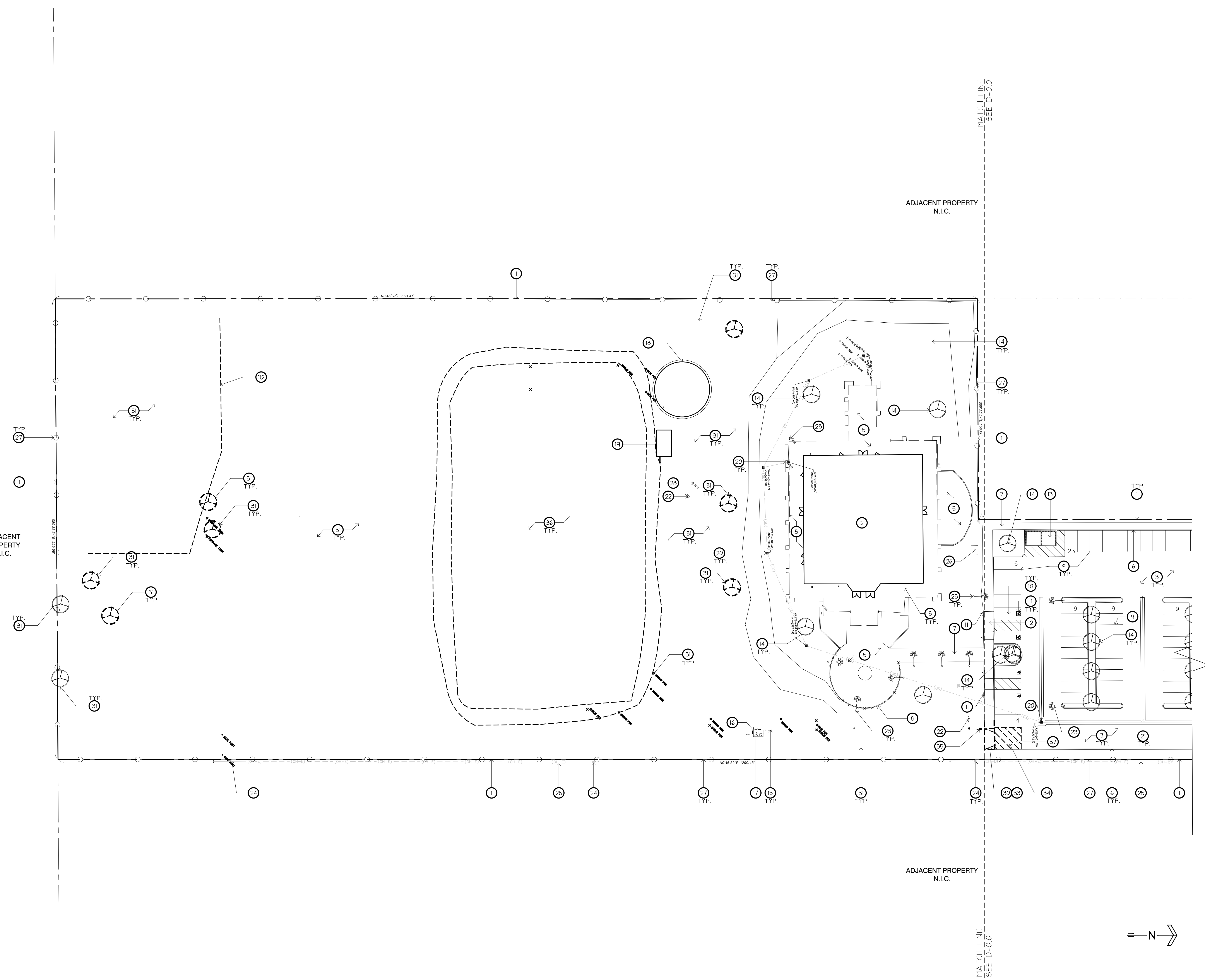
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Plan Check Submittal	--

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**DEMO SITE PLAN - SOUTH**

**D-0.1**

**PROJECT DATA**

**SITE DATA:**  
 SITE ADDRESS: 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619  
 565-04-213  
 APN: 4328,878 S.F. (7.55 ACRES)  
 ZONING DESIGNATION: AL20 (LIMITED AGRICULTURAL)  
 GENERAL PLAN DESIGNATION: AL (AGRICULTURE/IRRIGATED AGRICULTURAL)

**BUILDING DATA:**  
 CONSTRUCTION TYPE: TYPE V-B (SPRINKLERED)  
 OCCUPANCY: A-3  
 ALLOWABLE AREA: 24,000 SQ. FT.  
 ALLOWABLE HEIGHT: 60'-0"  
 ACTUAL HEIGHT: 35'-0" MAX.  
 FIRE SPRINKLERS: YES - DIFFERED  
 FIRE ALARMS: YES - DIFFERED  
 OCCUPANCY SEPARATIONS: NO

**PROPOSED GROSS BUILDING AREA (PHASE-1):**  
 NEW COMMUNITY HALL AREA: 10,105 SQ. FT.  
 NEW COVERED AREA: 13,679 SQ. FT.  
 TOTAL GROSS BUILDING AREA (COVERED AREA/DRIP EDGE): 13,784 SQ. FT.

**PROPOSED GROSS BUILDING AREA (PHASE-2):**  
 EXISTING COMMUNITY HALL AREA: 10,105 SQ. FT.  
 FUTURE COMMUNITY HALL AREA: 13,283 SQ. FT.  
 EXISTING COVERED AREA: 13,679 SQ. FT.  
 FUTURE GROSS BUILDING AREA (A-3 & COVERED AREA): 17,067 SQ. FT.

**REQUIRED PARKING BASED ON ZONING ORDINANCE:**  
 ASSEMBLY AREAS: BASED ON ZONING ORDINANCE SECTION 855-1.2, PARAGRAPH B, THERE SHALL BE AT LEAST ONE (1) PARKING SPACE FOR EVERY FORTY (40) SQ. FT. OF AREA WITHIN THE MAIN AUDITORIUM OR MEETING HALL.

**TOTAL REQUIRED PARKING DATA (PHASE-1 & PHASE-2):**  
 PHASE-1: OCCUPANCY A-3: 6,165 S.F. / 40 = 154 STALLS  
 PHASE-2: OCCUPANCY A-3: 3,343 S.F. / 40 = 84 STALLS  
 TOTAL PHASE-1 & PHASE-2 REQUIRED PARKING SUBTOTAL: 238 STALLS

**TOTAL PARKING PROVIDED (PHASE-1 & PHASE-2):**  
 PHASE-1: TOTAL PROVIDED PARKING SUBTOTAL: 196 STALLS  
 PHASE-2: FUTURE PROVIDED STANDARD PARKING STALLS: 74 STALLS  
 TOTAL PHASE-1 & PHASE-2 PROVIDED PARKING SUBTOTAL: 270 STALLS

**PARKING TYPES PROVIDED (PHASE-1):**  
 EXISTING STANDARD PARKING STALLS: 93 STALLS  
 EXISTING ACCESSIBLE PARKING STALLS: 6 STALLS  
 NEW STANDARD PARKING STALLS: 56 STALLS  
 NEW EVCS STALLS (8 EYE STALLS TO BE INSTALLED): 35 STALLS  
 NEW ACCESSIBLE PARKING STALLS: 6 STALLS  
 PHASE-1 TOTAL PROVIDED PARKING SUBTOTAL: 196 STALLS

BICYCLE SHORT TERM PARKING SPACES: 196 x .05 = 10  
 BICYCLE LONG TERM PARKING SPACES: 196 x .05 = 10

SEE THE ATTACHED DOCUMENT IN REGARDS TO THE USE AND OPERATION OF THE NEW COMMUNITY HALL. THE EXISTING SANCTUARY AND NEW COMMUNITY HALL WILL NOT HAVE INDEPENDENT/INDIVIDUAL EVENTS AT THE SAME TIME. SEE MODIFIED REQUIRED PARKING DATA BELOW FOR PARKING REQUIREMENT BASED ON THE MOST RESTRICTIVE AREA.



**PROJECT**  
 PROPOSED DEVELOPMENT FOR:  
 HINDU TEMPLE - COMMUNITY HALL BUILDING  
 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619

**STATUS**

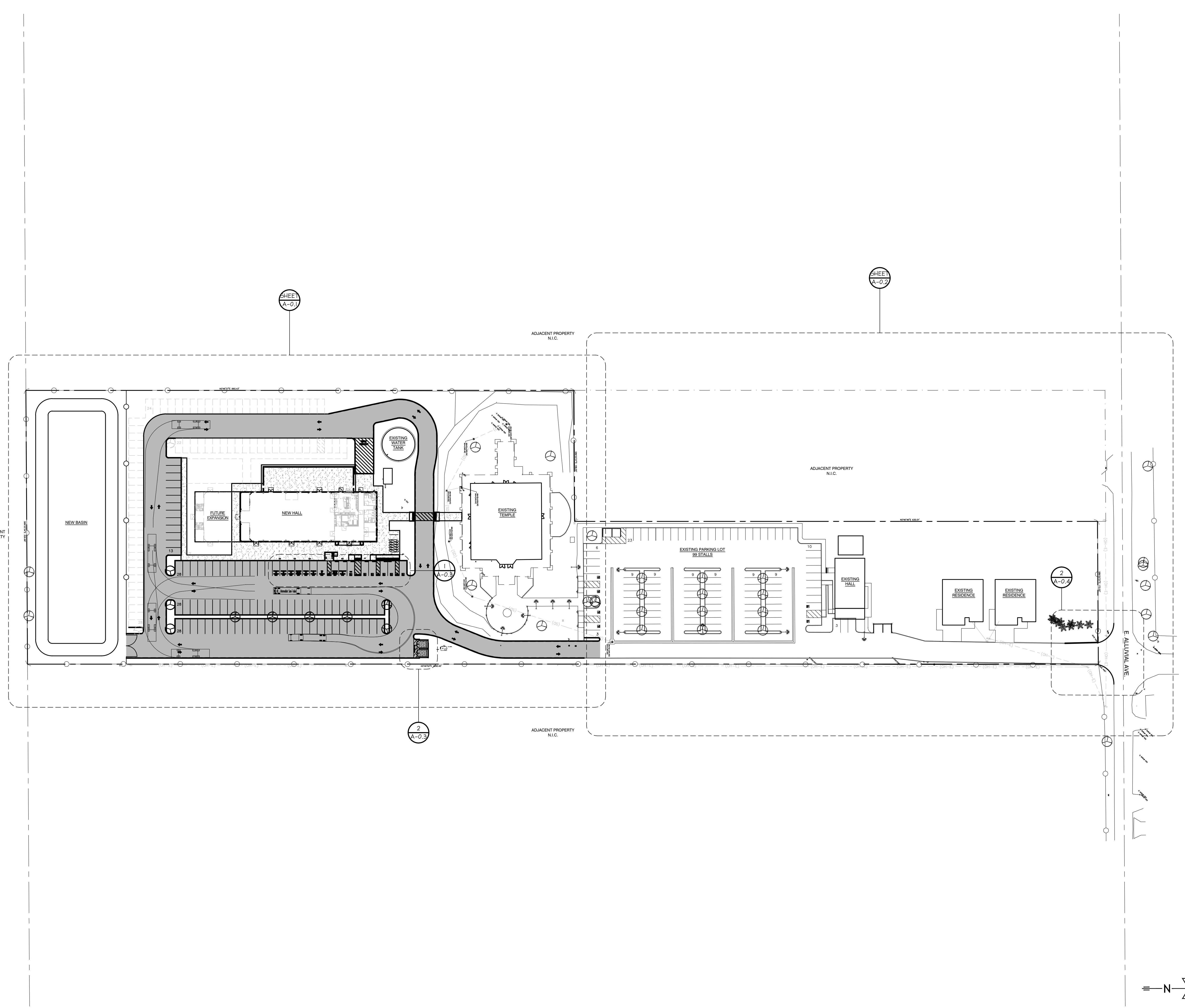
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**REVISIONS**

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**IDENTIFICATION**

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Project No.	14-121A
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**OVERALL PROPOSED SITE PLAN**

**A-0.0**



**PROJECT DATA**

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 SITE ADDRESS: 7695 E. ALLUVIAL AVENUE CLOVIS, CALIFORNIA 93619 565-04-213  
 APN: 4328,878 S.F. (7.55 ACRES)  
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 ALLOWABLE HEIGHT: 35'-0" MAX.  
 ACTUAL HEIGHT: YES - DIFFERED  
 FIRE SPRINKLERS: YES - DIFFERED  
 FIRE ALARMS: YES - DIFFERED  
 OCCUPANCY SEPARATIONS: NO

**PROPOSED GROSS BUILDING AREA (PHASE-1):**  
 NEW COMMUNITY HALL AREA: 110,055 SQ. FT.  
 NEW COVERED AREA: 13,679 SQ. FT.  
 TOTAL GROSS BUILDING AREA (COVERED AREA/DRIP EDGE): 123,734 SQ. FT.

**PROPOSED GROSS BUILDING AREA (PHASE-2):**  
 EXISTING COMMUNITY HALL AREA: 110,055 SQ. FT.  
 FUTURE COMMUNITY HALL AREA: 13,283 SQ. FT.  
 EXISTING COVERED AREA: 13,679 SQ. FT.  
 FUTURE GROSS BUILDING AREA (A-3 & COVERED AREA): 117,067 SQ. FT.

**REQUIRED PARKING BASED ON ZONING ORDINANCE:**  
 ASSEMBLY AREAS: BASED ON ZONING ORDINANCE SECTION 855-1.2, PARAGRAPH B, THERE SHALL BE AT LEAST ONE (1) PARKING SPACE FOR EVERY FORTY (40) SQ. FT. OF AREA WITHIN THE MAIN AUDITORIUM OR MEETING HALL.  
**TOTAL REQUIRED PARKING DATA (PHASE-1 & PHASE-2):**  
 PHASE-1: OCCUPANCY A-3: 6,165 S.F. / 40 = 154 STALLS  
 PHASE-2: OCCUPANCY A-3: 3,343 S.F. / 40 = 84 STALLS  
 TOTAL PHASE-1 & PHASE-2 REQUIRED PARKING SUBTOTAL: 238 STALLS

**TOTAL PARKING PROVIDED (PHASE-1 & PHASE-2):**  
 PHASE-1: TOTAL PROVIDED PARKING SUBTOTAL: 196 STALLS  
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 TOTAL PHASE-1 & PHASE-2 PROVIDED PARKING SUBTOTAL: 270 STALLS

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SEE THE ATTACHED DOCUMENT IN REGARDS TO THE USE AND OPERATION OF THE NEW COMMUNITY HALL. THE EXISTING SANCTUARY AND NEW COMMUNITY HALL WILL NOT HAVE INDEPENDENT/INDIVIDUAL EVENTS AT THE SAME TIME. SEE MODIFIED REQUIRED PARKING DATA BELOW FOR PARKING REQUIREMENT BASED ON THE MOST RESTRICTIVE AREA.

**GENERAL NOTES**

- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-107 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY - THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMP OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMP.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED - IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2281) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS - AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS - AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED - ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- PER SECTION 855-E.3.0 OF THE FRESNO COUNTY ZONING ORDINANCE, THE REQUIRED FOOT YARD SHALL BE LANDSCAPED WITH APPROPRIATE MATERIALS AND SHALL BE MAINTAINED.
- ALL OUTDOOR LIGHTING SHALL BE HOODED AND DIRECTED SO AS NOT TO SHINE TOWARD PUBLIC ROADS OR THE SURROUNDING PROPERTIES.

**KEYED NOTES**

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- LOCATION OF EXISTING TRANSFORMER TO REMAIN.
- LOCATION OF EXISTING WROUGHT IRON FENCE TO REMAIN.
- LOCATION OF EXISTING FDC TO REMAIN.
- LOCATION OF NEW BUILDING - SEE FLOOR PLAN
- LOCATION OF NEW AC PAVING - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW 6" HIGH CONCRETE CURB.
- DASHED LINES INDICATES 5'-0" x 5'-0" x 5'-0" (5'-0" x 6'-0" AT DOUBLE DOORS) MINIMUM LEVEL LANDING AT EXTERIOR DOOR LOCATIONS - LEVEL LANDING SHALL HAVE A 2% MAXIMUM SLOPE IN ANY DIRECTION AND SHALL SLOPE AWAY FROM THE BUILDING.
- LOCATION OF NEW RAMP FOR ACCESSIBLE PATH - SEE DETAILS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW TRUNCATED DOMES OVER NEW CONCRETE - 6" FROM FACE OF FLOW LINE BY 3/4" DEEP BY FULL WIDTH OF ZERO CURB - YELLOW AND APPROXIMATELY F533530 OF FEDERAL STANDARD 595C OR PROVIDE 70% MIN VISUAL CONTRAST WITH ADJACENT WALKING SURFACES - REFER TO DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW 4" WIDE STRIPING PAINTED TRAFFIC WHITE.
- DASHED LINES INDICATE LOCATION OF NEW ACCESSIBLE PARKING, UNLOAD ZONES, AND CURB CUT RAMPS - REFER TO ENLARGED AND CIVIL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW PAINTED ACCESSIBILITY SYMBOL - REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW VAN STALL/STALL ACCESSIBILITY POLE SIGNAGE.
- LOCATION OF NEW CONCRETE FLATWORK (5% MAXIMUM SLOPE WITH 2% MAXIMUM CROSS SLOPE) - REFER TO DETAILS AND CIVIL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW 12" HIGH LETTERS PAINTED TRAFFIC WHITE STATING "EV" AS SHOWN - THE FOLLOWING CHARACTERS SHALL BE PAINTED IN SUCH A MANNER THAT THE LOWER EDGE OF THE LAST WORK ALIGNS WITH THE END OF THE STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE.
- LOCATION OF NEW LANDSCAPING AND IRRIGATION - SEE LANDSCAPING AND CIVIL PLANS.
- LOCATION OF NEW CONCRETE BOLLARD.
- LOCATION OF NEW TWO-CELL TRASH ENCLOSURE - SEE DETAILS.
- LOCATION OF NEW 12" HIGH LETTERS PAINTED TRAFFIC WHITE STATING "NO PARKING" AS SHOWN.
- LOCATION OF NEW EVSE CHARGING STATIONS - SHALL CONSIST OF THE CONDUCTORS, INCLUDING THE UNGROUNDED, GROUNDED AND EQUIPMENT GROUNDING CONDUCTORS AND THE ELECTRIC VEHICLE CONNECTORS, ATTACHMENT PLUGS, AND ALL OTHER FITTINGS, DEVICES, POWER OUTLETS OR APPARATUS INSTALLED SPECIFICALLY FOR THE PURPOSE OF CHARGING EVS WHEN THE PREMISES ARE OPEN TO THE PUBLIC AND THE ELECTRIC VEHICLE - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW ELECTRICAL CONDUIT STUB-OUT IN UNDERGROUND BOX FOR FUTURE CAR CHARGING STATIONS. GENERAL CONTRACTOR SHALL PROVIDE A 1" MIN. DIA. RACEWAY FROM SERVICE PANEL OR SUB-PANEL TO TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EVCS AND INTO A SUITABLE LISTED CABINET/BOX - SEE ELECTRICAL PLANS FOR PANEL AND SUB-PANEL REQUIREMENTS SPECIFIC TO FUTURE DETAILED LOAD CAPACITIES FOR EACH EV CAPABLE SPACE. A COMMON RACEWAY MAY BE USED TO SERVE MULTIPLE EV CAPABLE SPACES, PER 2022 CALGREEN, SECTION 5.106.5.3.1
- LOCATION OF NEW SHORT TERM BICYCLE RACK - NEW G.C. PROVIDED "U90-IG-P-BLACK" MADRAX "U" BIKE RACK IN GROUND MOUNT BIKE RACK - REFER TO DETAIL FOR ADDITIONAL INFORMATION AND REQUIREMENTS - (1 LOOP = 3 BIKE SPACES).
- LOCATION OF A NEW BICYCLE LOCKER (PARK-A-BIKE: CBV2-GREY) FOR LONG TERM BICYCLE STORAGE - THIS LOCKER ACCOMMODATES TWO BIKES AND IS LOCKABLE - INSTALL PER MANUFACTURERS REQUIREMENTS (PARK A BIKE 800-630-7225).
- LOCATION OF NEW FIRE DEPARTMENT KNOX BOX
- LOCATION OF NEW 4" FIRE SPRINKLER RISER - SEE FIRE PROTECTION & CIVIL PLANS - FOR ADDITIONAL INFORMATION.
- DASHED LINES INDICATE LOCATION OF NEW FIRE LANES PER COUNTY STANDARDS - CURB EXPOSED FACES (OR ON PAVING WHERE NO CURB IS SHOWN BUT DASHED LINE IS SHOWN ON PLAN) SHALL BE PAINTED RED WITH WHITE PAINTED TEXT STATING "NO PARKING FIRE LANE" - TEXT TO BE PAINTED WHITE (3" HIGH LETTERING WITH 1" STROKES) OCCURRING APPROXIMATELY EVERY 50'-0" - GENERAL CONTRACTOR SHALL ALSO PROVIDE DRIVEWAY ENTRANCE SIGNAGE IDENTIFYING FIRE APPARATUS ACCESS ROADS.
- 40 FT. MIN. TURNING RADIUS FOR FIRE TRUCKS WITHIN THE PARKING LOT AND DRIVE AISLES.
- LOCATION OF NEW BASIN - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW TEMPORARY A.C. DIKE - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW W.I. FENCE.
- LOCATION OF NEW W.I. GATE.
- LOCATION OF FUTURE BUILDING EXPANSION.
- LOCATION OF NEW CMU LOW WALL WITH STONE VENEER - SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.

PROPOSED DEVELOPMENT FOR:  
 HINDU TEMPLE - COMMUNITY HALL BUILDING  
 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619

**STATUS**

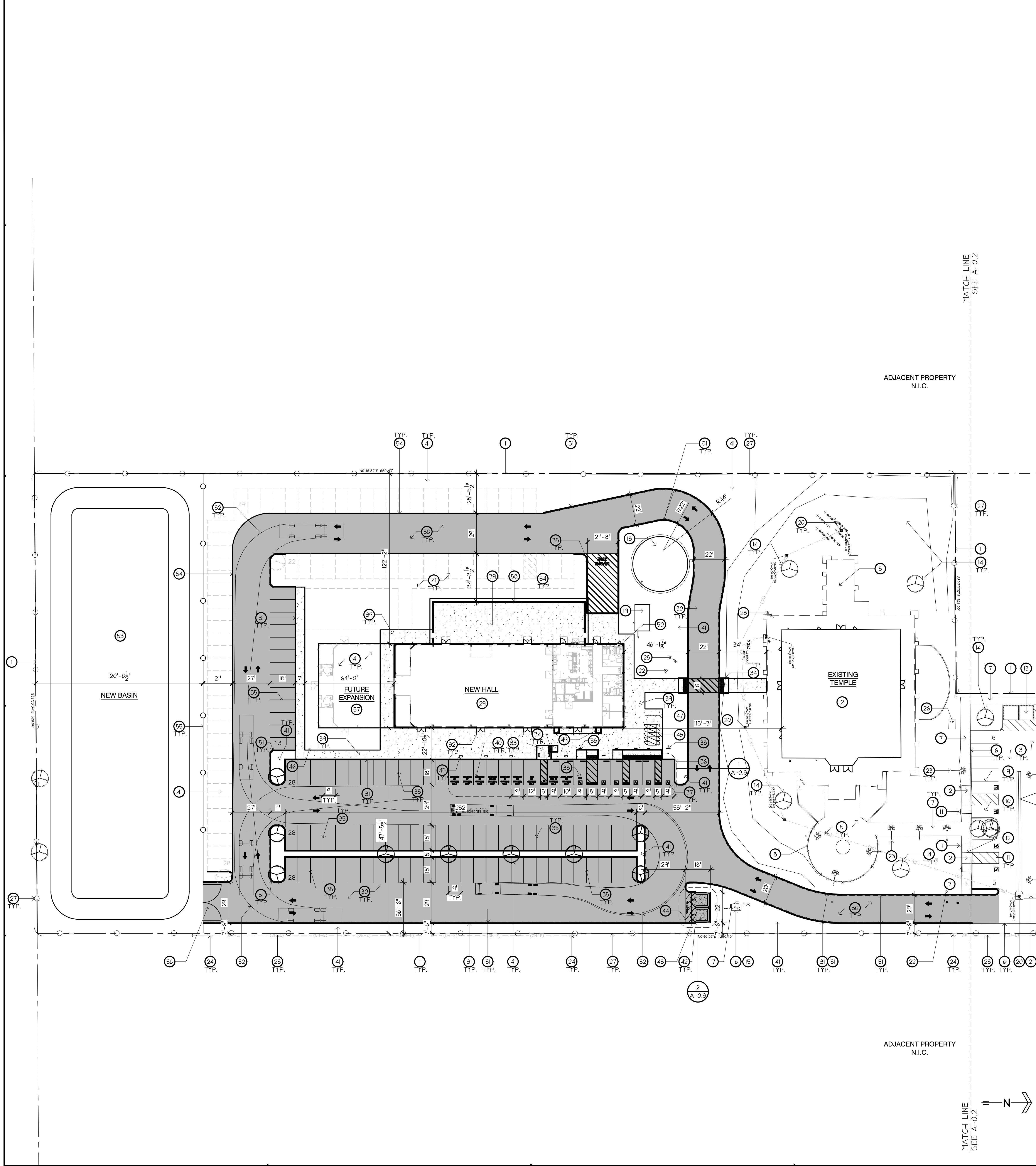
Current Release Date	09-12-25
Planning Submittal	09-12-25
Plan Check Submittal	--

**REVISIONS**

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**IDENTIFICATION**

Scale	1" = 30'-0"
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	A-0.1



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**PARTIAL ENLARGED PROPOSED SITE PLAN - SOUTH**



**PROJECT DATA**

**SITE DATA:**  
 SITE ADDRESS: 7695 E. ALLUVIAL AVENUE CLOVIS, CALIFORNIA 93619  
 APN: 565-04-213  
 LAND AREA: 4328,878 S.F. (7.55 ACRES)  
 ZONING DESIGNATION: AL20 (LIMITED AGRICULTURAL)  
 GENERAL PLAN DESIGNATION: AL (AGRICULTURE/IRRIGATED AGRICULTURAL)

**BUILDING DATA:**  
 CONSTRUCTION TYPE: TYPE V-B (SPRINKLERED)  
 OCCUPANCY: A-3  
 ALLOWABLE AREA: 24,000 SQ. FT.  
 ALLOWABLE HEIGHT: 60'-0"  
 ACTUAL HEIGHT: 35'-0" MAX.  
 FIRE SPRINKLERS: YES - DIFFERED  
 FIRE ALARMS: YES - DIFFERED  
 OCCUPANCY SEPARATIONS: NO

**PROPOSED GROSS BUILDING AREA (PHASE-1):**  
 NEW COMMUNITY HALL AREA: 110,05 SQ. FT.  
 NEW COVERED AREA: 13,679 SQ. FT.  
 TOTAL GROSS BUILDING AREA (COVERED AREA/DRIP EDGE): 123,724 SQ. FT.

**PROPOSED GROSS BUILDING AREA (PHASE-2):**  
 EXISTING COMMUNITY HALL AREA: 110,05 SQ. FT.  
 FUTURE COMMUNITY HALL AREA: 13,283 SQ. FT.  
 EXISTING COVERED AREA: 13,679 SQ. FT.  
 FUTURE GROSS BUILDING AREA (A-3 & COVERED AREA): 117,067 SQ. FT.

**REQUIRED PARKING BASED ON ZONING ORDINANCE:**  
 ASSEMBLY AREAS: BASED ON ZONING ORDINANCE SECTION 855-1.2, PARAGRAPH B, THERE SHALL BE AT LEAST ONE (1) PARKING SPACE FOR EVERY FORTY (40) SQ. FT. OF AREA WITHIN THE MAIN AUDITORIUM OR MEETING HALL.

**TOTAL REQUIRED PARKING DATA (PHASE-1 & PHASE-2):**  
 PHASE-1: OCCUPANCY A-3: 6,165 S.F. / 40 = 154 STALLS  
 PHASE-2: OCCUPANCY A-3: 3,343 S.F. / 40 = 84 STALLS  
 TOTAL PHASE-1 & PHASE-2 REQUIRED PARKING SUBTOTAL: 238 STALLS

**TOTAL PARKING PROVIDED (PHASE-1 & PHASE-2):**  
 PHASE-1: TOTAL PROVIDED PARKING SUBTOTAL: 196 STALLS  
 PHASE-2: FUTURE PROVIDED STANDARD PARKING STALLS: 74 STALLS  
 TOTAL PHASE-1 & PHASE-2 PROVIDED PARKING SUBTOTAL: 270 STALLS

**PARKING TYPES PROVIDED (PHASE-1):**  
 EXISTING STANDARD PARKING STALLS: 93 STALLS  
 EXISTING ACCESSIBLE PARKING STALLS: 6 STALLS  
 NEW STANDARD PARKING STALLS: 56 STALLS  
 NEW EVCS STALLS (9 EVCS STALLS TO BE INSTALLED): 35 STALLS  
 NEW ACCESSIBLE PARKING STALLS: 6 STALLS  
 PHASE-1 TOTAL PROVIDED PARKING SUBTOTAL: 196 STALLS

BICYCLE SHORT TERM PARKING SPACES: 196 x .05 = 10  
 BICYCLE LONG TERM PARKING SPACES: 196 x .05 = 10

SEE THE ATTACHED DOCUMENT IN REGARDS TO THE USE AND OPERATION OF THE NEW COMMUNITY HALL. THE EXISTING SANCTUARY AND NEW COMMUNITY HALL WILL NOT HAVE INDEPENDENT/INDIVIDUAL EVENTS AT THE SAME TIME. SEE MODIFIED REQUIRED PARKING DATA BELOW FOR PARKING REQUIREMENT BASED ON THE MOST RESTRICTIVE AREA.

**KEYED NOTES**

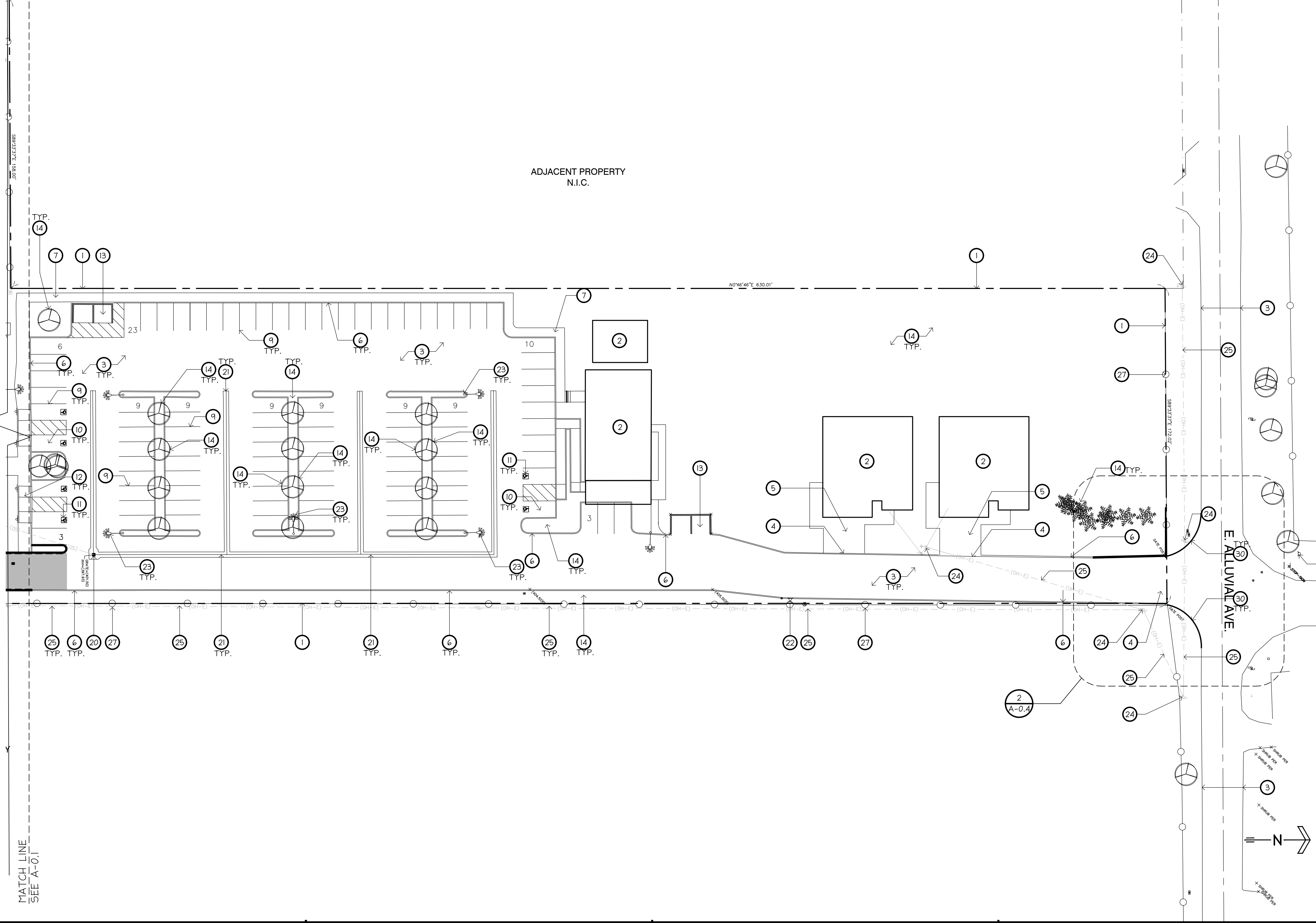
1. LOCATION OF EXISTING PROPERTY LINE.
2. LOCATION OF EXISTING BUILDING TO REMAIN.
3. LOCATION OF EXISTING AC PAVING TO REMAIN.
4. LOCATION OF EXISTING DRIVE APPROACH TO REMAIN.
5. LOCATION OF EXISTING CONCRETE FLATWORK TO REMAIN.
6. LOCATION OF EXISTING CONCRETE CURB TO REMAIN.
7. LOCATION OF EXISTING CONCRETE SIDEWALK TO REMAIN.
8. LOCATION OF EXISTING GRU-BLOCK-LOW-WALL-TO-REMAIN.
9. LOCATION OF EXISTING PARKING STALL STRIPING TO REMAIN.
10. LOCATION OF EXISTING ACCESSIBLE PARKING STALLS TO REMAIN.
11. LOCATION OF EXISTING ACCESSIBLE SIGNAGE TO REMAIN.
12. LOCATION OF EXISTING ACCESSIBLE RAMP TO REMAIN.
13. LOCATION OF EXISTING TRASH ENCLOSURE TO REMAIN.
14. LOCATION OF EXISTING LANDSCAPE TO REMAIN.
15. LOCATION OF EXISTING BACKFLOW-DEVICE-TO-REMAIN.
16. LOCATION OF EXISTING DOMESTIC-WATER-UTILITIES-TO-REMAIN.
17. LOCATION OF EXISTING WELL-TO-REMAIN.
18. LOCATION OF EXISTING FIRE-SUPPRESSION-WATER-TANK-TO-REMAIN.
19. LOCATION OF EXISTING FIRE-SUPPRESSION-PUMP-HOUSE-TO-REMAIN.
20. LOCATION OF EXISTING STORM DRAIN INLET TO REMAIN.
21. LOCATION OF EXISTING CONCRETE VALLEY GUTTER TO REMAIN.
22. LOCATION OF EXISTING FIRE HYDRANT TO REMAIN.
23. LOCATION OF EXISTING SITE LIGHTING TO REMAIN.
24. LOCATION OF EXISTING POWER POLE TO REMAIN.
25. LOCATION OF EXISTING OVERHEAD POWER LINES TO REMAIN.
26. LOCATION OF EXISTING TRANSFORMER-TO-REMAIN.
27. LOCATION OF EXISTING WROUGHT IRON FENCE TO REMAIN.
28. LOCATION OF EXISTING FDG-TO-REMAIN.
29. LOCATION OF NEW BUILDING. - SEE FLOOR PLAN.
30. LOCATION OF NEW AC PAVING - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
31. LOCATION OF NEW 6" CONCRETE CURB.
32. DASHED LINES INDICATE 5'-0" x 5'-0" x 5'-0" x 6'-0" AT DOUBLE DOORS. MINIMUM LEVEL LANDING AT EXTERIOR DOOR LOCATIONS - LEVEL LANDING SHALL HAVE A 2% MAXIMUM SLOPE IN ANY DIRECTION AND SHALL SLOPE AWAY FROM THE BUILDING.
33. LOCATION OF NEW RAMP FOR ACCESSIBLE PATH - SEE DETAILS FOR ADDITIONAL INFORMATION.
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43. LOCATION OF NEW TWO-CELL TRASH ENCLOSURE - SEE DETAILS.
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46. LOCATION OF NEW ELECTRICAL CONDUIT STUD-OUT IN UNDERGROUND BOX FOR FUTURE CAR CHARGING STATIONS - GENERAL CONTRACTOR SHALL PROVIDE A 1" MIN. DIA. RACEWAY FROM SERVICE PANEL OR SUB-PANEL TO TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EVCS AND INTO A SUITABLE LISTED CABINET BOX - SEE ELECTRICAL PLANS FOR PANEL AND SUB-PANEL REQUIREMENTS SPECIFIC TO FUTURE DETAILED LOAD CAPACITIES FOR EACH EV-CAPABLE SPACE - A COMMON RACEWAY MAY BE USED TO SERVE MULTIPLE EV-CAPABLE SPACES - PER 2022 CALGREEN SECTION 5-106.5.3.1.
47. LOCATION OF NEW SHORT TERM BICYCLE RACK - NEW G.C. PROVIDED - 1900-IG-P-BLACK-MADRAX-10" BIKE RACK IN GROUND MOUNT BIKE RACK - REFER TO DETAIL FOR ADDITIONAL INFORMATION AND REQUIREMENTS - (1 LOOP - 3 BIKE SPACES).
48. LOCATION OF A NEW BICYCLE LOCKER (PARK-A-BIKE - CBV2-GREY) FOR LONG TERM BICYCLE STORAGE - THIS LOCKER ACCOMMODATES TWO BIKES AND IS LOCKABLE - INSTALL PER MANUFACTURERS REQUIREMENTS (PARK-A-BIKE 800-630-7225).
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50. LOCATION OF NEW 4" FIRE SPRINKLER RISER - SEE FIRE PROTECTION & CIVIL PLANS - FOR ADDITIONAL INFORMATION.
51. DASHED LINES INDICATE LOCATION OF NEW FIRE LANES PER COUNTY STANDARDS - CURB EXPOSED FACES (OR ON PAVING WHERE NO CURB IS SHOWN) BUT DASHED LINE IS SHOWN ON LAND SHALL BE PAINTED RED WITH WHITE PAINTED TEXT STATING "NO PARKING FIRE LANE" - TEXT TO BE PAINTED WHITE (3" HIGH LETTERING WITH 1/8" STROKES) OCCURRING APPROXIMATELY EVERY 50'-0" - GENERAL CONTRACTOR SHALL ALSO PROVIDE DRIVEN/AT-ENTRANCE SIGNAGE IDENTIFYING FIRE APPARATUS ACCESS ROADS.
52. 40 FT. MIN. TURNING RADIUS FOR FIRE TRUCKS WITHIN THE PARKING LOT AND DRIVE AISLES.
53. LOCATION OF NEW BASIN - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
54. LOCATION OF NEW TEMPORARY A.C. DIKE - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
55. LOCATION OF NEW W.I. FENCE.
56. LOCATION OF NEW W.I. GATE.
57. LOCATION OF FUTURE BUILDING EXPANSION.
58. LOCATION OF NEW GRU-LOW-WALL WITH STONE VENEER - SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.

**GENERAL NOTES**

1. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY - A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
2. ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-107 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY - THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
3. ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
4. SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
5. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
6. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED - IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2281) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS - AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
7. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS - AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
8. OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED - ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
9. PER SECTION 855-E.3.0 OF THE FRESNO COUNTY ZONING ORDINANCE, THE REQUIRED FOOT YARD SHALL BE LANDSCAPED WITH APPROPRIATE MATERIALS AND SHALL BE MAINTAINED.
10. ALL OUTDOOR LIGHTING SHALL BE HOODED AND DIRECTED SO AS NOT TO SHINE TOWARD PUBLIC ROADS OR THE SURROUNDING PROPERTIES.

MATCH LINE SEE A-0.1

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MATCH LINE SEE A-0.1

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**PARTIAL ENLARGED PROPOSED SITE PLAN - NORTH**

PROJECT  
 PROPOSED DEVELOPMENT FOR:  
 HINDU TEMPLE - COMMUNITY HALL BUILDING  
 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619

**STATUS**

Current Release Date	09-12-25
Planning Submittal	09-12-25
Plan Check Submittal	--

**REVISIONS**

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**IDENTIFICATION**

Scale	1" = 30'-0"
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	A-0.2





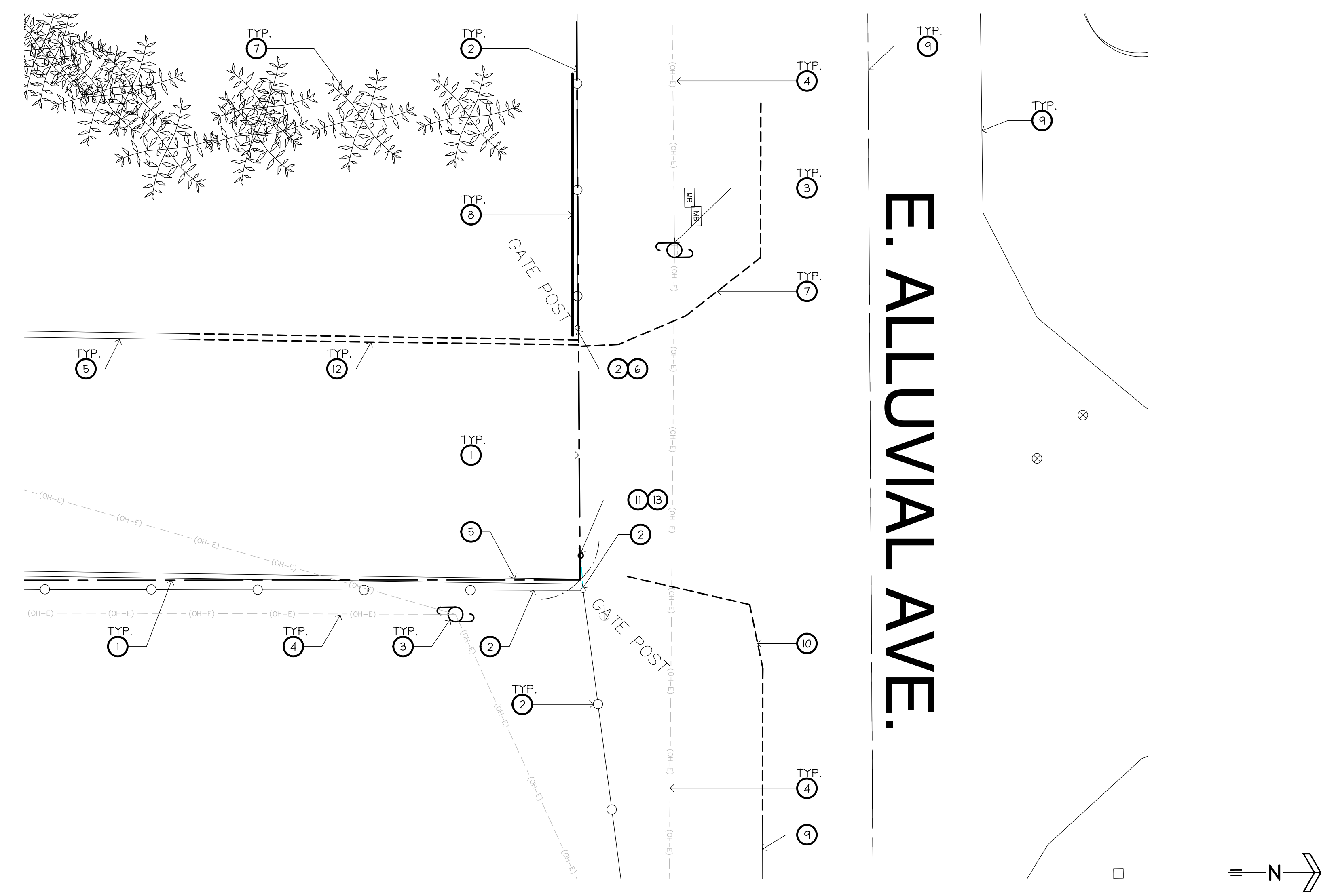
**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING

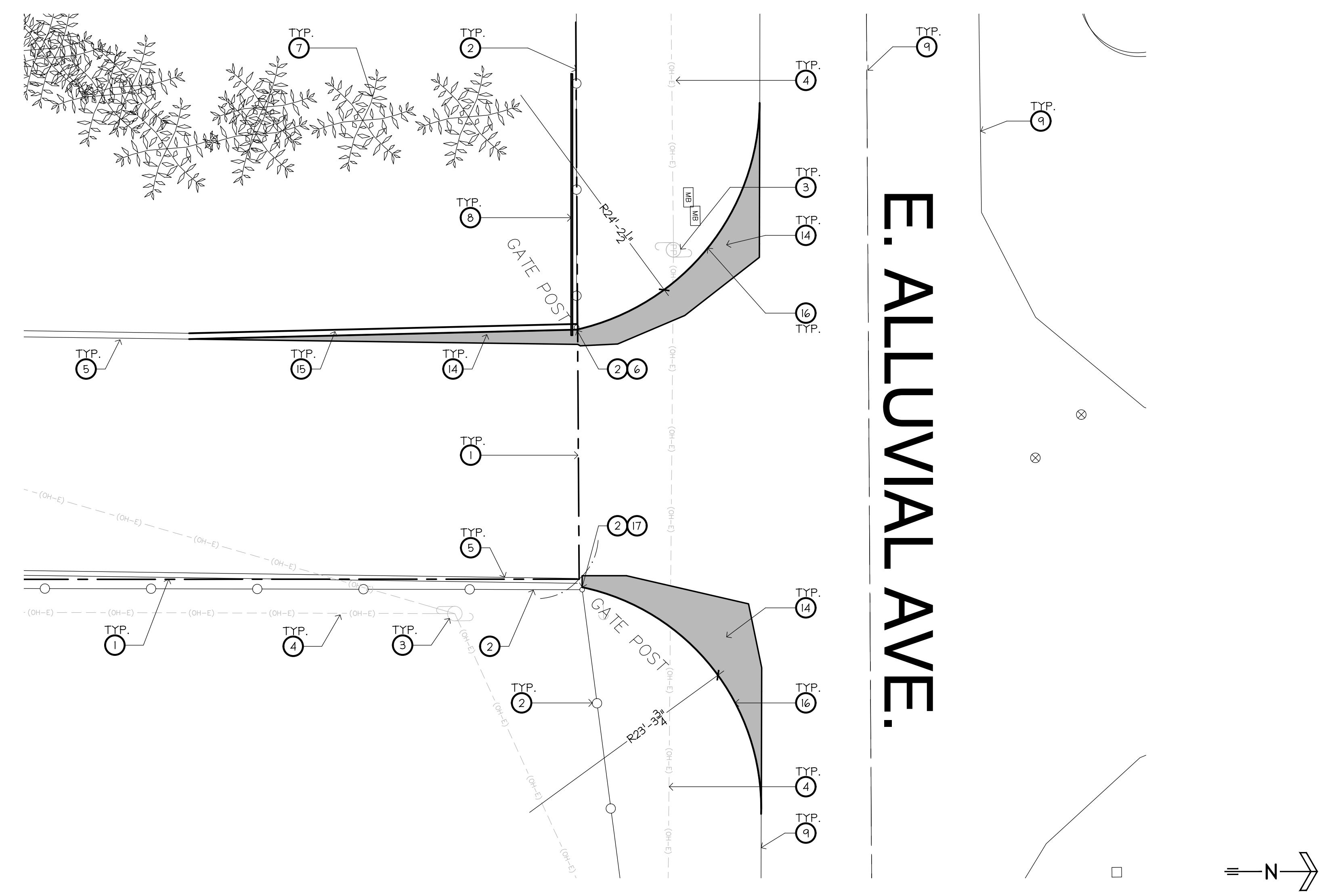
1645 SHAW AVE, SUITE 101  
CLOVIS, CALIFORNIA 93611  
559-296-3060 (OFFICE)

**KEYED NOTES**

- ① LOCATION OF EXISTING PROPERTY LINE.
- ② LOCATION OF EXISTING WROUGHT IRON FENCE FENCE POST TO REMAIN.
- ③ LOCATION OF EXISTING POWER POLE TO REMAIN.
- ④ LOCATION OF EXISTING OVERHEAD POWER LINE TO REMAIN.
- ⑤ LOCATION OF EXISTING CURB TO REMAIN.
- ⑥ LOCATION OF EXISTING FIRE DEPARTMENT KNOX BOX TO REMAIN.
- ⑦ LOCATION OF EXISTING LANDSCAPING TO REMAIN.
- ⑧ LOCATION OF EXISTING SLIDING W.I. GATE AND MOTOR TO REMAIN.
- ⑨ LOCATION OF EXISTING EDGE OF PAVEMENT TO REMAIN.
- ⑩ LOCATION OF EXISTING EDGE OF PAVEMENT TOP BE SAW-VUT AND CLEANED PRIOR TO NEW PAVEMENT BEING LAID.
- ⑪ DASHED LINES INDICATE LOCATION OF EXISTING FENCE, POSTS, & FOOTING TO BE REMOVED.
- ⑫ DASHED LINES INDICATE LOCATION OF EXISTING CURB TO BE REMOVED.
- ⑬ LOCATION OF EXISTING GATE KEYPAD TO BE REMOVED AND RELOCATED.
- ⑭ LOCATION OF NEW AC PAVING - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ⑮ LOCATION OF NEW 6" HIGH CONCRETE CURB - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- ⑯ LOCATION OF NEW EDGE OF PAVEMENT - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- ⑰ LOCATION OF RELOCATED GATE KEYPAD.



Enlarged Drive Approach Demo-Plan **1**  
1/8" = 1'-0"



Enlarged New Drive Approach **2**  
1/8" = 1'-0"

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PROPOSED DEVELOPMENT FOR:  
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**IDENTIFICATION**

Scale	As Shown
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	A-0.4

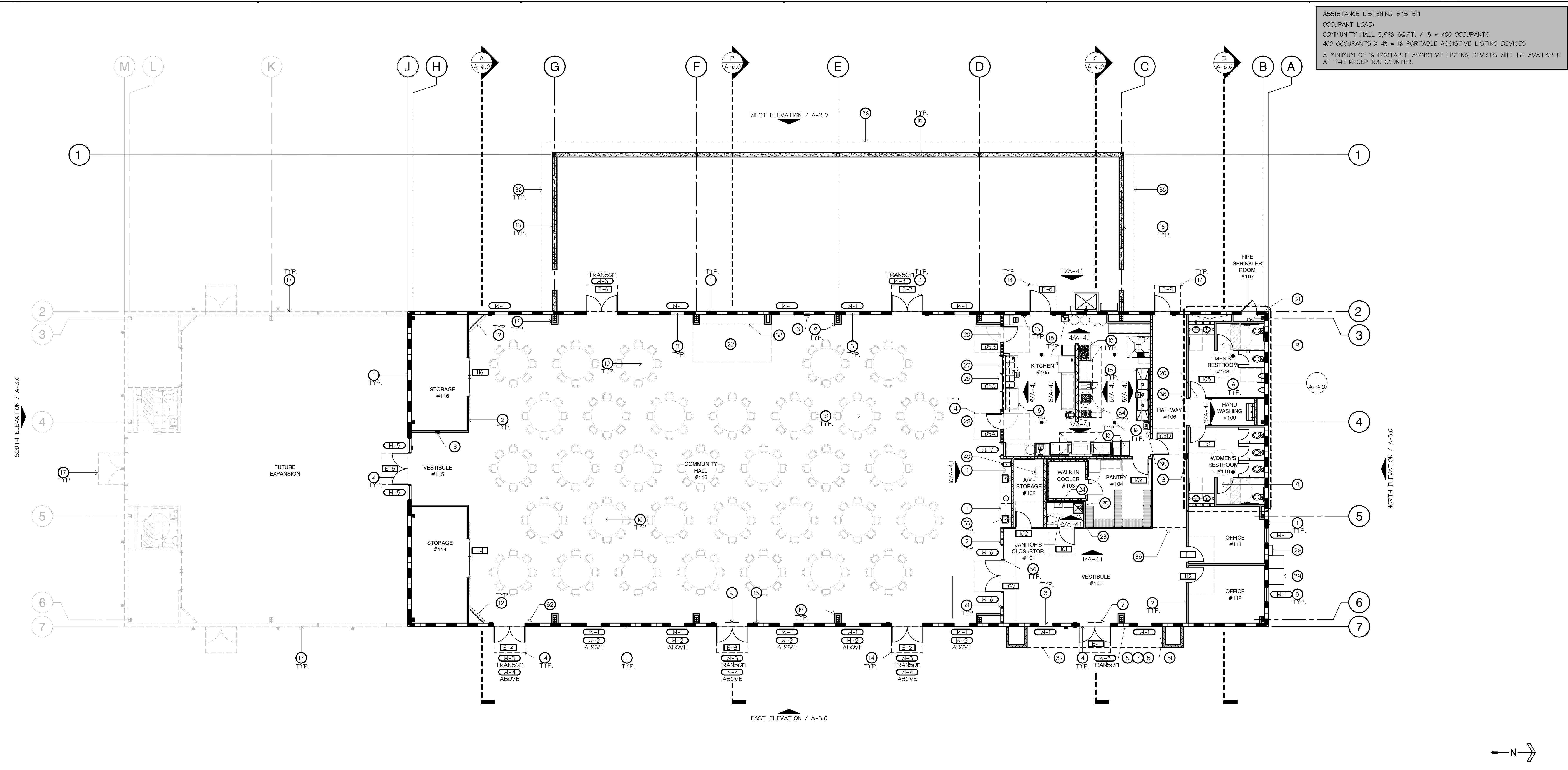
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**PARTIAL PROPOSED ENLARGED SITE PLAN**

ASSISTANCE LISTENING SYSTEM  
 OCCUPANT LOAD:  
 COMMUNITY HALL 5,946 SQ. FT. / 15 = 400 OCCUPANTS  
 400 OCCUPANTS X 42 = 16 PORTABLE ASSISTIVE LISTING DEVICES  
 A MINIMUM OF 16 PORTABLE ASSISTIVE LISTING DEVICES WILL BE AVAILABLE AT THE RECEPTION COUNTER.



**CENTERLINE DESIGN, LLC**  
 PLANNING - DESIGN - CONSULTING  
 1645 SHAW AVE. SUITE 101  
 CLOVIS, CALIFORNIA 93611  
 559-296-3060 (OFFICE)

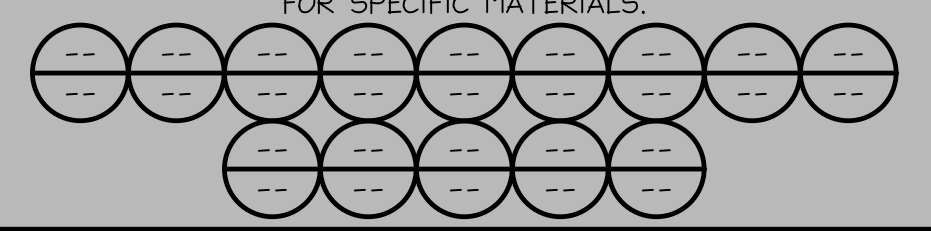


**GENERAL CONTRACTOR SHALL REFER TO LIFE SAFETY PLAN (SHEET A-1.2) FOR ALLOWABLE AREA CALCULATIONS, OCCUPANCY LOAD CALCULATIONS, EGRESS REQUIREMENTS AND TACTILE SIGNAGE.**

**FIRE BLOCKING AND DRAFTSTOPPING:**

- PER 2022 CBC SECTION 718.2.2 THRU 718.2.7 PROVIDE FIRE BLOCKING IN WALL AND FURRED SPACES AT INTERVALS OF 10'-0" MAXIMUM.
- PER CBC SECTION 718.4 (EXCEPTION), DRAFTSTOPPING IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT (ATTICS AND CONCEALED SPACES) WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1

**GENERAL CONTRACTOR SHALL REFER TO THE FOLLOWING GENERAL INTERIOR FRAMING DETAILS FOR GENERAL REQUIREMENTS - REFER TO WALL LEGEND FOR SPECIFIC MATERIALS.**



**FOUNDATION SLAB WATER VAPOR RETARDER NOTES:**

- PROVIDE A 15-MIL POLYETHYLENE VAPOR RETARDER SHEETING WITH ALL JOINTS LAPPED NOT LESS THAN 6" AND TAPED - ALL PENETRATIONS THROUGH THE VAPOR RETARDER, UTILITY OR COLUMN OPENINGS, GRADE BEAMS, AND FOOTINGS SHALL BE TAPED AND SEALED - ALL HOLES AND/OR TEARS SHALL BE REPAIRED WITH TAPE - TAPE SHALL BE RATED FOR THIS APPLICATION - VAPOR RETARDER SHALL BE INSTALLED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES.
- CONCRETE FLOOR SLAB SHALL SET DIRECTLY ON VAPOR RETARDER (NO GRANULAR FILL OR SAND ABOVE THE VAPOR BARRIER) IN ACCORDANCE WITH ACI 302.1R-8 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION", FIGURE 3.1 DUE TO VAPOR SENSITIVE FLOOR COVERINGS - PROVIDE BASE COURSE DIRECTLY BELOW VAPOR RETARDER - BASE COURSE SHALL BE OF A MINIMUM OF 3" COMPACTED, CLEAN, GRAVEL OF 3/4" MAXIMUM SIZE UNDER THE VAPOR RETARDER.
- PROVIDE HIGH QUALITY, LOW-SHRINKAGE CONCRETE MIX DESIGN WITH A LOW WATER-CEMENT RATIO.
- THE VAPOR EMISSIONS FOR SLAB SHALL NOT EXCEED THREE (3) LBS. PER ONE THOUSAND (1,000) SQUARE FEET IN TWENTY-FOUR (24) HOURS. IF TENANT'S TESTING REVEALS THAT THE THREE (3) LBS. PER ONE THOUSAND (1,000) SQUARE FEET IN TWENTY-FOUR (24) HOURS THRESHOLD IS EXCEEDED, SHALL HAVE THIRTY (30) DAYS TO SEAL OR OTHERWISE PREPARE THE FLOOR SO THAT THE THREE (3) LBS. PER ONE THOUSAND (1,000) SQUARE FEET IN TWENTY-FOUR (24) HOURS IS MET.

**GENERAL NOTES**

- PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
- GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
- GENERAL CONTRACTOR SHALL INTERFACE WITH PLUMBING, MECHANICAL, AND ELECTRICAL PLANS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLAN(S).
- GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, AND FIXTURE SUPPLIERS.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL PROVIDE FIRE BLOCKING AND DRAFTSTOPPING IN ALL COMBUSTIBLE CONCEALED LOCATIONS PER CODE (FIRE BLOCKING PER C.B.C. SECTION 718.2 AND DRAFTSTOPPING PER C.B.C. SECTIONS 718.4 AND 718.4.3) - PROVIDE FIRE BLOCKING IN WALLS AND FURRED SPACES AT INTERVALS OF 10'-0" MAXIMUM PER C.B.C. SECTIONS 718.2.2 THRU 718.2.7.
- CONTRACTOR SHALL MAINTAIN ALL FIRE RATED ASSEMBLIES - IF SUCH FIRE RATED ASSEMBLIES ARE DAMAGED, GENERAL CONTRACTOR SHALL REPAIR DAMAGED ITEMS AS NECESSARY TO MEET THE ORIGINAL INTENT OF THE FIRE RATED ASSEMBLY - CONTACT DESIGN FIRM FOR FURTHER CLARIFICATION IF NEEDED.

**WALL FRAMING NOTES:**

- ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD TO FACE OF STUD - GENERAL CONTRACTOR SHALL HAVE FRAMING SUB-CONTRACTOR SNAP ALL LINES PRIOR TO FRAMING AND NOTIFY DESIGN FIRM OF ANY/ALL DIMENSIONAL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DIMENSIONS SHOWN WITHIN PLANS.
- GENERAL CONTRACTOR TO PROVIDE MOISTURE RESISTANT GYPSUM BOARD ON ALL PLUMBING WALLS AND ON ALL RESTROOM WALLS.
- ALL INTERIOR WALLS ARE TO RECEIVE UNFACED FIBERGLASS BATT INSULATION THE FULL THICKNESS OF THE WALL - INSULATION FLAME SPREAD INDEX SHALL NOT EXCEED 25 AND THE SMOKE-DEVELOPMENT INDEX SHALL NOT EXCEED 450 AND/OR AS REQUIRED BY RATED WALL ASSEMBLIES - WHICH EVER IS MORE STRINGENT.

**WALL LEGEND**

**GYPSUM BOARD GENERAL NOTES:**

- GYPSUM SHEATHING WITH EQUAL FIRE RATING DURATION VALUE SHALL BE USED AT ALL EXTERIOR, ATTIC, AND/OR NON-CONDITIONED AREAS.
- AREAS EXPOSED TO MOISTURE, AREAS WHERE APPLIANCES CREATE MOISTURE AND WITHIN 2' OF EACH PLUMBING FIXTURES SHALL HAVE MOISTURE AND MOLD RESISTANT GYPSUM WALLBOARD WITH EQUAL FIRE RATING DURATION VALUE.
- INSTALLATION OF WALL ASSEMBLIES SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL (GA-600) LATEST EDITION AND GYPSUM ASSOCIATION APPLICATION AND FINISHING OF GYPSUM PANEL PRODUCTS MANUALS (GA-216) LATEST EDITION.
- INSULATION SHALL COMPLY WITH EACH INDIVIDUAL FIRE ASSEMBLY REPORT AND C.B.C. SECTION 720.
- FIRE STOPPING/PROTECTION THROUGH FIRE RATED ASSEMBLIES SHALL COMPLY WITH C.B.C. SECTIONS 714, 715, AND 716.
- FIRE WALLS, FIRE BARRIERS, SMOKE BARRIER AND SMOKE PARTITIONS OR ANY OTHER WALLS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE LABELED AS PER C.B.C. SECTION 703.7.

	INDICATES 8005162-54 METAL STUD FRAMING AS SHOWN ON STRUCTURAL PLANS (16" O.C. MAX. SPACING) - ON EXTERIOR FACE OF STUD PROVIDE EIFS WALL FINISH - INTERIOR FACE OF STUD TO BE LEFT UNFINISHED - FINISH R-20 INSULATION TO BE INSTALLED AT THE TIME OF THE FIRST TENANT IMPROVEMENT.
	INDICATES NEW 6005162-33 NON BEARING METAL STUD FRAMING AT 16" O.C. FROM SLAB TO A POINT 6" ABOVE HIGHEST ADJACENT CEILING PLANE AND/OR TO THE UNDERSIDE OF NEW HARD LID CEILING - PROVIDE 5/8" THICK GYPSUM BOARD ON BOTH SIDES OF FRAMING.
	INDICATES NEW 6005162-54 NON-BEARING METAL STUD FRAMING AT 16" O.C. FROM SLAB TO A POINT 6" ABOVE HIGHEST ADJACENT CEILING PLANE AND/OR TO THE UNDERSIDE OF NEW HARD LID CEILING - PROVIDE 5/8" THICK GYPSUM BOARD ON BOTH SIDES OF FRAMING.
	INDICATES NEW EXTERIOR GLAZING SYSTEM - REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS - ALL DOOR AND WINDOW ASSEMBLIES SHALL MEET TITLE-24 ENERGY CALCULATION REQUIREMENTS.
	INDICATES 6005162-54 METAL FRAMING AS SHOWN ON STRUCTURAL PLANS (16" O.C. MAX. SPACING) - ON EXTERIOR FACE OF STUD PROVIDE FINISHES AS PER EXTERIOR ELEVATIONS.
	INDICATES NEW FREEZER/COOLED WALL PANELS - BY VENDOR

**KEYED NOTES**

- LOCATION OF NEW EXTERIOR WALL - REFER TO WALL LEGEND FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW INTERIOR WALL - REFER TO WALL LEGEND FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW EXTERIOR GLAZING - REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF EXTERIOR DOOR(S) - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW TACTILE SIGNAGE WITH THE TENANT ADDRESS IN RAISED NUMBERS AND IN BRAILLE - TACTILE SIGNAGE SHALL MEET THE REQUIREMENTS OF C.B.C. SECTION 11B-703 - REFER TO DETAILS FOR SIMILAR GENERAL REQUIREMENTS.
- LOCATION OF SIGN ABOVE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IN LETTERS A MINIMUM OF 1" HIGH ON CONTRASTING BACKGROUND.
- LOCATION OF NEW WALL MOUNTED "NO SMOKING" SIGNAGE - SIGNAGE SHALL BE INSTALLED A MINIMUM OF 25'-0" AWAY FROM ENTRY/EXIT DOOR AS SHOWN - REFER TO DETAIL FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF INTERNATIONAL SYMBOL FOR ACCESSIBILITY BELOW TENANT ADDRESS/SUITE SIGN - REFER TO DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW ACCESSIBLE RESTROOMS - REFER TO ENLARGED RESTROOM PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF OWNER PROVIDED FURNITURE.
- DASHED AND/OR CONTINUOUS LINES INDICATE LOCATION OF NEW MILLWORK - REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- DASHED LINES INDICATE LOCATION OF OWNER PROVIDED AND INSTALLED NEW TELEVISION(S) - REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW 2A-108C FIRE EXTINGUISHER IN SEMI-RECESSED CABINET
- DASHED LINES INDICATES 5'-0" x 5'-0" MINIMUM LEVEL LANDING AT EXTERIOR DOOR LOCATIONS - LEVEL LANDING SHALL HAVE A 2% MAXIMUM SLOPE IN ANY DIRECTION AND SHALL SLOPE AWAY FROM THE BUILDING.
- LOCATION OF LOW CHU BLOCK WALL WITH CONCRETE CAP - SEE EXTERIOR ELEVATIONS AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF FLOOR DRAIN - SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- DASHED LINES INDICATE FUTURE BUILDING EXPANSION (PHASE 2).

**KEYED NOTES**

- LOCATION OF NEW OWNER PROVIDED KITCHEN EQUIPMENT - SEE EQUIPMENT FLOOR PLAN AND EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW STEEL BUILDING FRAME - SEE STRUCTURAL PLANS.
- LOCATION OF FLOOR TRANSITION - SEE INTERIOR DESIGN PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW FIRE SPRINKLER RISER - REFER TO FIRE SPRINKLER PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF OWNER PROVIDED PORTABLE STAGE.
- LOCATION OF NEW POP SINK - REFER TO INTERIOR ELEVATIONS AND PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF (2) NEW STACKED TANKLESS WATER HEATERS. REFER TO PLUMBING PLAN FOR MORE INFORMATION.
- LOCATION OF NEW IRRIGATION TIME CLOCK - SEE LANDSCAPING PLANS.
- LOCATION OF NEW PHONE BOOTH CABINET - SEE ELECTRICAL PLANS.
- DASHED LINES INDICATE NEW LOCKABLE SECURITY ROLL-UP COUNTER DOOR - SEE DOOR SCHEDULE AND DETAILS.
- LOCATION OF STAINLESS STEEL SERVING LINE - SEE EQUIPMENT SCHEDULE AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- LOCATION OF ELECTRICAL PANEL - REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW ASSISTIVE LISTING DEVICE SIGN - PROVIDE SIGN AT DOOR INTO ROOM - SEE DETAIL XXXXXXX.
- LOCATION OF NEW KNOX BOX
- LOCATION OF NEW OCCUPANT LOAD SIGNAGE - OCCUPANT LOAD SIGNAGE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT DOORWAY - POSTED SIGNS SHALL BE OF AN APPROVED PERMANENT DESIGN AND BE MAINTAINED BY THE OWNER'S AUTHORIZED AGENT PER C.F.C. SECTION 1004.3.
- HAND WASH SINK - SEE PROPOSED PLUMBING PLANS.

**KEYED NOTES**

- DASHED LINES INDICATE NEW TYPE "I" HOOD WITH MAKE-UP AIR - A READILY ACCESSIBLE MEANS OF MANUAL ACTIVATION OF THE COMMERCIAL COOKING EQUIPMENT HOOD FIRE SUPPRESSION SYSTEM SHALL BE LOCATED BETWEEN 42" AND 48" ABOVE FINISHED FLOOR. LOCATED IN A PATH OF EGRESS, AND CLEARLY IDENTIFY THE APPLIANCE PROTECTED - A MANUAL ACTIVATION DEVICE SHALL BE LOCATED A MINIMUM OF 10' WHEN POSSIBLE AND A MAXIMUM OF 20' FROM THE PROTECTED APPLIANCE - THE ACTIVATION OF THE FIRE EXTINGUISHING SYSTEM SHALL AUTOMATICALLY SHUT DOWN THE FUEL AND ELECTRICAL POWER SUPPLY TO THE COOKING EQUIPMENT - THE FUEL AND ELECTRICAL SUPPLY ARE REQUIRED TO HAVE A MANUAL RESET PER C.F.C. SECTION 904.11.2 - PROVIDE AN APPROVED UL 300 FIRE EXTINGUISHING SYSTEM FOR THE NEW HOOD AND VENT PER C.F.C. SECTION 904.11 - SEE HOOD, PLUMBING, MECHANICAL, AND ELECTRICAL PLANS - FOR ADDITIONAL INFORMATION.
- NEW SURFACE MOUNTED APPROVED CLASS "K" PORTABLE FIRE EXTINGUISHER.
- DASHED LINE INDICATES ROOF OVERHANG ABOVE.
- LOCATION OF EXTERIOR SOFFIT ABOVE - SEE REFLECTED CEILING PLAN AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- LOCATION OF GYP. BD. SOFFIT ABOVE - SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW ELECTRICAL SWITCHGEAR - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW IT EQUIPMENT BY OWNER VENDOR - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF INTERIOR GLAZING SYSTEM - SEE WINDOW SCHEDULE FOR ADDITION INFORMATION.

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**PROPOSED NOTED FLOOR PLAN**

**PROPOSED DEVELOPMENT FOR:**  
 HINDU TEMPLE - COMMUNITY HALL BUILDING  
 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619

**PROJECT**

**STATUS**

Current Release Date	09-12-25
Planning Submittal	09-12-25
Plan Check Submittal	--

**REVISIONS**

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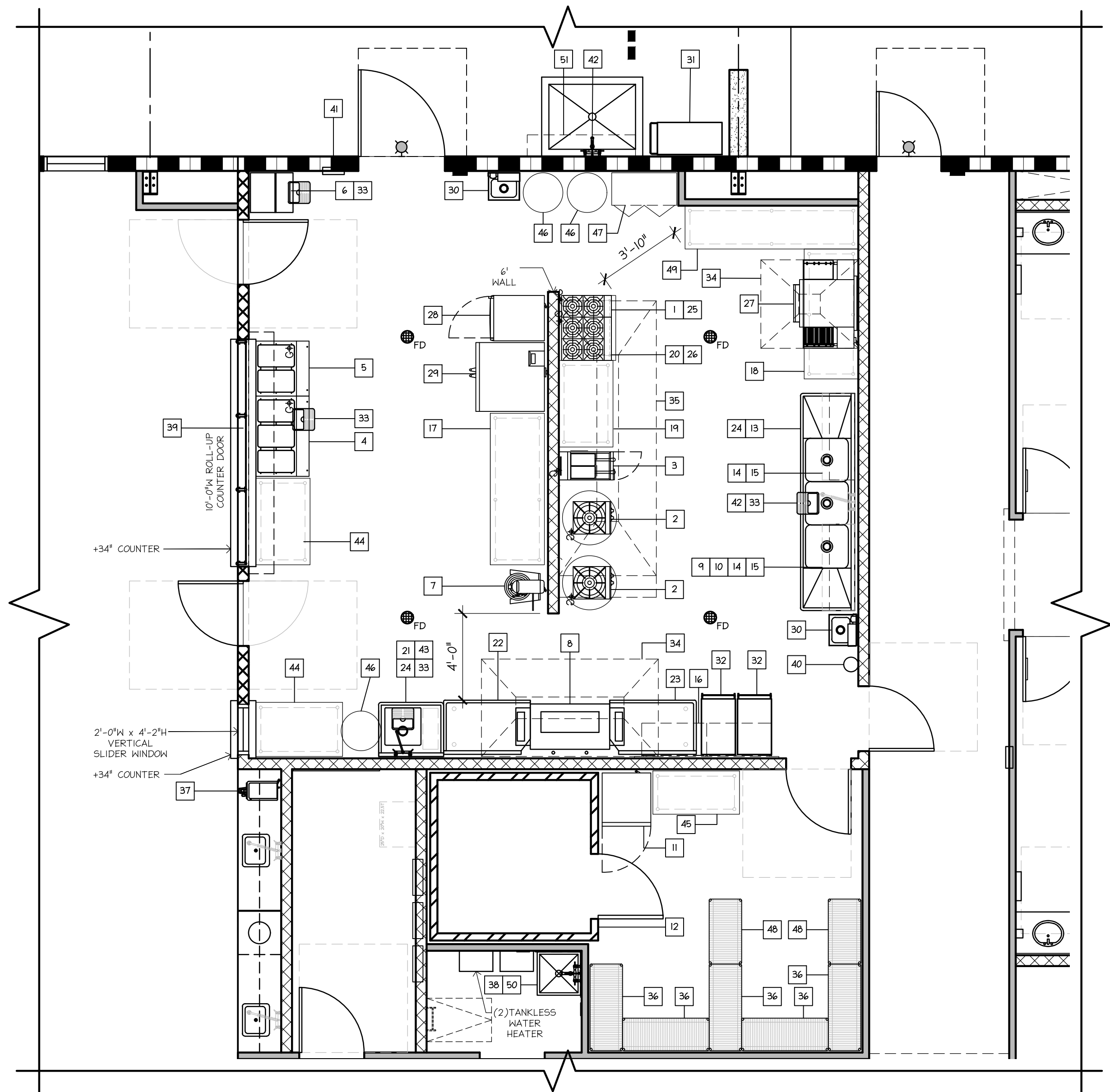
**IDENTIFICATION**

Scale	1/8" = 1'-0"
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	A-1.0

### EQUIPMENT SCHEDULE

EQUIPMENT SPECIFICATIONS

ITEM NUMBER	QUANTITY	OWNER SUPPLIED	OWNER INSTALLED	GC SUPPLIED	GC INSTALLED	VENDOR SUPPLIED	VENDOR INSTALLED	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS
1	1	X	X					GRILL/GRIDDLE, PORTABLE	UNIWORLD FOODSERVICE	UGT-RM2323	--
2	2	X			X			RANGE, STOCK POT, GAS	ATOSA USA, INC.	A5TP-18-1	--
3	1	X			X			GAS FLOOR FRYER	ATOSA USA, INC.	ATFS-40-NG	--
4	1	X			X			HOT FOOD SERVING COUNTER/TABLE	DUKE MANUFACTURING	303	--
5	1	X			X			HOT FOOD SERVING COUNTER/TABLE	DUKE MANUFACTURING	302	--
6	1	X			X			NUGGET ICE MAKER	MANITOWOC	RNP0320A	--
7	1	X			X			PLANETARY MIXER	GLOBE (MIDDLEBY)	5P20	--
8	1	X			X			DISHWASHER, CONVEYOR TYPE	CHA DISH MACHINES	EST-44	--
9	1	X	X					RICE/GRAIN COOKER	HAMILTON BEACH	37590	--
10	1	X	X					IMMERSION HAND MIXER	HAMILTON BEACH	HT1009	--
11	1	X			X			REACH-IN FREEZER	TRUE MFG. GENERAL	T-23F-HC	--
12	1	X			X			WALK-IN COOLER, MODULAR, REMOTE	KOLPAK	KFX7-0808-CR	--
13	1	X			X			THREE COMPARTMENT SINK	GSH USA	SH24243D	--
14	2	X			X			SHELVING, WALL MOUNTED	GSH USA	WS-WI44B	--
15	2	X			X			WIRE SHELVING	WINCO	VC-184B	VEXB-18 WIRE SHELF WALL BRACKET
16	1	X			X			SHELVING UNIT, WALL GRID	QUANTUM	SGK-803036	--
17	1	X			X			WORK TABLE, 30"x84"x35"H	GSH USA	WT-E3084	--
18	1	X			X			WORK TABLE, 30"x72"x24"H	GSH USA	ES-53072	--
19	2	X			X			WORK TABLE, 30"x48"x35"H	GSH USA	WT-E3048	--
20	2	X			X			WORK TABLE, 30"x36"x24"H	GSH USA	ES-53036	--
21	1	X			X			SOILED DISHTABLE, LEFT	GSH USA	DT36S-L	--
22	1	X			X			CLEAN DISHTABLE, RIGHT	GSH USA	DT48C-R	--
23	1	X			X			CLEAN DISHTABLE, LEFT	GSH USA	DT48C-L	--
24	2	X			X			DISPOSER	INSINKERATOR	55-200-5-M5	--
25	1	X			X			HOTPLATE, COUNTERTOP, GAS	ATOSA USA, INC.	ACHP-2	--
26	1	X			X			HOTPLATE, COUNTERTOP, GAS	ATOSA USA, INC.	ACHP-4	--
27	1	X			X			CONVEYOR OVEN, GAS	LINCOLN IMPINGER	1624-GUN-	--
28	1	X			X			HEATED HOLDING PROOFING CABINET, MOBILE	METRO	C519-CFC-4	--
29	1	X			X			CONVECTION OVEN, GAS	DUKE MANUFACTURING	E102-G	--
30	2	X			X			HAND WASHING SINK	ADVANCE TABCO	7-PS-131	--
31	1	X	X					WELDED STAINLESS STEEL CART, 2 SHELF	ULINE	H-3551	--
32	2	X	X					STAINLESS STEEL SERVICE CART	ULINE	H-7491	--
33	4			X	X			FLOOR SINK	--	--	SEE PLUMBING PLANS
34	2					X	X	TYPE II HOOD	CAPTIVE AIR	T.B.D.	--
35	1					X	X	TYPE I HOOD	CAPTIVE AIR	T.B.D.	--
36	5	X			X			WIRE SHELVING, 48"	METRO	5N357C	--
37	1	X	X					HOT WATER DISPENSER	WARING COMMERCIAL	HWB3G	--
38	1			X	X			MOP SINK	--	--	SEE PLUMBING PLANS
39	1			X	X			SNEEZE GUARD	BK RESOURCES	SG-D-72	--
40	1			X	X			TYPE "K" FIRE EXTINGUISHER	T.B.D.	T.B.D.	--
41	1			X	X			FIRE EXTINGUISHER 2A-10BC	J.L. INDUSTRIES	COSMOPOLITAN 1037-F17	--
42	2	X			X			HALL MOUNT PRE-RINSE W/ ADD-ON FAUCET	KROWNE	17-1094L	--
43	1	X			X			HALL MOUNT FAUCET	KROWNE	12-824L	--
44	2	X			X			WORKTABLE, 30"x48"x34"H	ATOSA	55TW-3048	--
45	1	X			X			WORKTABLE, 24"x48"x35"H	GSH USA	WT-E244B	--
46	3	X	X					TRASH CANS	ULINE	H-3687	W/ H-4199 (3) & H-7928 (3)
47	1			X	X			LOCKABLE SUPPLY CABINET	ULINE	H-2533	--
48	2	X			X			WIRE SHELVING, 36"	METRO	5N37C	--
49	1	X			X			WORKTABLE, 24"x36"x35"H	GSH USA	WT-E2496	--
50	2	X			X			HALL-MOUNTED UTILITY SINK FAUCET	AMERICAN STRANDARD	8344.212	--
51	1	X			X			WALL SHELVES w/ REMOVABLE HOOKS	EAGLE GROUP	WSPI260	--



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## PROPOSED EQUIPMENT PLAN AND SCHEDULE

PROJECT  
**PROPOSED DEVELOPMENT FOR:  
 HINDU TEMPLE - COMMUNITY HALL BUILDING**  
 7695 E. ALLUVIAL AVENUE  
 CLOVIS, CALIFORNIA 93619

STATUS

Current Release Date	09-12-25
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IDENTIFICATION

Scale	1/4" = 1'-0"
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	A-1.3



**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING  
1845 SHAW AVE., SUITE 101  
CLOVIS, CALIFORNIA 93611  
559-296-3060 (OFFICE)

### KEYED NOTES

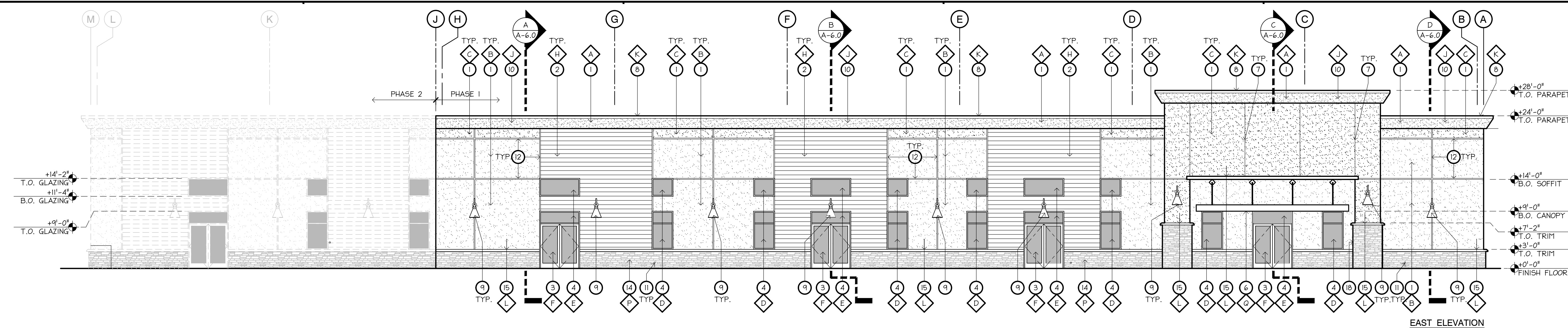
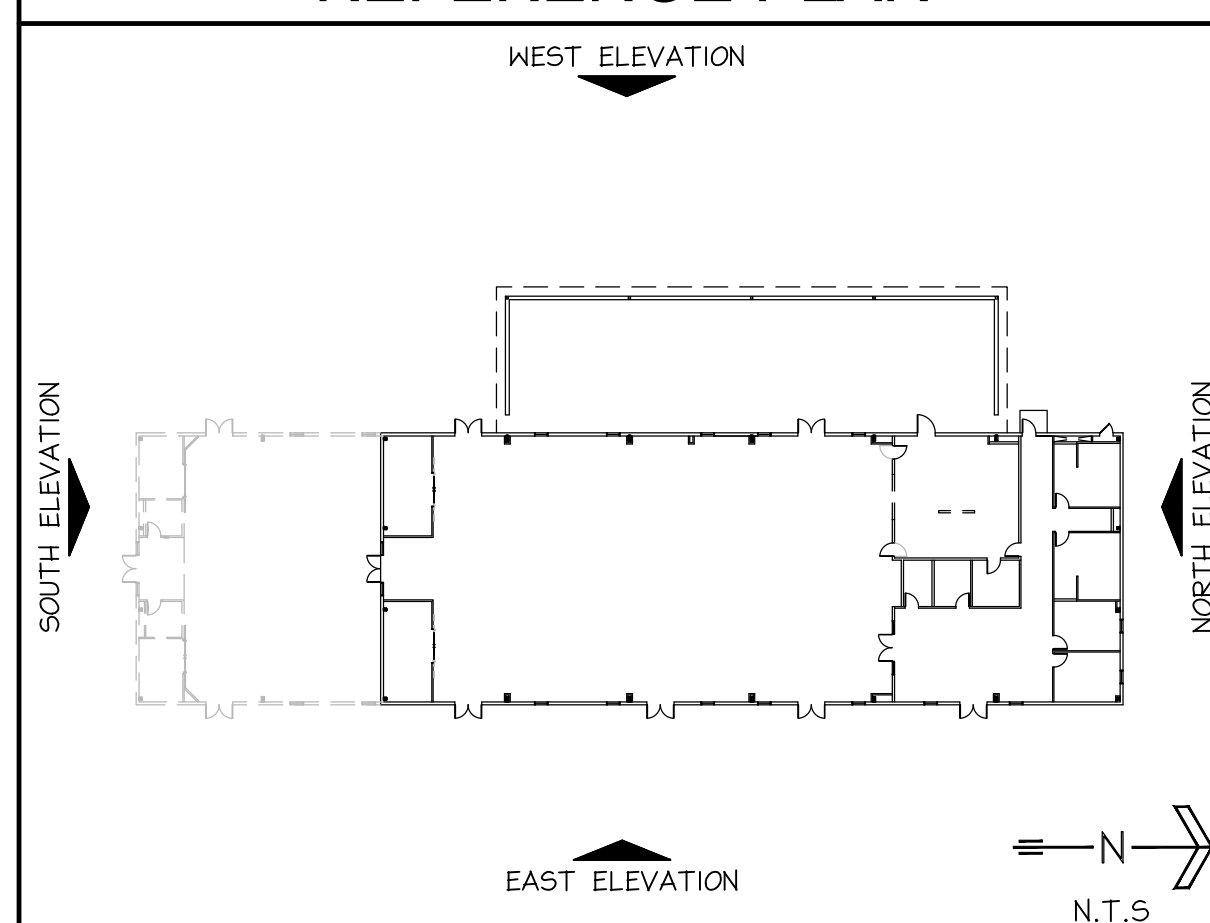
- 1 LOCATION OF NEW 7/8" THICK 3-COAT STUCCO FINISH w/ WIRE MESH or 2 LAYERS OF GRADE "D" BUILDING PAPER or EXTERIOR GRADE PLYWOOD, ITEM 15-1.3 - PROVIDE EXPANSION JOINTS WHERE SHOWN AND GSM KEEP SCREED AT BASE. TYPICAL - REFER TO COLOR/MATERIAL LEGEND FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- 2 LOCATION OF NEW PRE-FINISHED RESIN PANEL (WOOD GRAIN) - REFER TO COLOR/MATERIAL LEGEND FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- 3 LOCATION OF STOREFRONT DOOR(S) - REFER TO DOOR SCHEDULE AND DETAIL(S) FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- 4 LOCATION OF DUAL PANE GLAZING SYSTEM - REFER TO COLOR/MATERIAL LEGEND FOR ADDITIONAL INFORMATION - STOREFRONT DOOR AND WINDOW ASSEMBLIES SHALL MEET 24 ENERGY CALCULATION REQUIREMENTS.
- 5 LOCATION OF HOLLOW METAL DOOR AND FRAME - PAINT (2) COAT ENAMEL TO MATCH ADJACENT WALL COLOR - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 6 LOCATION OF NEW METAL CANOPY - SEE DETAILS FOR ADDITIONAL INFORMATION.
- 7 LOCATION OF NEW VERTICAL/HORIZONTAL EXPANSION JOINT AND/OR REVEAL IN STUCCO SYSTEM - REFER TO DETAILS ADDITIONAL INFORMATION AND REQUIREMENTS.
- 8 LOCATION OF NEW GSM PARAPET CAP FLASHING - PAINT 2-COATS ENAMEL TO MATCH COLOR OF FINISH MATERIAL DIRECTLY BELOW - REFER TO COLOR/MATERIAL LEGEND FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- 9 LOCATION OF NEW WALL MOUNTED LIGHT FIXTURES - REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 10 LOCATION OF NEW EPS FOAM CORNICE w/ STUCCO FINISH - PAINTED.
- 11 LOCATION OF "OVERFLOW" LEADER THAT RUNS THRU/DOWN FRAMING AND DAYLIGHTS AT +2' A.F.F. - PAINT ALL EXPOSED SURFACES WITH 2-COATS ENAMEL (INCLUDING INTERIOR SURFACES) TO MATCH ADJACENT FINISH COLOR.
- 12 LOCATION OF NEW 2" REVEAL.
- 13 LOCATION OF NEW STONE VENEER CAP - PROVIDED BY VENDOR.
- 14 LOCATION OF NEW STONE VENEER - REFER TO COLOR MATERIAL LEGEND FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- 15 LOCATION OF NEW EPS FOAM TRIM WITH COLORED STUCCO FINISH - REFER TO COLOR/MATERIAL LEGEND FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- 16 LOCATION OF NEW COLUMN - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 17 LOCATION OF NEW ACM PANEL FASCIA.
- 18 LOCATION OF NEW RECESSED FIRE DEPARTMENT KNOX BOX - BOTTOM SHALL BE AT +6'-0" ABOVE FINISH FLOOR.
- 19 DASHED LINE INDICATES APPROXIMATE LOCATION OF TOP OF ROOF BEYOND.

ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL:

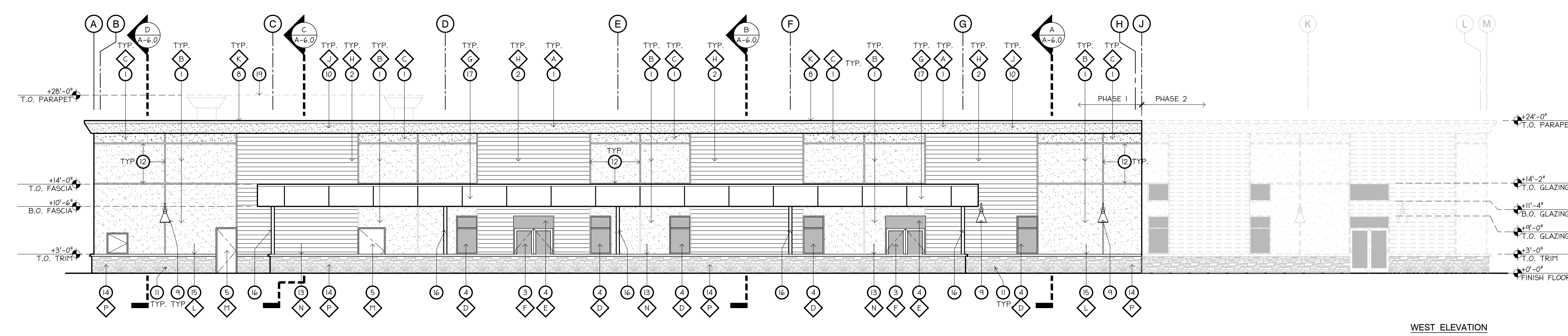
### COLOR / MATERIAL LEGEND

MATERIAL	FINISH	COLOR
CEMENT PLASTER	PAINTED	T.B.D.
CEMENT PLASTER	PAINTED	T.B.D.
CEMENT PLASTER	PAINTED	T.B.D.
GLAZING SYSTEM	FACTORY FINISH	T.B.D.
ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	T.B.D.
STOREFRONT DOOR	FACTORY FINISH	T.B.D.
ACM PANEL	FACTORY FINISH	ALPOLOIC
RESIN PANEL	FACTORY FINISH	FIBERON
EPS FOAM	PAINTED	T.B.D.
METAL CAP	PAINTED	T.B.D.
ACCENT BAND (EPS FOAM TRIM)	PAINTED	T.B.D.
HOLLOW METAL DOOR FRAME	PAINTED	T.B.D.
STONE VENEER CAP	FACTORY FINISH	ELDORADO STONE
STONE	FACTORY FINISH	ELDORADO STONE
METAL CANOPY	PAINTED	DARK BRONZE

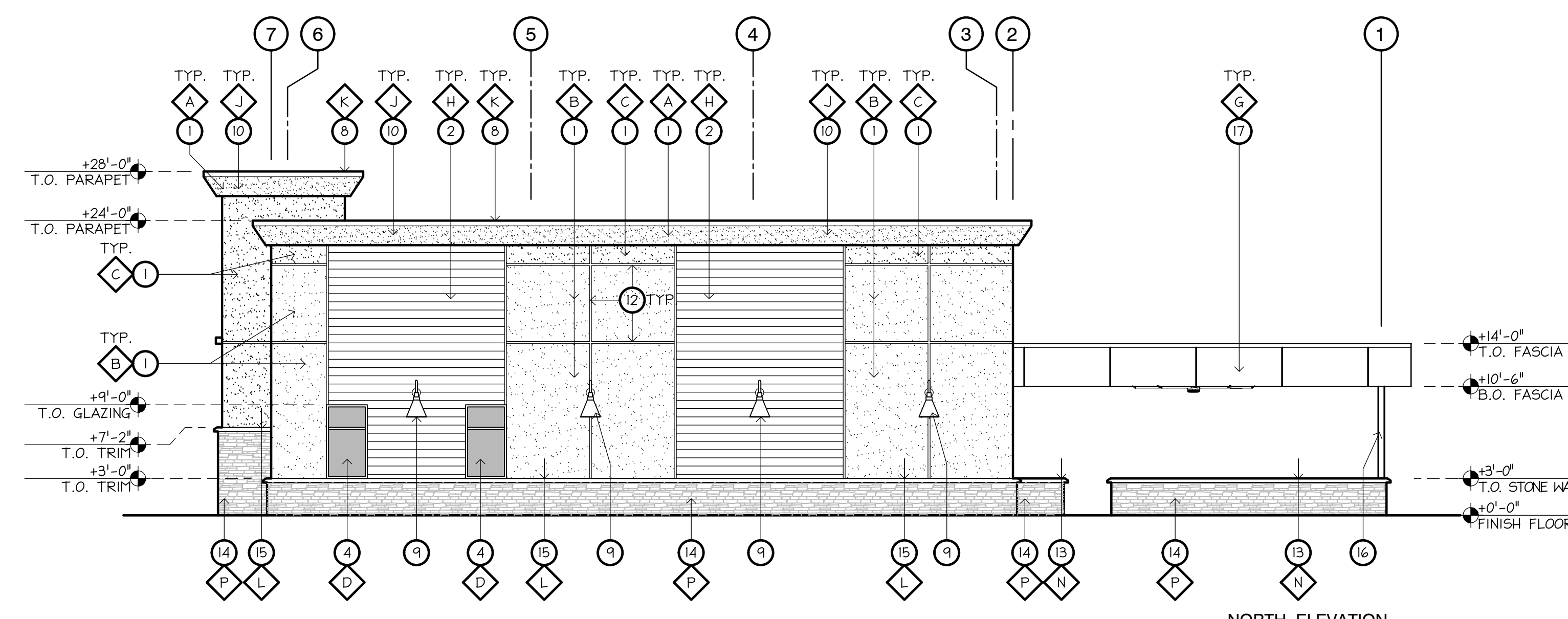
### REFERENCE PLAN



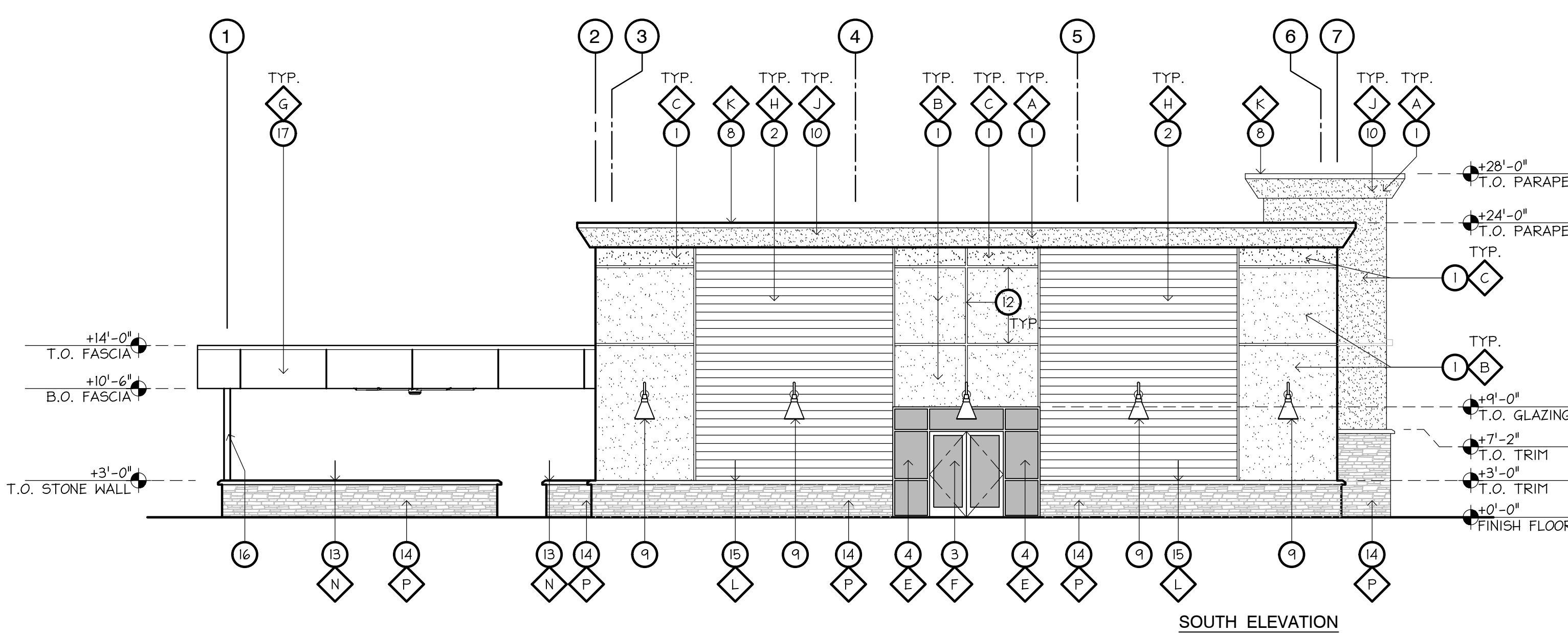
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

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## PROPOSED EXTERIOR ELEVATIONS

PROJECT  
PROPOSED DEVELOPMENT FOR:  
HINDU TEMPLE - COMMUNITY HALL BUILDING  
7695 E. ALLUVIAL AVENUE  
CLOVIS, CALIFORNIA 93619

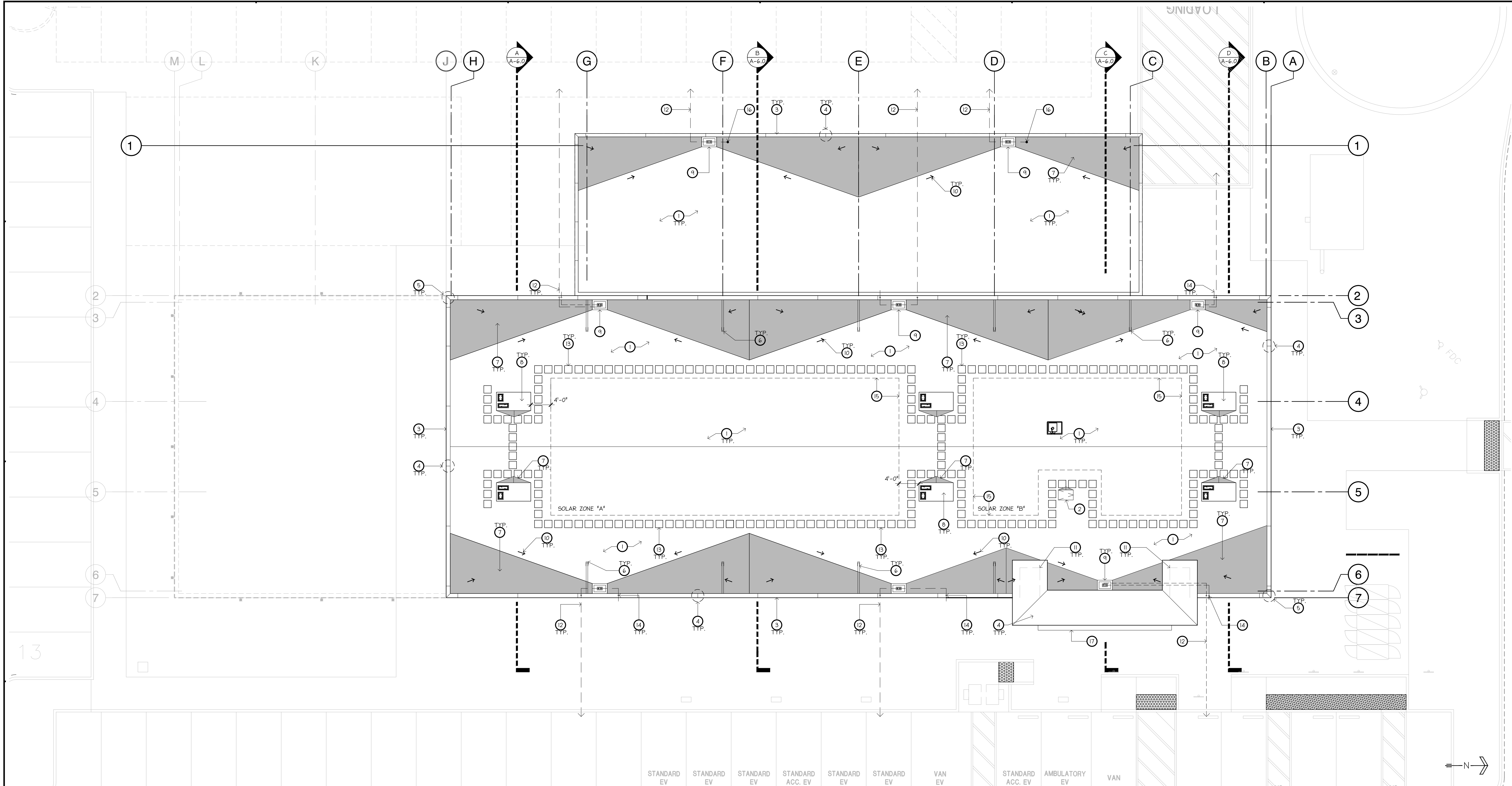
### STATUS

Current Release Date	09-12-25
Planning Submittal	09-12-25
Plan Check Submittal	--

### REVISIONS


### IDENTIFICATION

Scale	1/8" = 1'-0"
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	A-3.0



**SOLAR ZONE CALCULATION**

<b>MINIMUM SOLAR ZONE AREA BASED ON TOTAL ROOF AREA</b>	
TOTAL PROPOSED ROOF AREA:	13,648 S.F.
TOTAL REQUIRED SOLAR ZONE ROOF AREA:	13,648 S.F. x .15 = 2,047 S.F.
<b>PROVIDED SOLAR ZONE AREA BASED ON TOTAL ROOF AREA</b>	
SOLAR ZONE 'A' AREA:	1,910 S.F.
SOLAR ZONE 'B' AREA:	1,026 S.F.
TOTAL PROVIDED SOLAR ZONE ROOF AREA:	2,936 S.F.

- GENERAL NOTES**
- PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
  - GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
  - CONTRACTOR SHALL SUBMIT COMPLETE FIRE SPRINKLER PLANS AND DESIGN DOCUMENTS TO THE FIRE PREVENTION BUREAU FOR APPROVAL SO THAT THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OF THE CALIFORNIA BUILDING CODE PRIOR TO ANY INSTALLATION OF NEW OR MODIFICATION TO EXISTING SYSTEMS.
  - REFER TO STRUCTURAL ROOF FRAMING PLAN FOR ALL ROOF CURBS / MECHANICAL UNIT LOCATIONS - THE LOCATION WILL BE DETERMINED BY STRUCTURAL ROOF TRUSS LAYOUT.
  - ROOFING SUB-CONTRACTOR SHALL PROVIDE CRICKETS AT ROOF CURBS AND ROOF HATCH PER SPECIFICATIONS REQUIRED.

**KEYED NOTES**

- ROOFING ASSEMBLY - CARLISLE 60 MIL BRIGHT WHITE SURE-WELD MECHANICALLY FASTENED THERMOPLASTIC POLYOLEFIN (TPO) ROOFING SYSTEM OR EQUAL OVER INSULFOAM HD COMPOSITE INSULATION OR EQUAL (R-38 MIN.) OVER ROOF SHEATHING AS PER STRUCTURAL DRAWINGS - INSTALL PER MFR INSTRUCTIONS - COOL ROOF PRODUCT ID 0628-0002, SOLAR REFLECTANCE 0.79, THERMAL EMITTANCE 0.90, SRI 99.
- PROPOSED ROOF ACCESS HATCH AND LADDER WITH LOCKABLE HARDWARE - SEE DETAILS.
- CONTINUOUS LINE INDICATES LOCATION OF PARAPET FRAMING.
- G.S.M. PARAPET COPING FLASHING - COPING SHALL BE 22 GAUGE GALVANIZED SHEET METAL - PAINT 2-COATS ENAMEL TO MATCH CORNICE TRIM AND/OR WALL FINISH DIRECTLY BELOW - SEE EXTERIOR ELEVATIONS, COLOR/MATERIAL LEGEND, SECTIONS, AND DETAILS.
- COPING CORNERS SHALL BE 22 GAUGE GALVANIZED SHEET METAL AND HAVE A JOINT SPLICE WITHIN 12"-18" IN EACH DIRECTION OF CORNER - CORNER VALLEY JOINT SHALL BE SEALED, SOLDERED OR WELDED TO MAKE WEATHER PROOF - PAINTED WITH TWO COATS TO MATCH ADJACENT STUCCO COLOR - SEE DETAILS.
- LOCATION OF GALVANIZED STEEL PARAPET BRACE - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- SOLID SHADING INDICATES PRE-MANUFACTURED COVERBOARD & TAPERED INSULATION BOARDS - THIS PRODUCT ALLEVIATES US FROM PROVIDING SPRINKLERS OR DRAFTSTOPS WITHIN CRICKET VOID SPACES AS THERE WILL NOT BE A CONCEALED ATTIC/SPACE - SEE DETAILS.
- MECHANICAL CURB(S) AND MECHANICAL UNIT(S) - SEE DETAILS, STRUCTURAL PLANS, AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
- 1.5" x 1.5" x 1.5" DRAIN PIPE SIZE ROOF DRAIN / OVERFLOW COMBINATION INLET WITH C.I. LEADERS - RUN ROOF DRAIN LEADER DOWN THROUGH WALL FRAMING AND CONNECT TO STORM DRAIN (SEE CIVIL PLANS) - RUN OVERFLOW LEADER DOWN THROUGH WALL FRAMING AND DAYLIGHT AT SOFFIT BELOW AND/OR 12" A.F.F. - ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET TO POINT OF TERMINATION - SEE 'ROOF DRAIN CALCULATIONS' ON THIS SHEET FOR DRAIN PIPE SIZE - PAINT ALL EXPOSED MATERIAL INCLUDING INTERIOR SURFACE 2-COATS ENAMEL TO MATCH ADJACENT EXTERIOR WALL COLOR - SEE DETAILS.
- ARROW INDICATES DIRECTION OF DRAINAGE - PROVIDE 1/8" : 12" MINIMUM SLOPE IN 'VALLEY' FORMED BY CRICKET AND MAIN DECK SLOPE - SEE DETAILS.
- INDICATES VERTICAL TRANSITION BETWEEN ROOFING AND CEMENT PLASTER FINISH - SEE DETAILS.
- DASHED LINES INDICATE ROOF DRAIN C.I. LEADERS - RUN ROOF DRAIN LEADER DOWN THROUGH WALL FRAMING AND DAYLIGHT AT FACE OF PARKING CURB - ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET TO POINT OF TERMINATION - SEE PROPOSED FLOOR PLAN, REFLECTED CEILING PLAN, AND EXTERIOR ELEVATIONS.
- LOCATION OF ROOF MOUNTED WALK PADS.
- LOCATION OF ROOF DRAIN 'OVERFLOW' LEADER THAT RUNS DOWN THROUGH WALL FRAMING AND DAYLIGHTS AT +12 A.F.F. AT THE FACE OF WALL - PAINT ALL EXPOSED SURFACES WITH 2-COATS ENAMEL (INCLUDING INTERIOR SURFACES) TO MATCH ADJACENT WALL FINISH COLOR - SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- LOCATION OF PROPOSED SOLAR ZONE(S) - NO ROOF VENTS, CONDUITS, ETC. SHALL BE WITHIN THIS AREA AND THIS PORTION OF ROOF SHALL BE STRUCTURALLY DESIGNED TO ACCEPT FUTURE SOLAR PHOTOVOLTAIC PANEL LOADING - HIGHEST PORTION OF FUTURE SOLAR PANELS SHALL BE ELEVATED TO THE MAIN BUILDING PARAPET HEIGHT (BUT NO HIGHER) THIS MAY NO PART OF THE BUILDING OR ROOF MOUNTED EQUIPMENT WILL PROJECT SHADE ONTO THE FUTURE SOLAR PANELS - HORIZONTAL DISTANCES BETWEEN SOLAR ZONES AND OBSTRUCTIONS HAVE BEEN SHOWN ON THE ROOF PLAN AND SHALL BE MAINTAINED IN ORDER TO COMPLY WITH CAL FIRE SOLAR PHOTOVOLTAIC INSTALLATION GUIDELINES (PATHWAY CLEARANCES 4' MINIMUM CLEAR).
- LOCATION OF ROOF DRAIN 'OVERFLOW' LEADER THAT DAYLIGHTS OUT OF THE SOFFIT - PAINT ALL EXPOSED SURFACES WITH 2-COATS ENAMEL (INCLUDING INTERIOR SURFACES) TO MATCH ADJACENT SOFFIT FINISH COLOR - SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- LOCATION OF PAINTED METAL CANOPY - SEE EXTERIOR ELEVATIONS, DETAILS, AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.

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CLOVIS, CALIFORNIA 93619

**STATUS**

Current Release Date	09-12-25
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Plan Check Submittal	--

**REVISIONS**

△	
△	
△	
△	
△	

**IDENTIFICATION**

Scale	1/8" = 1'-0"
Project Coordinator	BRYAN POK
Project No.	14-121A
Sheet	A-5.0

**ROOF PLAN**

A-5.0

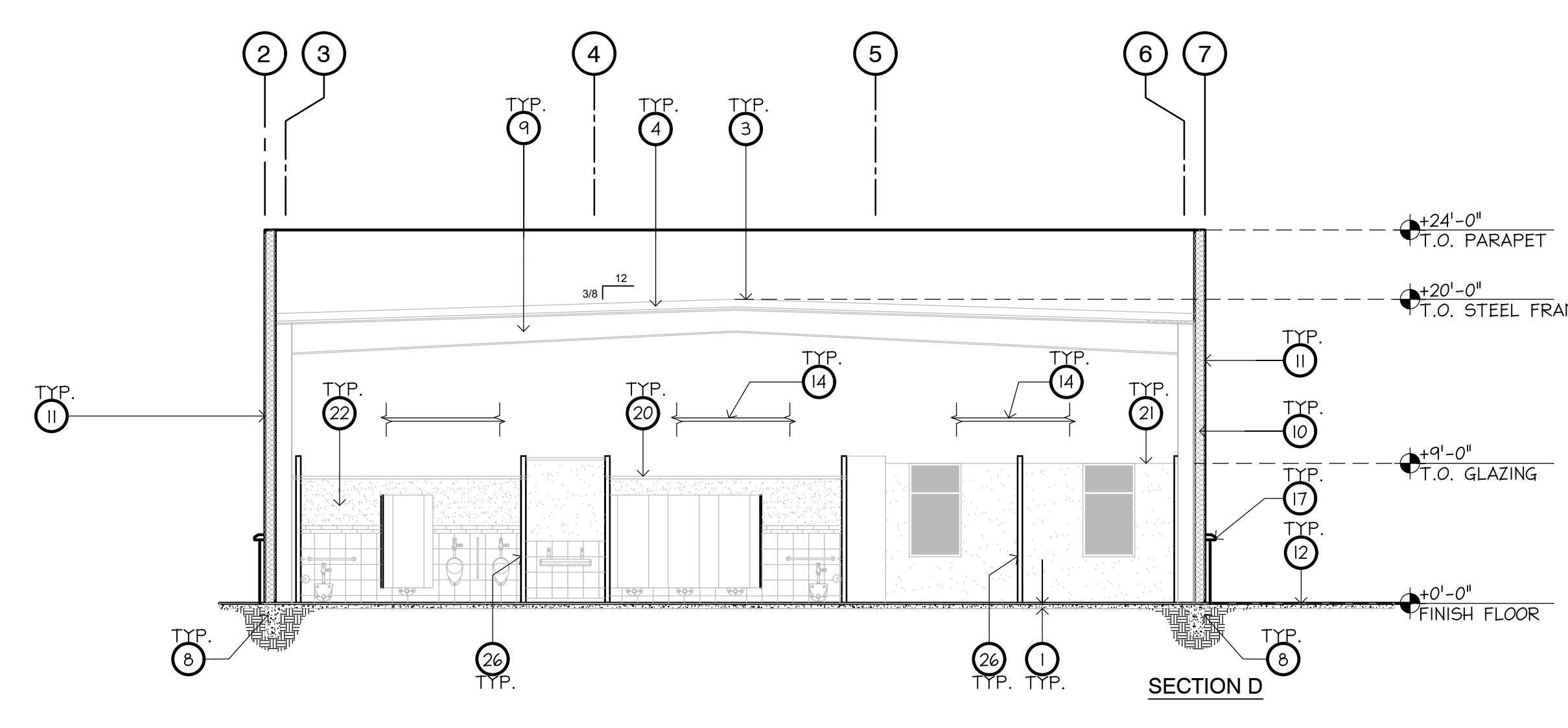
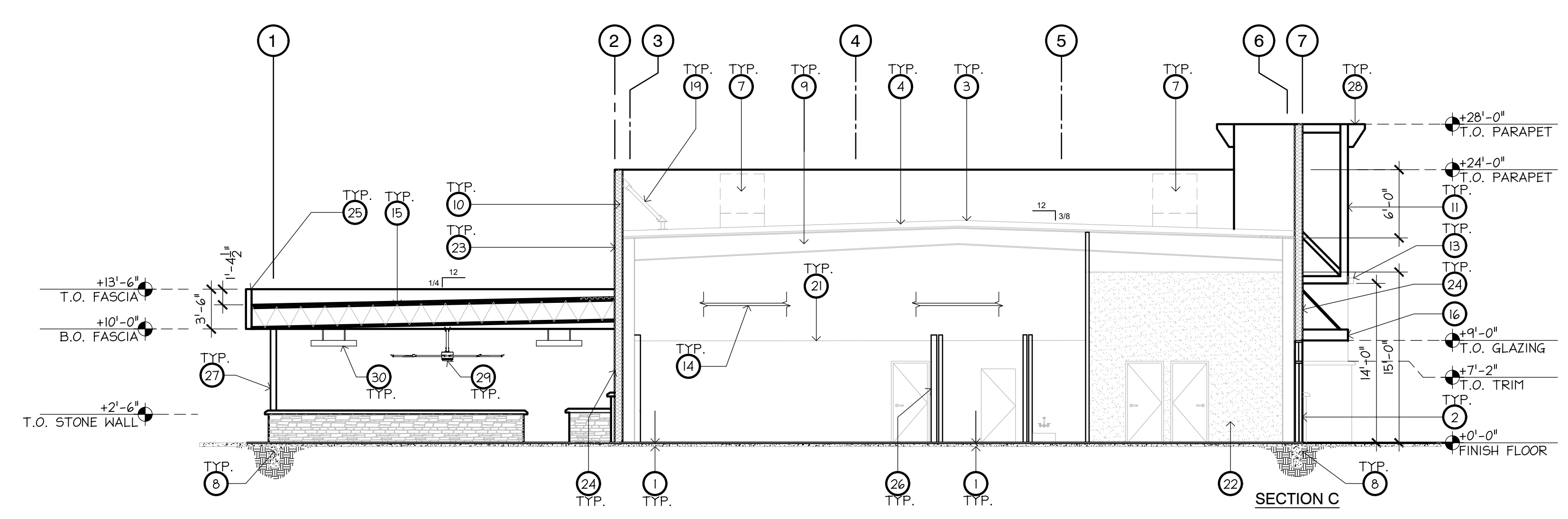
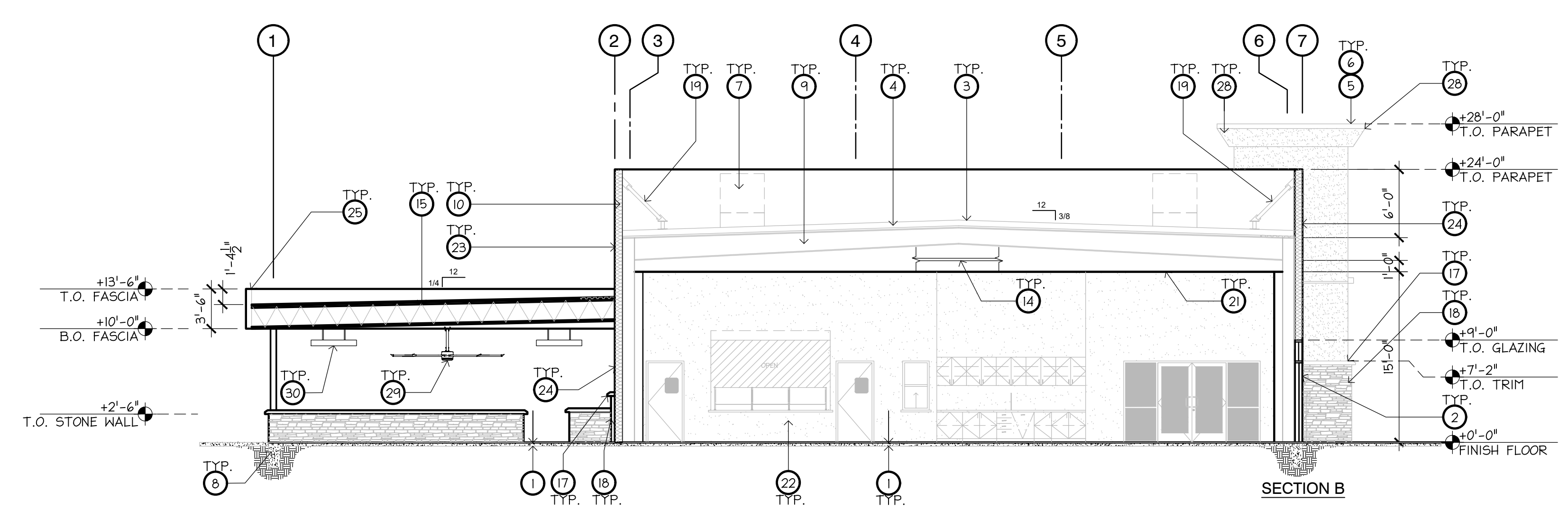
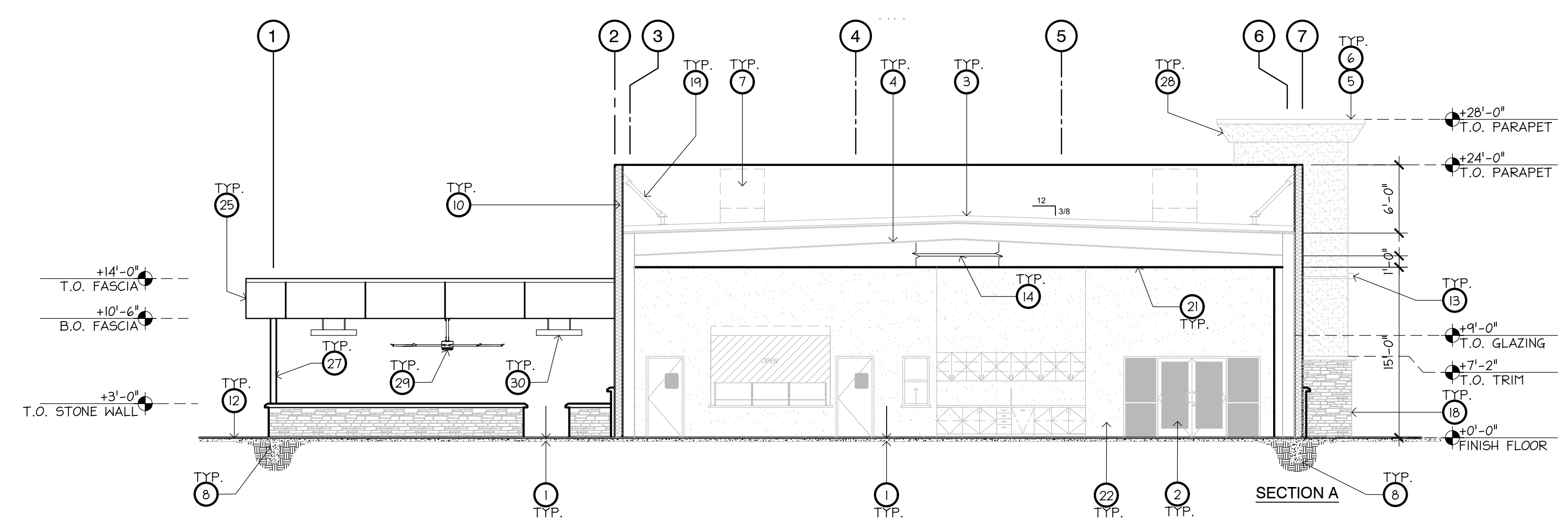


**CENTERLINE  
DESIGN, LLC**

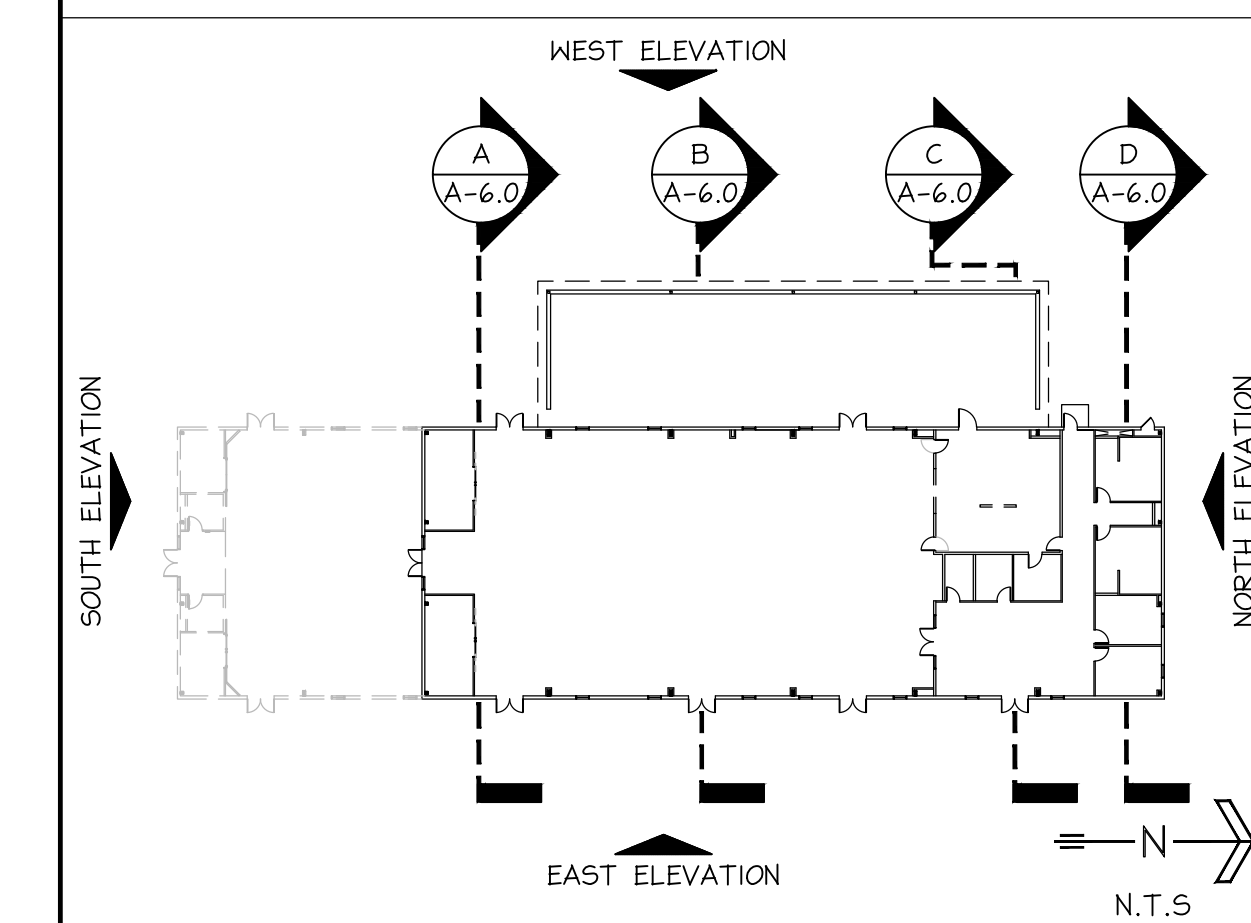
PLANNING - DESIGN - CONSULTING  
1645 SHAW AVE. SUITE 101  
CLOVIS, CALIFORNIA 93611  
559-295-3060 (OFFICE)

### KEYED NOTES

- 1 LOCATION OF CONCRETE SLAB - SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIREMENTS.
- 2 LOCATION OF STOREFRONT SYSTEM - SEE EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
- 3 LOCATION OF ROOFING ASSEMBLY - SEE ROOF PLAN AND STRUCTURAL PLANS FOR ADDITIONAL REQUIREMENTS.
- 4 LOCATION OF ROOF FRAMING - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 5 INDICATES TOP OF PARAPET BEYOND.
- 6 LOCATION OF NEW G.S.M. PARAPET CAP FLASHING - SEE EXTERIOR ELEVATIONS AND ROOF PLAN FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 7 LOCATION OF ROOF MOUNTED MECHANICAL UNITS AND ROOF CURBS - SEE MECHANICAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 8 LOCATION OF STRUCTURAL FOOTING - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 9 LOCATION OF NEW STEEL BUILDING FRAME - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 10 INSULATION WITH-IN WALL FRAMING TO UNDERSIDE OF ROOF DECK PER TITLE 24 DOCUMENTS.
- 11 LOCATION OF NEW 7/8" THICK 3-COAT STUCCO FINISH w/WIRE MESH o/2 LAYERS OF GRADE 10' BUILDING PAPER o/ EXTERIOR GRADE PLYWOOD SCREED AT BASE. TYPICAL - REFER TO COLOR AND MATERIAL LEGENDS FOR ADDITIONAL INFORMATION.
- 12 LOCATION OF EXTERIOR CONCRETE FLATWORK - SEE CIVIL AND SITE PLAN FOR ADDITIONAL INFORMATION.
- 13 LOCATION OF EPS FOAM TRIM - SEE EXTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- 14 LOCATION OF NEW FIRE SPRINKLERS - SEE FIRE SPRINKLER PLANS FOR ADDITIONAL REQUIREMENTS.
- 15 LOCATION OF METAL TRUSS - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 16 LOCATION OF METAL CANOPY - SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- 17 LOCATION OF NEW STONE VENEER CAP - SEE DETAILS FOR ADDITIONAL INFORMATION.
- 18 LOCATION OF NEW STONE VENEER - REFER TO COLOR MATERIAL LEGEND FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- 19 STRUCTURAL PARAPET BRACES - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 20 LOCATION OF GYPSUM BOARD CEILING/SOFFIT - SEE DETAILS AND INTERIOR DESIGN PLANS FOR ADDITIONAL INFORMATION.
- 21 LOCATION OF SUSPENDED CEILING TILE - SEE DETAILS AND INTERIOR DESIGN PLANS FOR ADDITIONAL INFORMATION.
- 22 INDICATES 5/8" GYPSUM BOARD FINISH - PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD ON ALL WALLS RECEIVING PLUMBING FIXTURES.
- 23 LOCATION OF METAL STUD FRAMING - SEE FLOOR PLAN AND WALL LEGEND FOR ADDITIONAL INFORMATION.
- 24 LOCATION OF PRE-FINISHED RESIN PANELS (WOOD GRAIN) - SEE EXTERIOR ELEVATIONS AND COLOR/MATERIAL LEGEND FOR ADDITIONAL INFORMATION.
- 25 LOCATION OF ACM METAL PANEL FASCIA - SEE EXTERIOR ELEVATIONS, COLOR/MATERIAL LEGEND, AND DETAILS FOR ADDITIONAL INFORMATION.
- 26 LOCATION OF METAL STUD AND GYP. BOARD PARTITION - SEE FLOOR PLAN AND WALL LEGEND FOR ADDITIONAL INFORMATION.
- 27 LOCATION OF PAINTED STEEL COLUMN - SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 28 LOCATION OF EPS FOAM CORNICE WITH STUCCO FINISH - SEE EXTERIOR ELEVATIONS, COLOR/MATERIAL LEGEND, AND DETAILS FOR ADDITIONAL INFORMATION.
- 29 LOCATION OF SUSPENDED CEILING FANS - SEE REFLECTED CEILING AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 30 LOCATION OF SUSPENDED LIGHT FIXTURES - SEE REFLECTED CEILING AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.



### REFERENCE PLAN



PROJECT  
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BRYAN POK
Project No.
14-121A
Sheet

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# BUILDING SECTIONS

## A-6.0



EAST



SOUTHEAST



NORTH



NORTH

REQUESTED PHOTOGRAPHS FOR DRA  
Centerline Design Project #: 14-121A  
Project Name: HINDU TEMPLE - COMMUNITY HALL BUILDING  
Address: 7699 E. ALLUVIAL AVE.  
APN: 565-042-13



SOUTH



SOUTH



WEST



SOUTHWEST



NORTHWEST



SOUTHWEST



NORTH

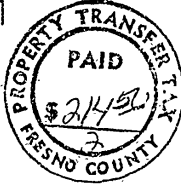
RECORDING REQUESTED BY  
**CHICAGO TITLE COMPANY**  
AND WHEN RECORDED MAIL TO

98158680

**CHICAGO TITLE**

RECORDED

Hindu Temple of Fresno  
c/o J. P. Sethi  
P.O. Box 3869  
Pinedale, Ca 93650



AT — MIN. PAST 8:11 AM

OCT 30 1998

FRESNO COUNTY, CALIFORNIA  
WILLIAM C. GREENWOOD, County Recorder

ROSIE FINLEY  
Deputy Recorder

FREE  
\$ 7

Escrow No. 481937 - YSG  
Order No. 481937 - JB

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**GRANT DEED**

Assessor's Parcel No:  
565-042-13

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX IS \$214.50

unincorporated area  City of Fresno

computed on the full value of the interest or property conveyed, or is

computed on the full value less the value of liens or encumbrances remaining at time of sale, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
Protestant Episcopal Bishop of San Joaquin, a Corporation Sole

hereby GRANT(S) to  
Hindu Temple of Fresno, a non-profit corporation.

the following described real property in the City of Fresno  
County of Fresno, State of California:

The East half of the East half of the Northwest quarter of the Southeast quarter of  
Section 35, Township 12 South, Range 21, East, Mount Diablo Base & Meridian, according  
to the Official Plat thereof.

Excepting therefrom the West 158 feet of the North 660 feet thereof.

Dated August 14, 1998

Protestant Episcopal Bishop  
of San Joaquin, a Corporation Sole

STATE OF CALIFORNIA

COUNTY OF FRESNO ) SS.

On OCTOBER 29, 1998 before me,

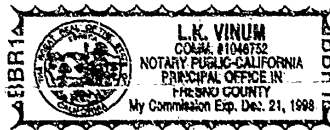
L. R. VINUM

a Notary Public in and for said County and State, personally appeared

JOHN DAVID SCHOFIELD

By: John David Schofield  
John David Schofield, Inc. Re. Rev.

personally known to me (or proved to me on the basis of satisfactory  
evidence) to be the person(s) whose name(s) is/are subscribed to the  
within instrument and acknowledged to me that he/she/they executed the  
same in his/her/their authorized capacity(ies), and that by his/her/their  
signature(s) on the instrument the person(s), or the entity upon behalf of  
which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

L.R. Vinum  
Signature of Notary

12/21/98  
Date My Commission Expires

FOR NOTARY SEAL OR STAMP

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE: IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

Name Street Address City, State & Zip

G01 - 05/90/97bk

OCT 30 1998