



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: March 1, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director of Planning
Development Services and Capital Projects, Attn: Chris W. Motta, Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga,
Principal Planner
Development Services and Capital Projects, Attn: James Anders,
Principal Planner
Development Services and Capital Projects, Current/Environmental
Planning, Attn: David Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, Attn:
Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review,
Attn: Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Development Engineering,
Attn: Laurie Kennedy, Office Assistant III
Water and Natural Resources Division, Attn: Augustine Ramirez, Division
Manager
Water and Natural Resources Division, Attn: Roy Jimenez, Senior Planner
Water and Natural Resources Division, Transportation Planning, Attn:
Hector Luna, Senior Planner, Brody Hines, Darren Findley
Water and Natural Resources Division, Community Development, Attn:
Yvette Quiroga, Principal Planner
Design Division, Attn: Mohammad Alimi, Division Manager;
Erin Haagenson, Principal Staff Analyst
Resources Division, Attn: Daniel Amann, Interim Division Manger
Resources Division, Special Districts, Attn: Christopher Bump, Principal
Staff Analyst,
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,
Supervising Engineer
Department of Public Health, Environmental Health Division, Attn: Deep
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
Environmental Health Specialist.
Fresno County Fire Protection District, Attn: FKU.Prevention_Planning@fire.ca.gov
Shaver Lake Volunteer Fire Protection District, Attn: Tome Warner, Fire Chief

FROM: Jeremy Shaw, Planner
Development Services and Capital Projects Division

SUBJECT: Variance No. 4165 and Environmental Review No. 8535

APPLICANT: **Kyle Ehlers, Genesis Construction**

DUE DATE: **March 14, 2024**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a zero-foot front yard setback, for an attached deck, and allow an 8.5-foot front yard set-back, where a minimum of 20 feet are required, and allow a 38-foot peak height, where a maximum of 35 feet are allowed for an existing single-family residential addition, on an approximately 6,435 square-foot lot, in the R-1(m) Single-Family Residential, 6,000 Square-Foot Minimum Parcel Size, Mountain Overlay) Zone District.

The subject parcel is located on the north side of Dalton Ave., approximately 55 feet west of its intersection with Lakeview Ave, within the unincorporated community of Shaver Lake (APN: 120-291-11) (44452 Dalton Ave.) (Sup. Dist. 5).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **March 14, 2024**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Jeremy Shaw, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4207, or email jshaw@fresnocountyca.gov

JS

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Activity Code (Internal Review): 2377

Enclosures



Fresno County Department of Public Works and Planning

Date Received: 1/31/24

VA 4165

MAILING ADDRESS:

Department of Public Works and Planning
Development Services and Capital Projects Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497

(Application No.)

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class II)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

Allow a zero foot front yard setback and allow a building height of 38 feet where a maximum of 35 feet are allowed, on a 6,000 sqft +/- parcel in the R-1 (m) Zone District.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: North side of Dalton Ave
between Lakeview and Hillcrest/Dalton
Street address: 44452 Dalton, Shaverlake, CA

APN: 120-291-11 Parcel size: 6000 Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

* Chad and Cindy Matolan (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Chad and Cindy Matolan

Table with 5 columns: Owner/Applicant/Representative (Print or Type), Address, City, Zip, Phone. Rows include Kyle Ehlers at 7555 N Durango Fresno 93722 559-930-9222.

CONTACT EMAIL: ehlersk@live.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: VA 4065 Fee: \$ 6,049
Application Type / No.: Pre-App credit Fee: \$ -247.00
PER/Initial Study No.: Fee: \$ 259.00
Ag Department Review: Fee: \$
Health Department Review: Fee: \$ 365.00
Received By: J.S. Invoice No.: 290334 294685 TOTAL: \$ 6,426.00

UTILITIES AVAILABLE:

WATER: Yes [X]/ No []
Agency: Community
SEWER: Yes []/ No [X]
Agency: Septic

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: - T S/R E

Related Application(s):

APN # - - -

Zone District:

APN # - - -

Parcel Size:

APN # - - -

APN # - - -

over.....

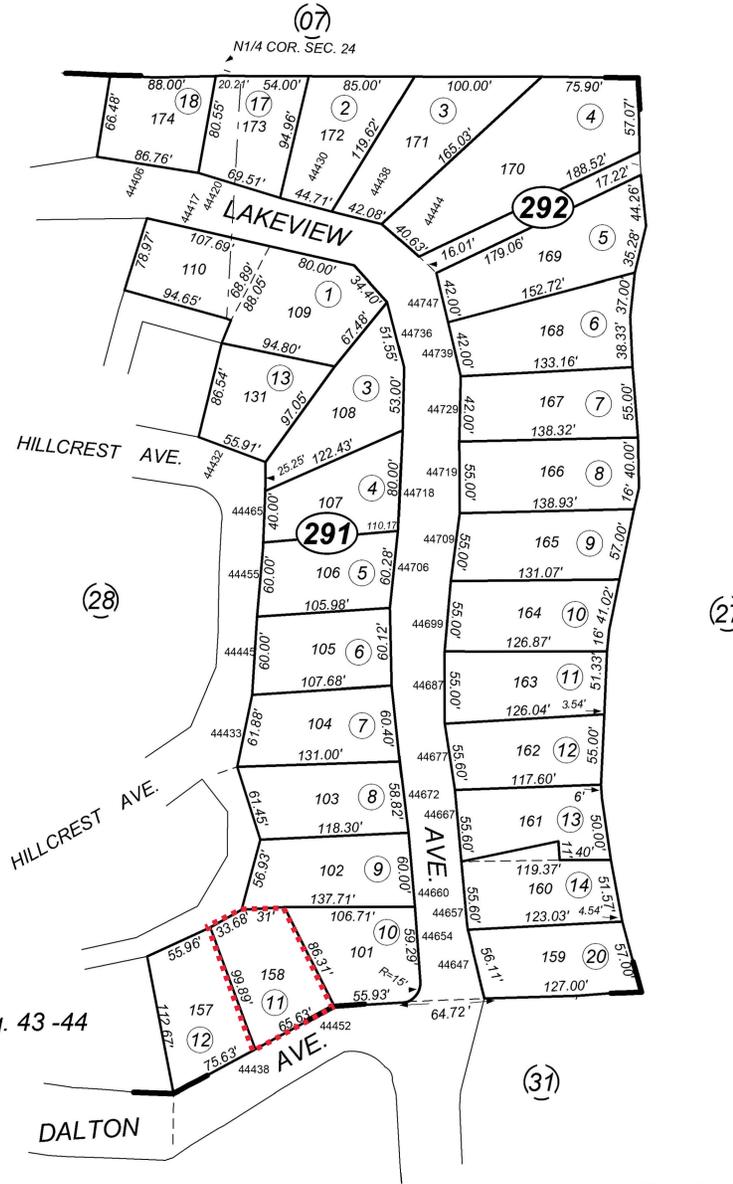
-NOTE-
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC. 24, T. 9 S., R. 24 E., M. D. B. & M.

Tax Rate Area

120-29

60-004



Shaver Lake Point Sub'd. No. 2 - Plat Bk. 13, Pg. 43-44

9/4/2019

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

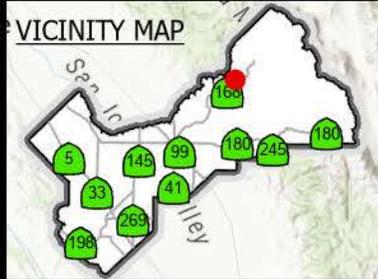
Assessor's Map Bk. 120 - Pg. 29
County of Fresno, Calif.



Legend



Subject Property

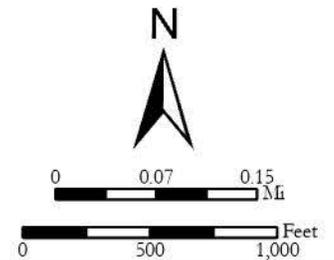


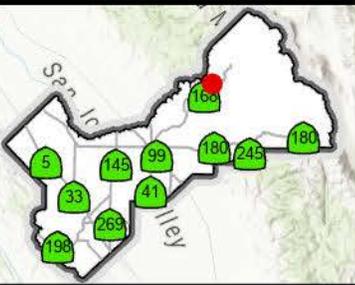
LOCATION MAP

APN: 120-291-11

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : jocervantes
On Date : 2/26/2024



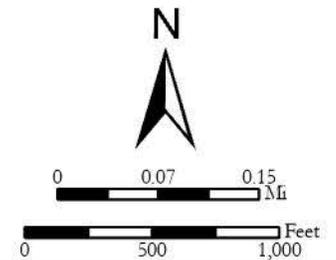


Existing Zoning Map

VA4165
STR 24 - 9S / 24E

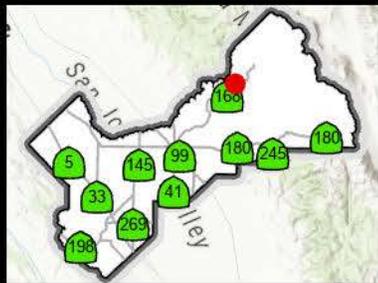
2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : jocervantes
 On Date : 2/26/2024



Legend

-  1/2 Mile Buffer
-  Subject Property
-  LU Permits

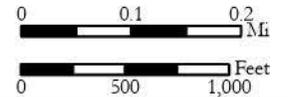


Proximity Map

VA4165

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : jocervantes
On Date : 2/26/2024



Ordinance Section 877
For 44452 Dalton Avenue
Chad and Cindy Matoian (Owners)

SUMMARY OF PROPOSED CHANGES

The variance that is being requested is for an existing single-family home located at 44452 Dalton Avenue, Shaver Lake, CA 93664 which is undergoing a remodel and addition. This home is in a Shaver Lake development that is primarily used by the residents as a secondary vacation home. Most homes are used less than 80 days per year. The above-mentioned remodel and addition were designed and submitted through the usual channels and approved for remodel/add-on construction. It has recently been brought to my attention (Kyle Ehlers, Genesis Construction Group Inc, the Contractor, and representative for property owner) during the final stages of construction, that the addition to the home has been built into the 20-foot setback of the property.

REQUEST: We are requesting a variance to reduce the 20-foot setback to zero setback.

For the purposes of this letter, the following have been included:

- Revised site/plot plan
- Pictures on digital file

After submitting the initial application, we received the Variance packet and letter from the county explaining the submittal process and our points of contact. In the initial response letter, the variance for the road right-away was not approved. We are asking for a second review for the variance to the road right-away, due to new insight, pictures, and additional information that explains extenuating circumstances for this property. Of particular concern was the encroachment into a 40-foot road right-away shown on the county map labeled 44452 Dalton Avenue, Right of Way Encroachment. This map was provided by the county. Additionally, road widening expansion to the full capacity of all 40 feet has significant constraints.

- The final map shows a road right-away that varies at 40' +/- . The road is wider in some locations, and it is narrower in other locations.

- The structure has plenty of road right-away buffer to the front of the structure, because of the uphill slope.
- There is no change or new encumbrance into the existing Dalton roadway or original driveway configuration.
- The uphill grade is substantial, ranging from 65% to 72% from the toe of the slope.
- There is no impact to the Dalton Avenue road right-away or neighboring driveways.
- Widening of the existing road is not required, due to low residential traffic. The widening of Dalton Avenue is highly unlikely, due to the anticipated substantial retaining wall that would be required.
- Modifications to the existing frontage slope of the hill may affect the saturation of the existing septic system leach line.

1. Exceptional or extraordinary circumstances or conditions

- a. The existing house is positioned on the lower east end of Dalton on a slight curve where it meets Lakeview. Like other homes built in this housing development, it sits on a steep grade above Dalton Ave. where the grades can exceed 65% to 75%.
- b. There are several things that make it difficult to extend the house up and to the back of the property. One is the height restrictions, and the other is the possible disturbance to the existing grade and slope that supports the rear access road for other homes located on Dalton Avenue.
- c. The subject parcel is uniquely defined by a steep slope behind the existing residence. This slope makes it difficult to utilize the northern portion of the parcel. To continue to utilize their parcel, the only reasonable expansion would be toward the front of the parcel.

2. Preservation and enjoyment of a substantial property right

- a. The setback area in question already has an established history of land use for access to the driveway and the residential parking area. The driveway access from Dalton Avenue to the parking area located in the front of the house has not been altered from its original existing footprint. The full expansion to the existing road right-away would impact many homes in the area along Dalton Avenue. This would include relocating multiple utility poles and the removal of mature trees. Development of an expanded road in this area is unlikely to occur due to these factors.

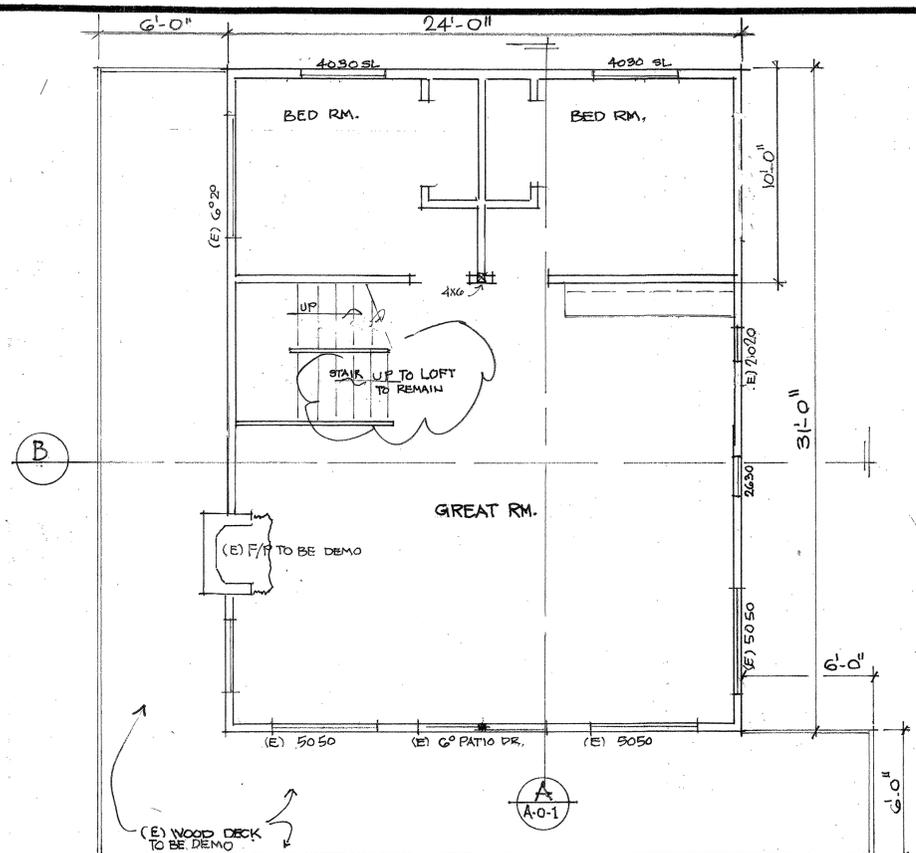
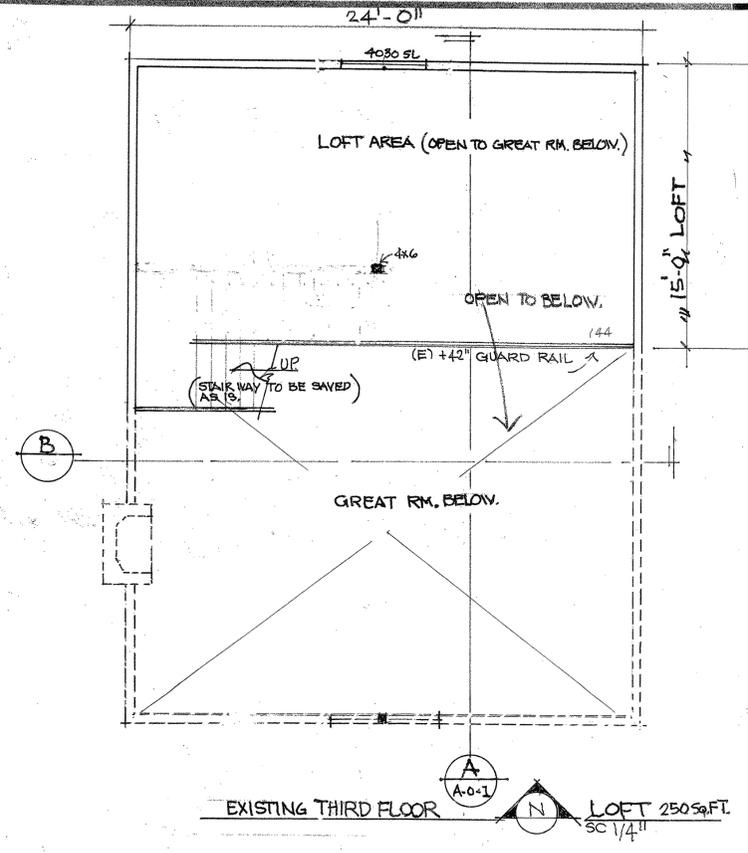
- b. The house to the west of this property has been remodeled with an approved 4-foot front setback variance. This puts this house and property in a unique position, in that the house appears to be out of place. It is sitting further back behind the original erected structures. This variance would allow the front of the structure to match the setbacks of the adjacent properties along Dalton Avenue.
- c. Construction without the 20-foot setback variance would cause this home to appear out of place compared to the existing homes on this street utilizing a smaller front setback area. Construction with the 20-foot setback would severely limit the utilization of the property due to the slope of the northern portion of the property.

3. Not materially detrimental or injurious to the public welfare

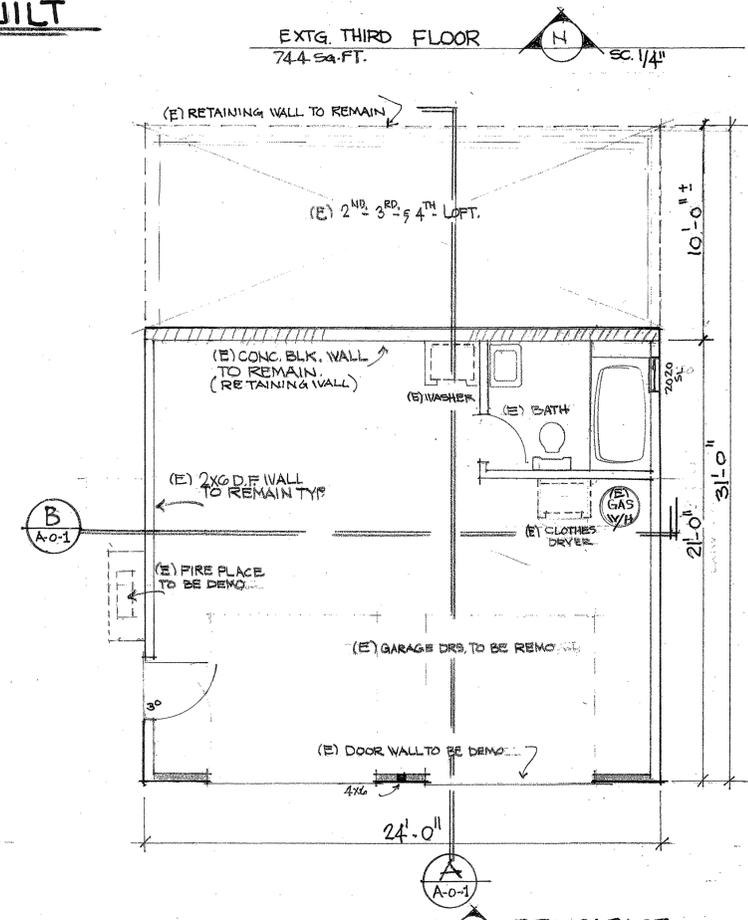
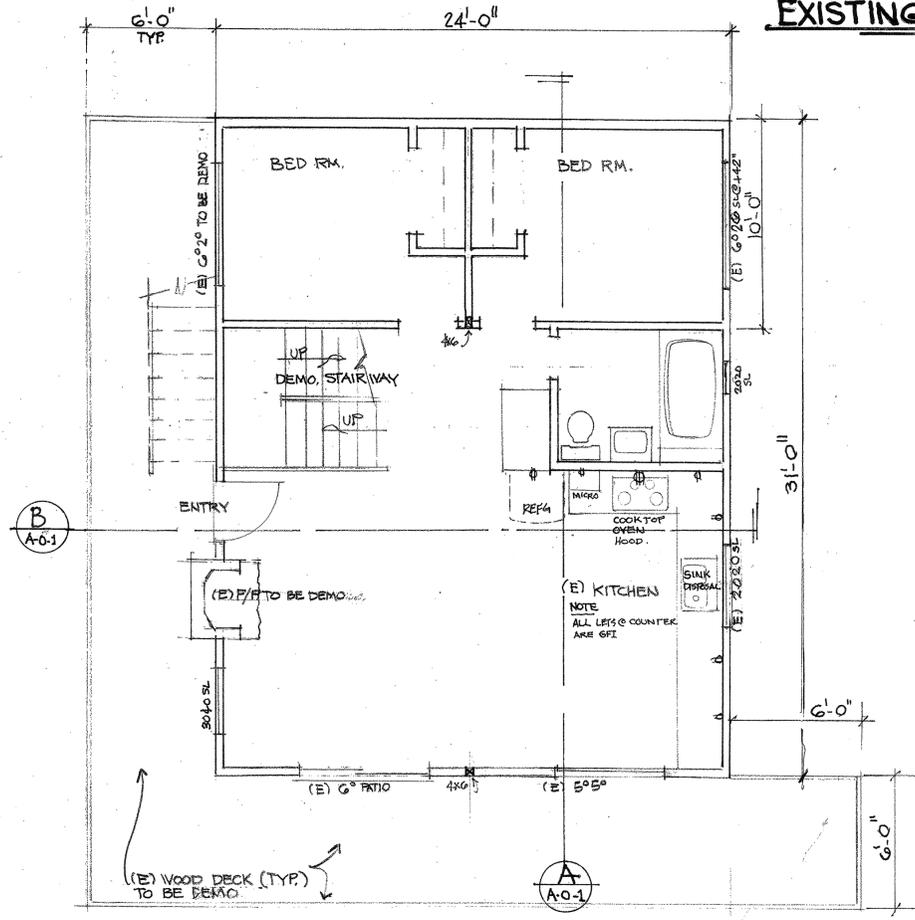
- a. The remodeled addition of this residence will not impact the public welfare or be materially detrimental to any of the adjacent property owners or any other homeowners located in the Shaver Lake Housing area.
- b. This remodel is being carried out consistent with all the county building guidelines, environmental guidelines, and noise restrictions.
- c. There is no change to the roadway, the driveway, or other frontage encumbrances. Due to the significant uphill slopes, the actual structure is elevated well above the existing roadway.

4. Not contrary to the objectives of the General Plan

- a. The variance requested would not be detrimental to the public good, nor is it in conflict with the intended purpose of the zoning ordinance. The variance would still allow for the lot to be used for a single-family dwelling as intended. Granting this variance would allow the structure on the property to help maintain the neighborhood character by giving it a uniform setback consistent with other homes with extenuating circumstances in this older Shaver Lake housing development.



EXISTING AS BUILT



NOTE: YEAR BUILT = 1963

BUILDING CODE COMPLIANCE:
 ALL WORK SHALL COMPLY WITH REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING AND FIRE CODES, THE CALIFORNIA ADMINISTRATIVE CODE, AND THE COUNTY ORDINANCE CODE, TITLE 1.

CHANGES FROM THE APPROVED PLANS:
 CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE ARCHITECT AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

GENERAL NOTES

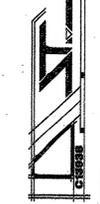
1. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SUPERVISION OR DEVIATION FROM THESE PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT.
2. CONTRACTORS ARE TO FIELD VERIFY ALL DIMENSIONS, GRADES AND OTHER SITE CONDITIONS PRIOR TO THE START OF ANY CONSTRUCTION WORK. DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT'S OFFICE.
3. THE CONTRACTOR IS TO INSURE THAT ADEQUATE BRACING IS PROVIDED FOR THE BUILDING OR PORTIONS THEREOF TO MAINTAIN THE INTEGRITY OF THE STRUCTURAL ELEMENTS OF THE BUILDING DURING ALL PHASES OF CONSTRUCTION.
4. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
5. THESE DRAWINGS AND SPECIFICATIONS HEREIN REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.



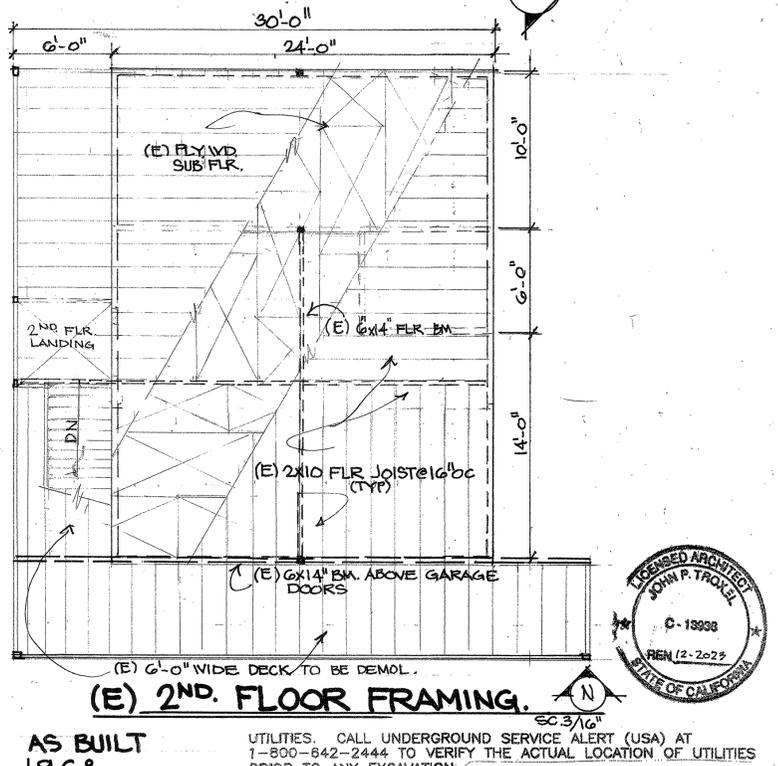
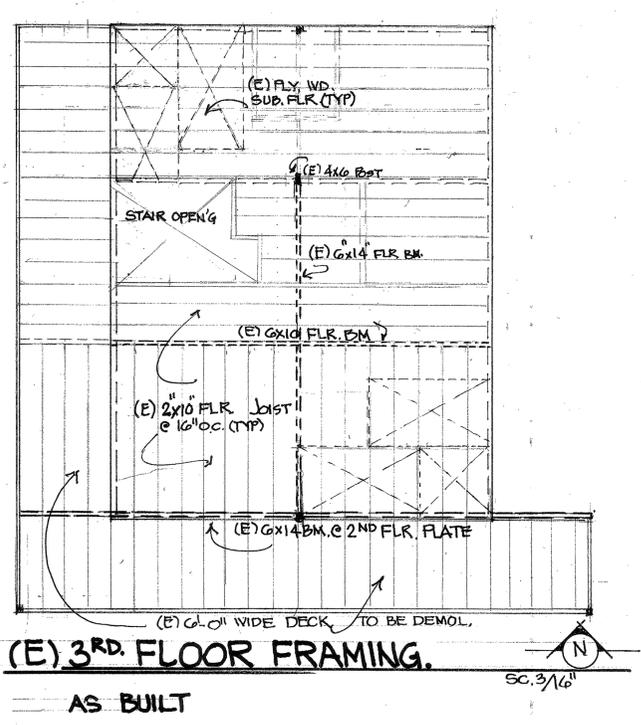
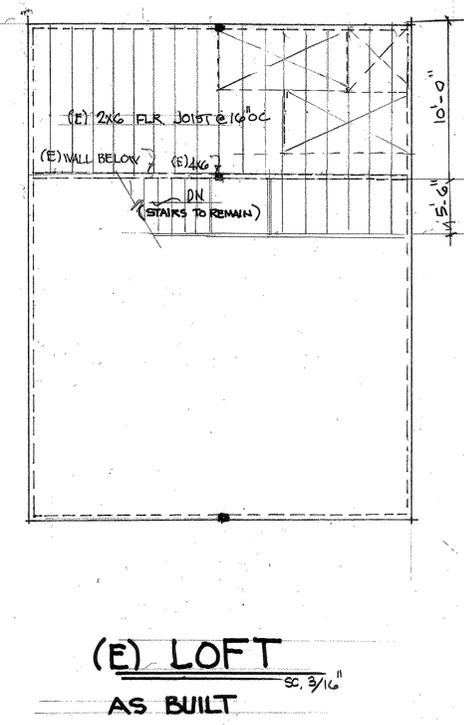
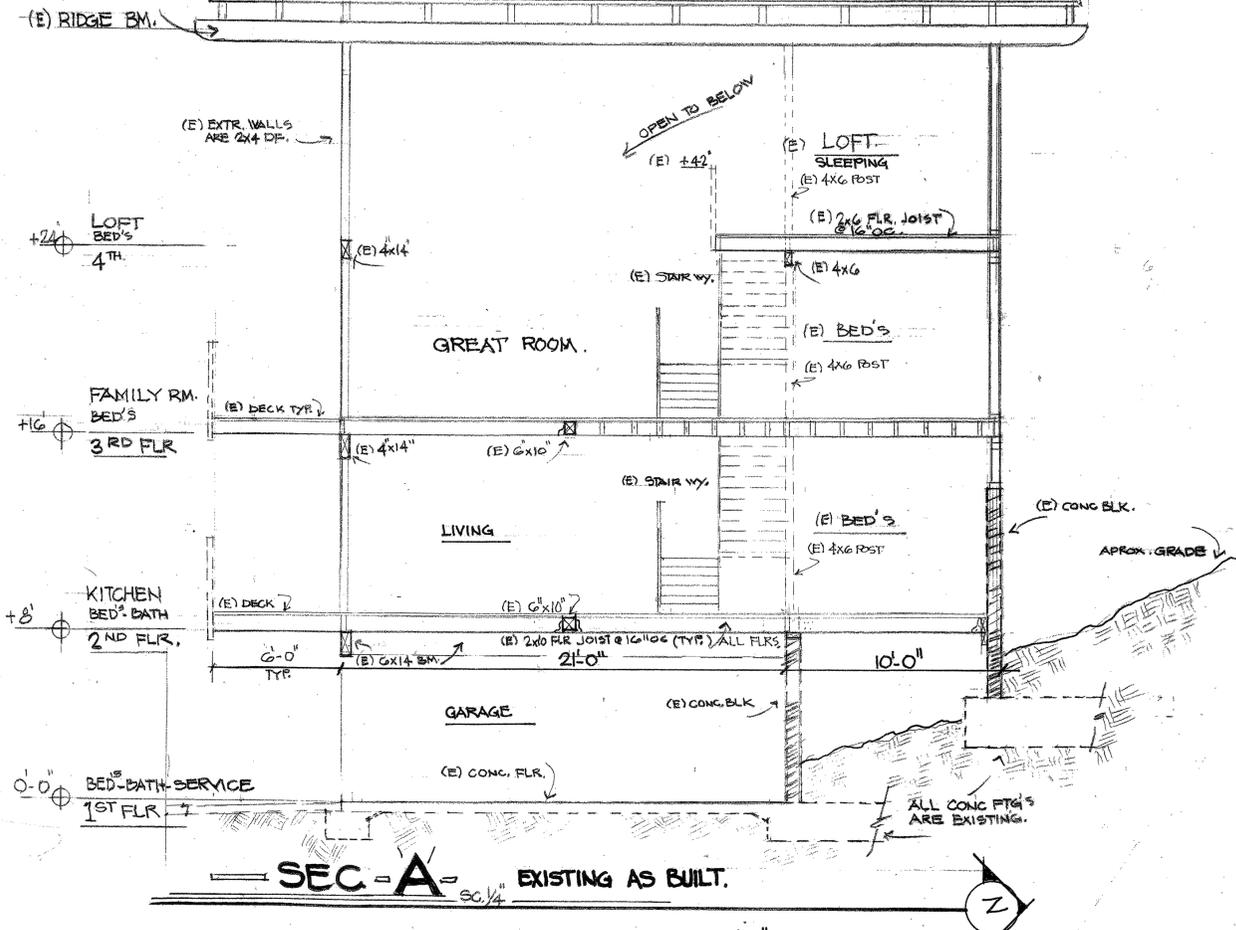
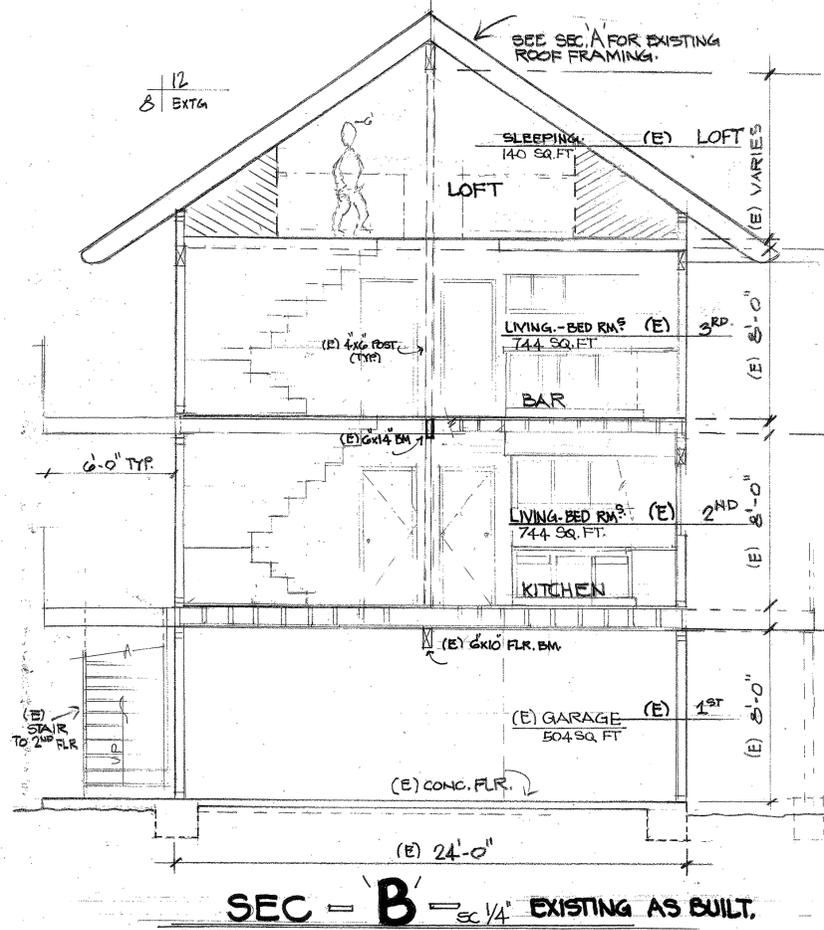
CONSTRUCTION
 CONSTRUCTION TYPE: 5-N

FLOOR AREA - EXISTING = 1842^{sq} LIVING
 540^{sq} GARAGE

NOTE:
 "THIS SHEET SHOWS AS BUILT"



NOTE
EXTG. ROOF STRUCT:
6"x14" DF RIDGE BM.
4"x10" DF RAFTERS @ 48" OC.
2"x6" T&G DF SHEATHING, WITH
3/4" EXTERIOR PLY. SHEATHING.



BUILDING CODE COMPLIANCE:
ALL WORK SHALL COMPLY WITH REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING AND FIRE CODES, THE CALIFORNIA ADMINISTRATIVE CODE, AND THE COUNTY ORDINANCE CODE, TITLE 1.

CHANGES FROM THE APPROVED PLANS:
CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE ARCHITECT AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

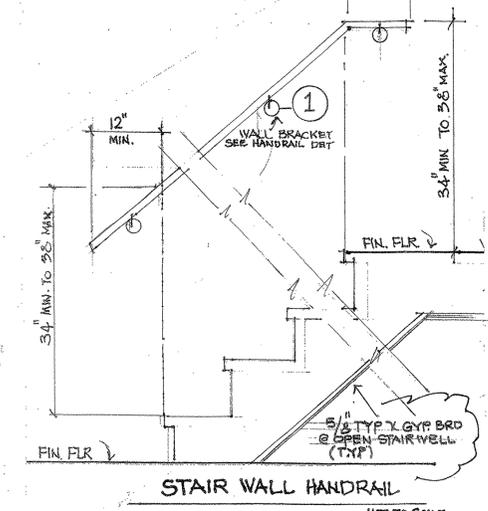
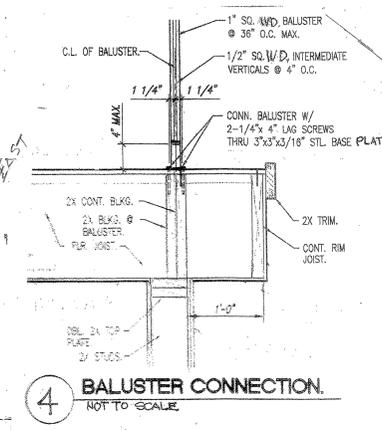
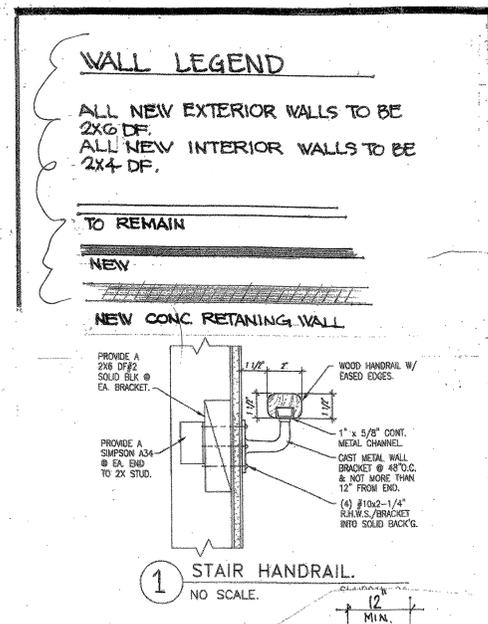
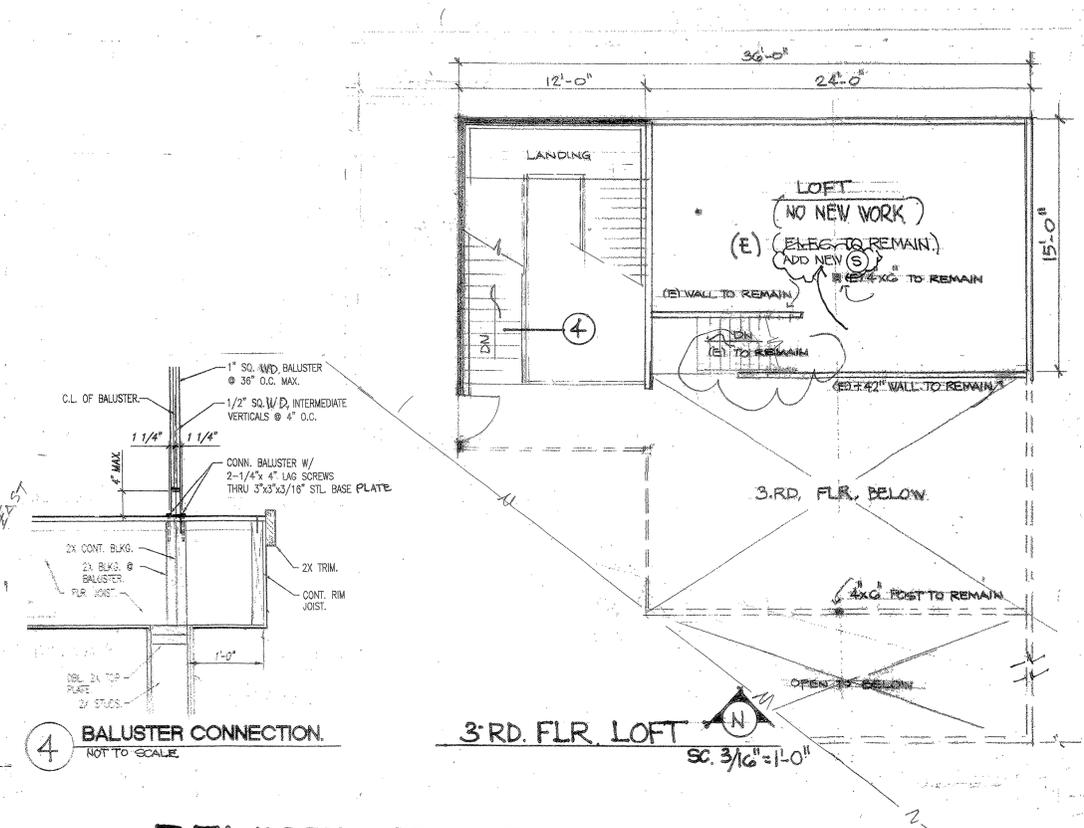
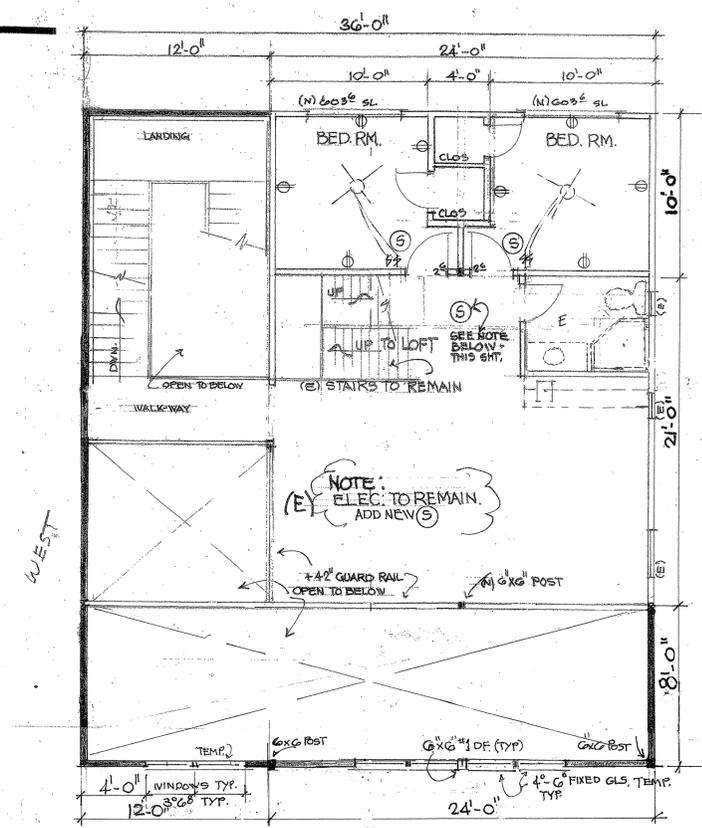
- GENERAL NOTES**
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SUPERVISION OR DEVIATION FROM THESE PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT.
 - CONTRACTORS ARE TO FIELD VERIFY ALL DIMENSIONS, GRADES AND OTHER SITE CONDITIONS PRIOR TO THE START OF ANY CONSTRUCTION WORK. DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT'S OFFICE.
 - THE CONTRACTOR IS TO INSURE THAT ADEQUATE BRACING IS PROVIDED FOR THE BUILDING OR PORTIONS THEREOF TO MAINTAIN THE INTEGRITY OF THE STRUCTURAL ELEMENTS OF THE BUILDING DURING ALL PHASES OF CONSTRUCTION.
 - WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 - THESE DRAWINGS AND SPECIFICATIONS HEREIN REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.

CONSTRUCTION
CONSTRUCTION TYPE: S-N

FLOOR AREA, EXISTING = 1848 SF LIVING
540 SF GARAGE

NOTE
THIS SHEET SHOWS AS BUILT

UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION.



REVISED FLOOR PLANS

NOTE 3/16" = 1'-0" SCALE

FENESTRATION "U"-VALUES + SH.G.C.

ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING "U"-VALUE AND (S.H.G.C.) SOLAR HEAT GAIN COEFFICIENT RATINGS:

WINDOWS:
"U"-VALUE RATING: 0.250 "VT."-VALUE RATING: 0.500
S.H.G.C. RATING: 0.220

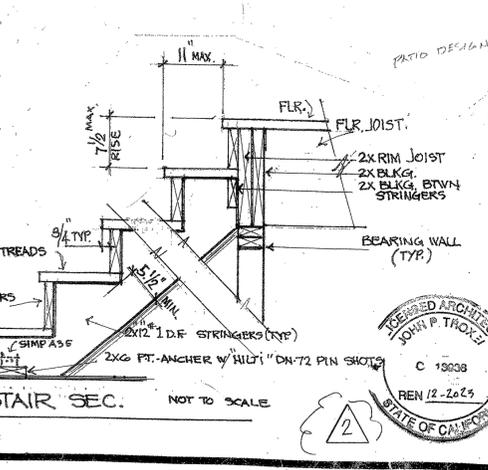
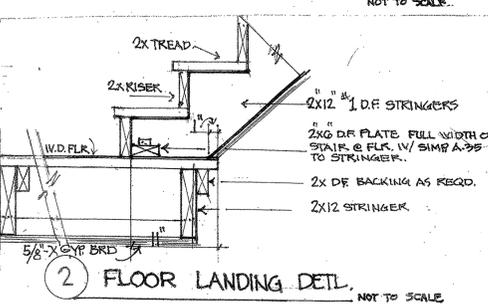
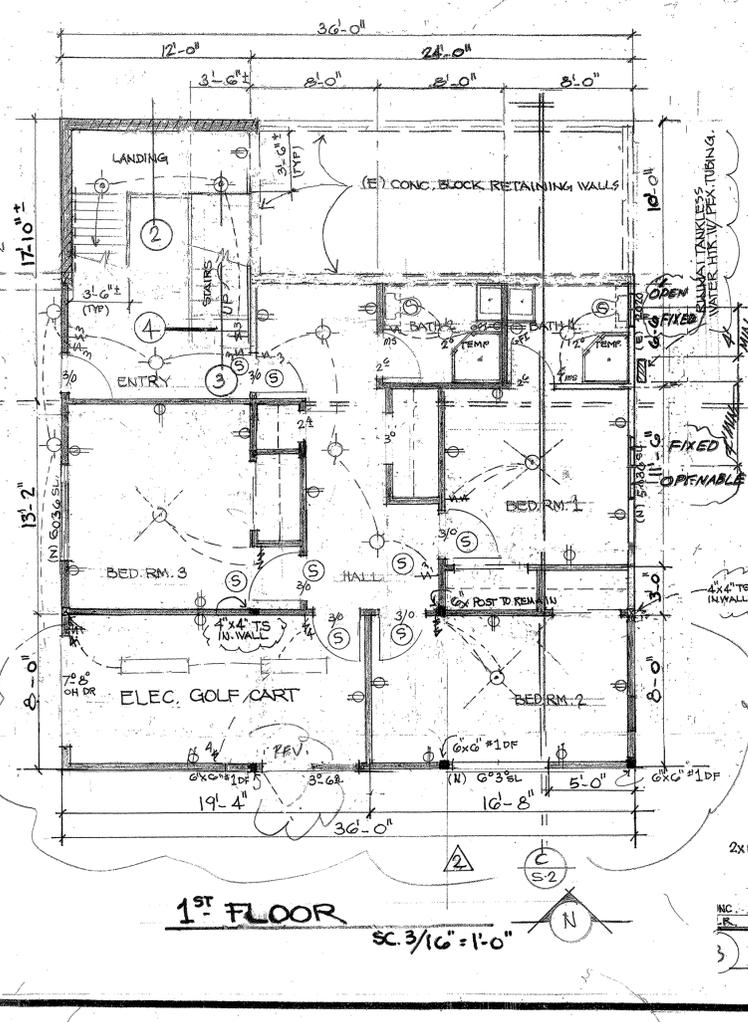
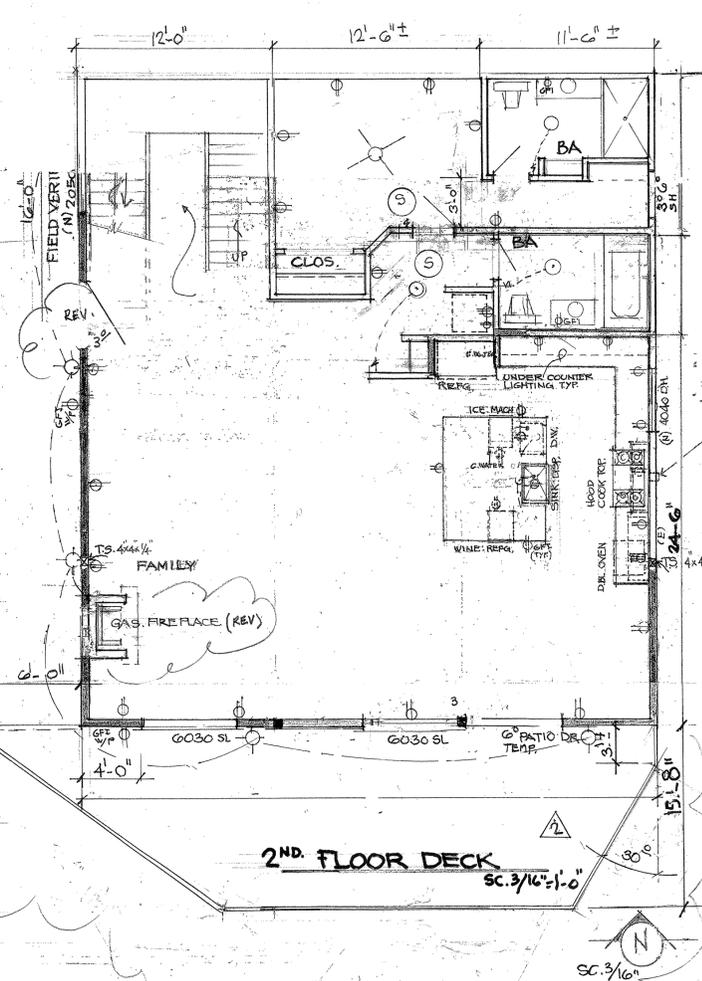
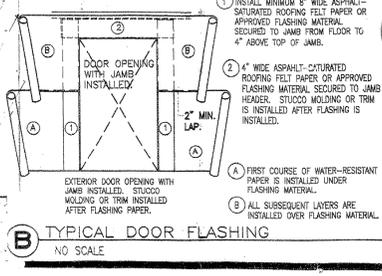
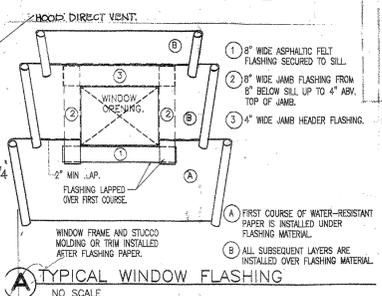
- MANUFACTURED WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING THAT THEY MEET THE APPROPRIATE RATINGS LISTED ABOVE.
- ALL GLAZING SHALL BE DUAL TYPE.
- ALL WINDOWS SHALL BE "ANDERSON" SERIES 100 FIBER X.
- WINDOWS SHALL BE PROVIDED W/ BUG SCREENS AT OPERABLE VENT.

Wdo-U-0250g-1-1.

ELEC. NOTES

- PROVIDE ARC-FULT CIRCUIT INTERRUPTERS OUTLETS IN ALL NEW BEDROOMS.
- ⊕ = CARBON MONOXIDE AND FIRE-7XICBO #3423 W/BATTERY BACKUP AND INTERCONNECTED. MOUNT 1/2" IN ⌀ OF CEILING HEIGHT.
- MS = MOTION SENSOR.
- ALL ⊕ ARE COMPO CARBON.

(N) RETAINING WALL SEE FOUNDATION PLAN

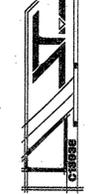


FOUNDATION NOTES

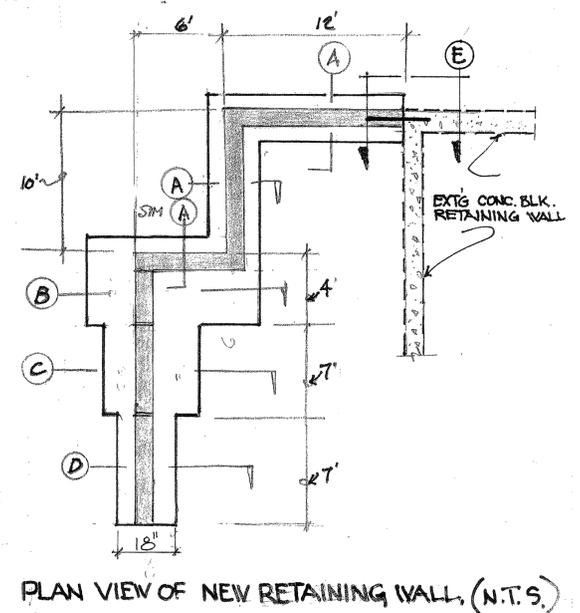
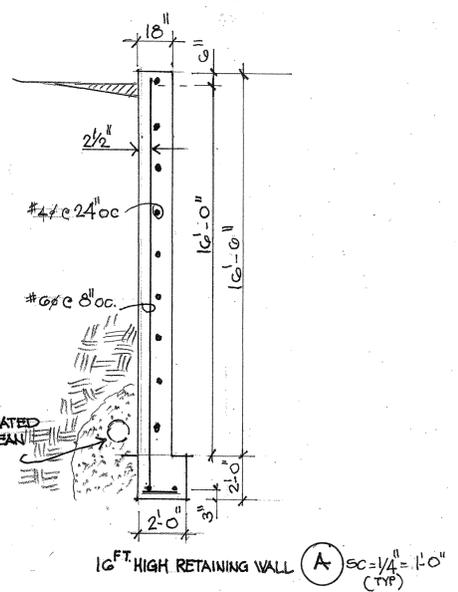
- CLEAR AND GRUB THE SITE OF ALL SUBTERRANEAN OR SURFACE PLANT GROWTH MATERIAL AND ANY EXISTING CONCRETE OR ASPHALT PAVING WITHIN THE LIMITS OF NEW WORK.
- PRETREAT AREA UNDER SLABS ON GRADE AND THE FOOTINGS FOR TERMITE PROTECTION.
- ALL FOOTINGS SHALL EXTEND A MINIMUM OF 1'-0" INTO UNDISTURBED SOIL TO FIRM BEARING.
- SEE ARCHITECTURAL DRAWINGS FOR LOCATION AND THE EXTENT OF EXTERIOR LANDINGS, DRIVEWAYS, AND WALKWAYS.
- TOP OF FINISHED CONCRETE SHALL BE A MINIMUM OF 8 INCHES ABOVE TOP OF ADJACENT FINISHED GRADE (UNLESS SPECIFICALLY NOTED OTHERWISE).
- FOUNDATION FOR ALL BUILDINGS WHERE THE SURFACE OF THE GROUND SLOPES MORE THAN 1 FOOT IN 10 SHALL BE LEVEL OR SHALL BE STEPPED SO THAT BOTH TOP AND BOTTOM OF SUCH FOUNDATION ARE LEVEL.
- ALL REINFORCING STEEL, ANCHOR BOLTS, AND OTHER EMBEDDED ITEMS SHALL BE SECURELY POSITIONED IN THE FORMS PRIOR TO POURING OF CONCRETE.
- REFER TO BOTH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATION OF THE PLUMBING FIXTURES.
- NO PIPES OR DUCTS SHALL BE PLACED IN CONCRETE WALLS OR STRUCTURAL SLABS UNLESS SPECIFICALLY DETAILED.
- CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
- ANCHOR BOLTS HAVE A MINIMUM EMBEDMENT OF 7 INCHES INTO CONCRETE AND A MAXIMUM OF 12 INCHES FROM CORNERS AND SPLICES.
- POWDER DRIVEN FASTENERS SHALL BE AS "HILT" #DN72 (IC80 #1290) OR APPROVED EQUAL, SPACED A MAXIMUM OF 36 INCHES FOR NON-BEARING PARTITIONS AND A MAXIMUM OF 12 INCHES FROM CORNERS AND SPLICES.
- ALL SILL PLATES SHALL BE FOUNDATION GRADE REDWOOD, FOUNDATION GRADE CEDAR OR APPROVED PRESSURE TREATED FOUNDATION PLATES AND SILLS.
- USE SIMPSON STAB ANCHOR BOLT AT ALL "HDA" HOLD DOWNS, PROVIDE MIN. 3" COVER BELOW END OF BOLT.

MATOIAN - RESIDENCE (REMODEL)
 44452 DALTON AV, SHAVER LAKE CA - 93664

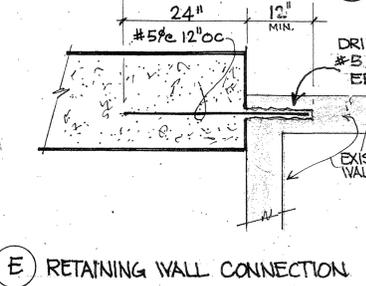
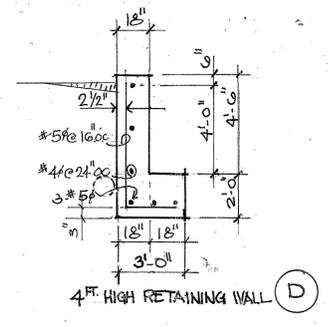
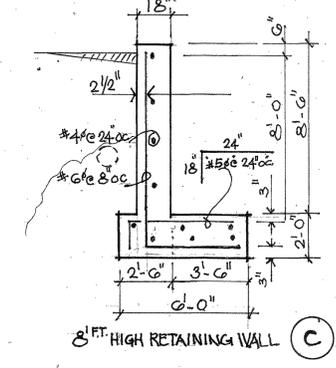
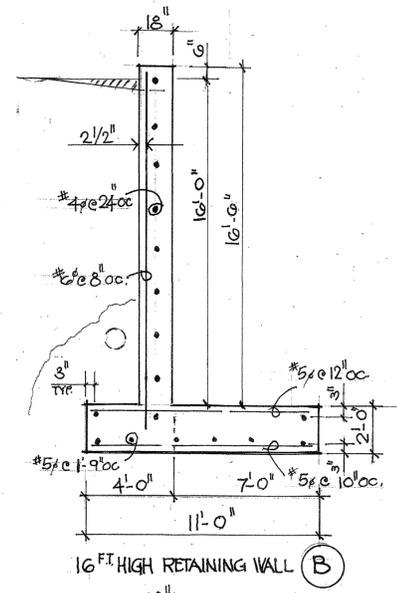
JOHN TROXEL ARCHITECT 14480 E. SHEPHERD AVENUE PHONE: 289-1526 FAX: 323-1240 CLIVIS, CA



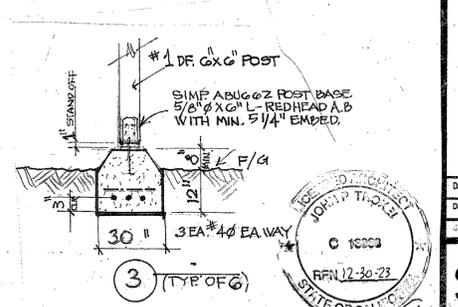
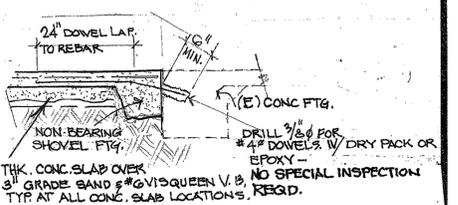
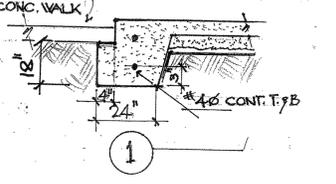
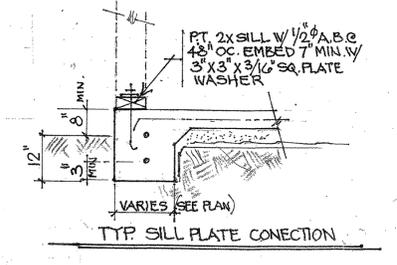
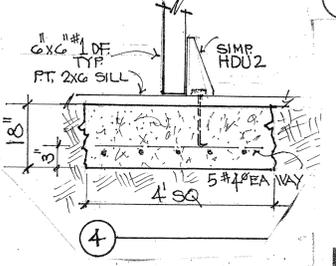
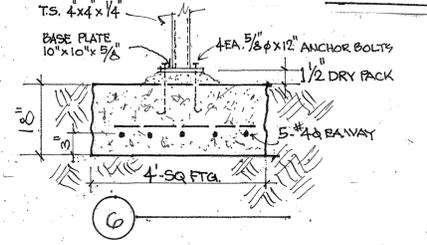
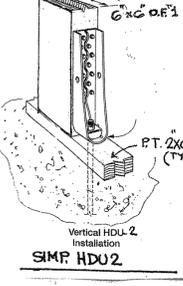
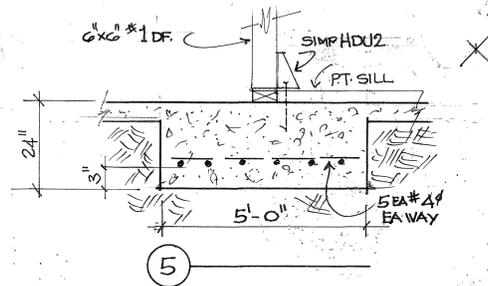
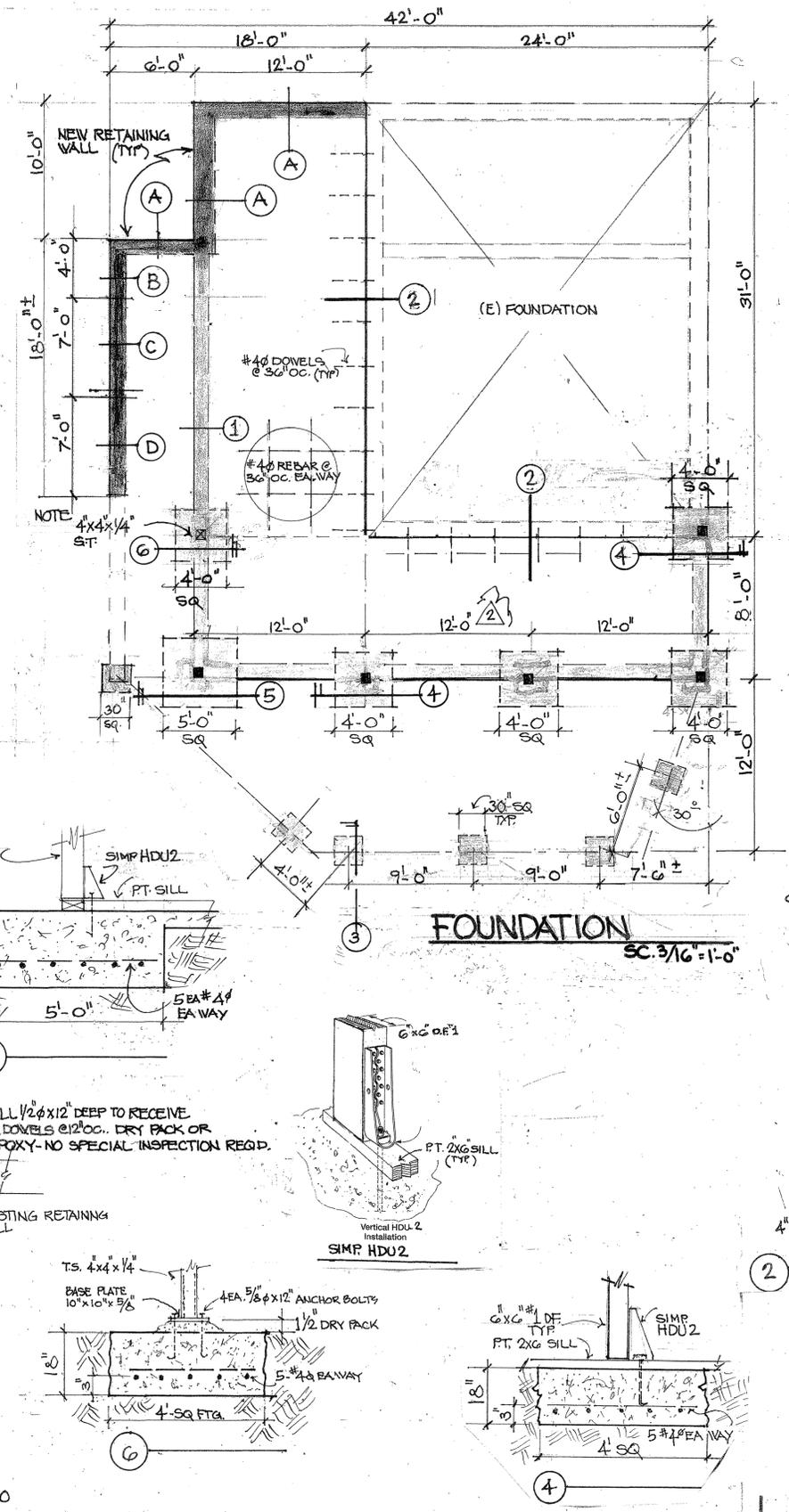
DATE 11-22-2021
 DR. BY 5-5-22
 SHEET
S-1
 OF 9 SHEETS



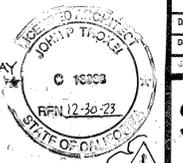
NOTE
RETAINING WALL:
 SOIL INVESTIGATION SHALL BE PERFORMED AFTER EXCAVATION AT RETAINING WALL LOCATION. SOIL SHALL BE COMPACTED 95% AND TESTED TO ACHIEVE MINIMUM SOIL PRESSURE OF 1,500 P.S.F. SUBMIT SOIL INVESTIGATION REPORT TO ARCHITECT/ENGINEER AND BUILDING DEPARTMENT FOR REVIEW AND RECORD PRIOR TO POURING CONCRETE.

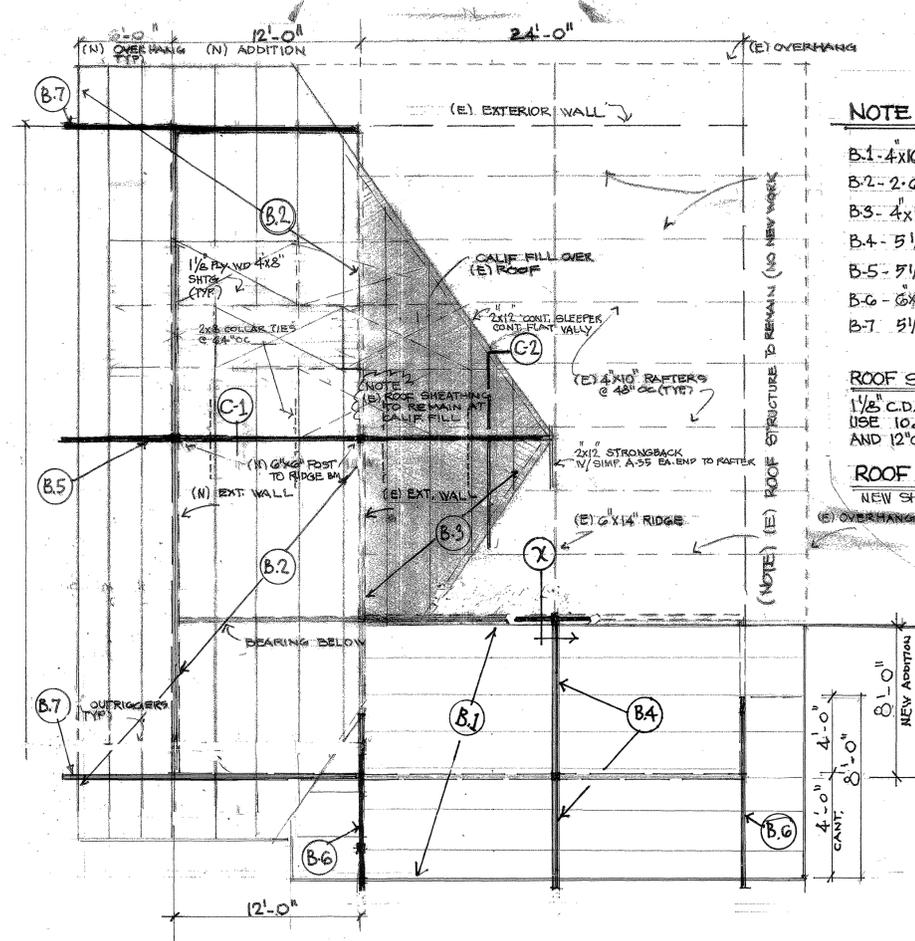
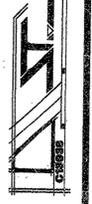


NOTE:
 CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 3000 PSI. STRUCTURAL DESIGN OF THE RETAINING WALL AND FOOTINGS ARE BASED ON 2500 PSI. REINFORCING STEEL SHALL BE A60 SPECIAL IS NOT REQUIRED.



UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION.

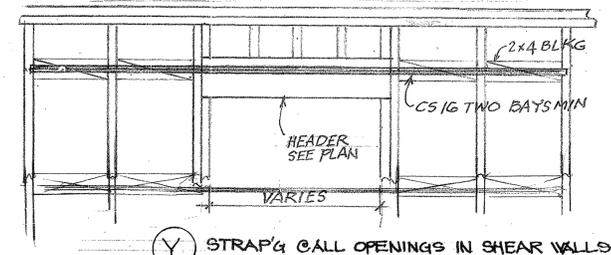




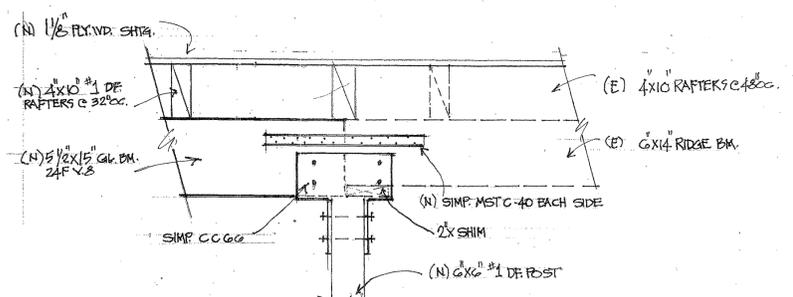
NOTE: ROOF-RAFTERS & BEAMS:
 B.1- 4x10' D.F. #1 D.F. @ 32" OC.
 B.2- 2- 2x875x14" PARALLEL @ 32" OC.
 B.3- 4x10' D.F. #1 @ 32" OC. @ CALIF. FILL
 B.4- 5 1/2"x15" GLB. 24 F.V.B.
 B.5- 5 1/2"x16 1/2" GLB. 24 F.V.B.
 B.6- 6x12" #1 D.F.
 B.7- 5 1/2"x15" GLB. 24 F.V.B.

ROOF SHEATHING:
 1 1/8" C.D.X. PLY. WD.
 USE 10d NAILS @ 6" OC. @ ALL EDGES
 AND 12" OC. IN FIELD.

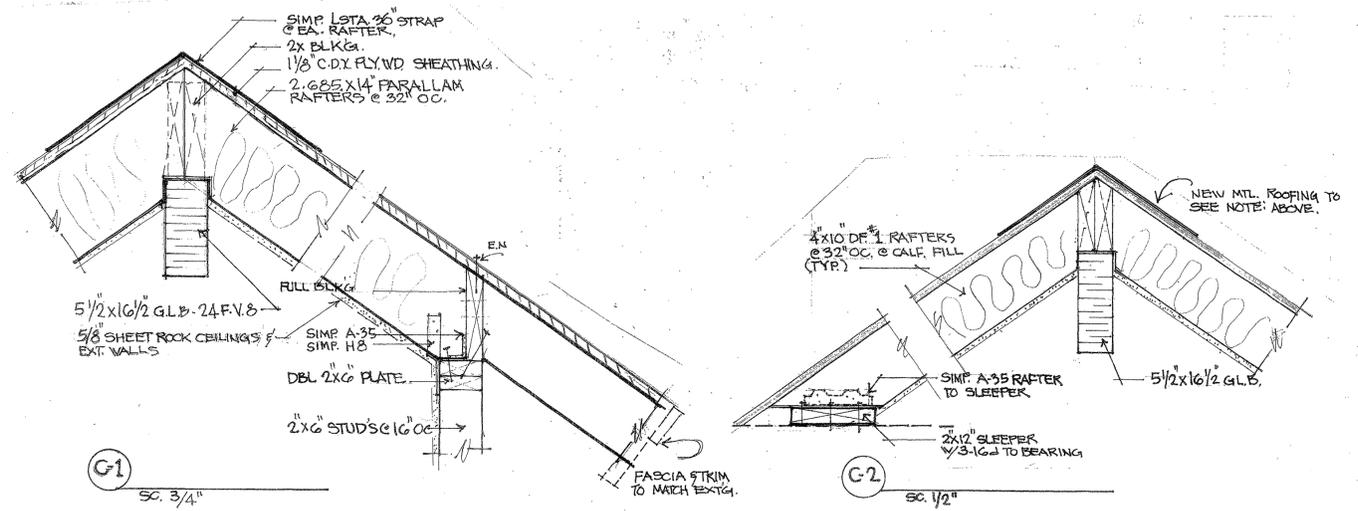
ROOF COVER:
 NEW SHEET ROOFING TO MATCH EXIST.
 INSTALL AS PER MAN. SPEC'S.



Y STRAP & CALL OPENINGS IN SHEAR WALLS.
 TOP & BOTTOM OF OPGS. (TYP)



X RIDGE BEAM CONNECTION



INSULATION SCHEDULE:
 ALL INSULATION TO HAVE A MAXIMUM FLAME SPREAD RATING OF 25
 AND A MAXIMUM SMOKE DENSITY OF 450 WHEN TESTED IN
 ACCORDANCE WITH A.S.T.M. E84 OR U.L. 723.

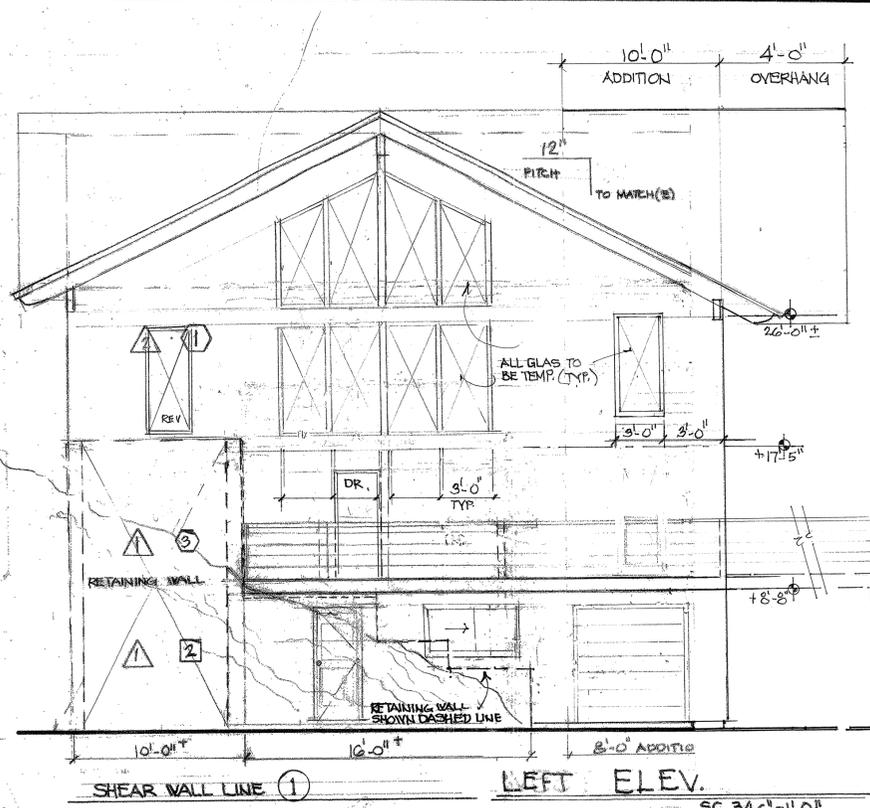
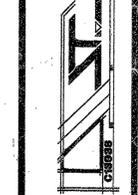
RAFTER-CEILING: R-40 THICKNESS: 14" @ 12" ROOF ADDITION
 TYPE: BATT MATERIAL: FIBERGLASS OR FOAM.

WALLS: R-19 THICKNESS: 5 1/2"
 TYPE: BATT MATERIAL: FIBERGLASS

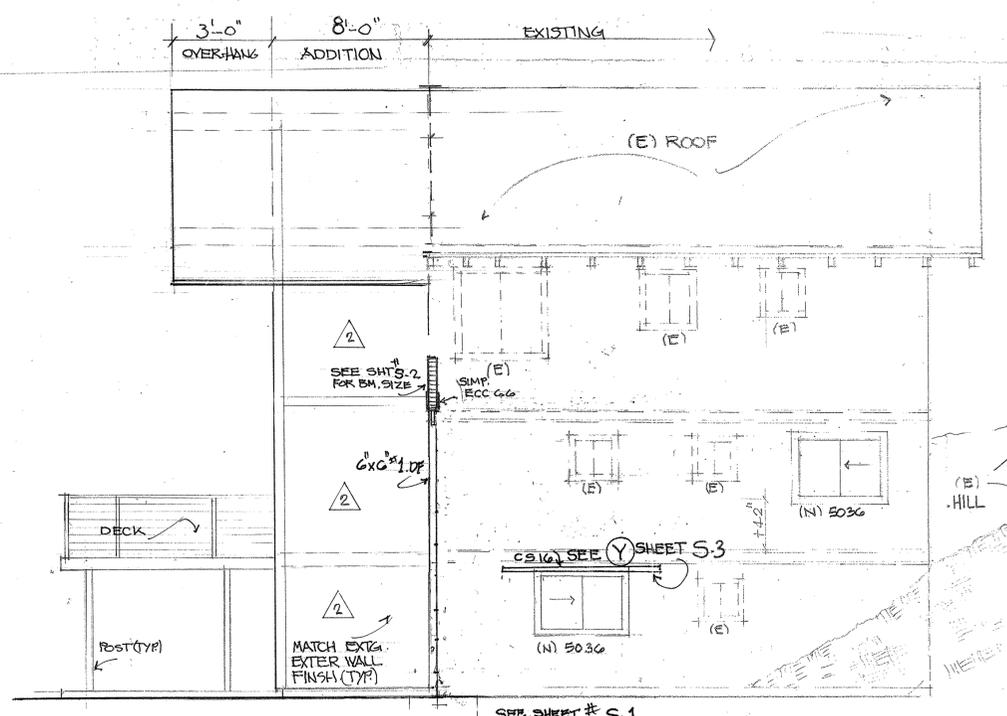
ALL INSULATION MATERIALS TO COMPLY WITH THE FLAME-SPREAD
 RATING AND SMOKE DENSITY REQUIREMENTS OF THE 2015 EDITION
 OF THE C.B.C. SECTIONS 720.2, 720.3 AND 720.6.

UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT
 1-800-842-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES
 PRIOR TO ANY EXCAVATION.





LEFT ELEV.
 SC. 3/16" = 1'-0"



RIGHT ELEV.
 SC. 3/16" = 1'-0"

Type	Shear Wall Schedule	Capacity
1	7/8" Stucco	180 pcf
2	3/8" APA Structural Panel 240 CDX or OSB 8d @ 6" o.c.	260 pcf
3	3/8" APA Structural Panel 240 CDX or OSB 8d @ 12" o.c.	380 pcf
4	3/8" APA Structural Panel 240 CDX or OSB 8d @ 3" o.c.	490 pcf
5	3/8" APA Structural Panel 240 CDX or OSB 8d @ 2" o.c.	640 pcf
6	15/32" APA Structural Panel 240 CDX or OSB 10d @ 6" o.c.	310 pcf
7	15/32" APA Structural Panel 240 CDX or OSB 10d @ 12" o.c.	438 pcf
8	15/32" APA Structural Panel 240 CDX or OSB 10d @ 3" o.c.	565 pcf
9	15/32" APA Structural Panel 240 CDX or OSB 10d @ 2" o.c.	740 pcf
10	1/2" Gypsum Board 8d cooler nails @ 7" o.c. Unblocked	125 pcf
11	1/2" Gypsum Board 8d cooler nails @ 4" o.c. Unblocked	125 pcf
12	5/8" Gypsum Board 8d cooler nails @ 7" o.c. Unblocked	145 pcf
13	5/8" Gypsum Board 8d cooler nails @ 4" o.c. Unblocked	145 pcf

Type	Anchor Bolt Schedule	Capacity
1	1/2" dia x 10" @ 6" o.c.	173
2	1/2" dia x 10" @ 48" o.c.	260
3	1/2" dia x 10" @ 32" o.c.	380
4	1/2" dia x 10" @ 24" o.c.	520
5	1/2" dia x 10" @ 18" o.c.	782
6	3/4" dia x 10" @ 48" o.c.	245
7	3/4" dia x 10" @ 32" o.c.	372
8	3/4" dia x 10" @ 24" o.c.	507
9	3/4" dia x 10" @ 18" o.c.	744
10	3/4" dia x 10" @ 12" o.c.	1119
11	1/2" dia x 10" @ 6" o.c.	339
12	1/2" dia x 10" @ 48" o.c.	505
13	1/2" dia x 10" @ 32" o.c.	761
14	1/2" dia x 10" @ 24" o.c.	1016
15	1/2" dia x 10" @ 18" o.c.	1528
16	1/2" dia x 10" @ 12" o.c.	2292

Type	Bill Plate Nailing at Wood Floor	Capacity (plf)
1	16d @ 12" o.c.	174
2	16d @ 10" o.c.	209
3	16d @ 8" o.c.	291
4	16d @ 6" o.c.	348
5	16d @ 5" o.c.	418
6	16d @ 4" o.c.	522
7	16d @ 3" o.c.	698

Notes:
 1. All panel edges to be bled UNO
 2. Nails to be common nails UNO
 3. Provide 3x or 4x studs at adjoining edges
 4. Stagger nails

Notes:
 1. Provide 3"x20" 229" washers at anchor bolts
 2. Provide 2 AB min per shear wall panel.
 3. Provide 7" min. embedment in concrete.
 4. SSI plates to be pressure treated DF.
 5. Fasteners in PT wood shall be hot-dipped zinc-coated gal-steel.

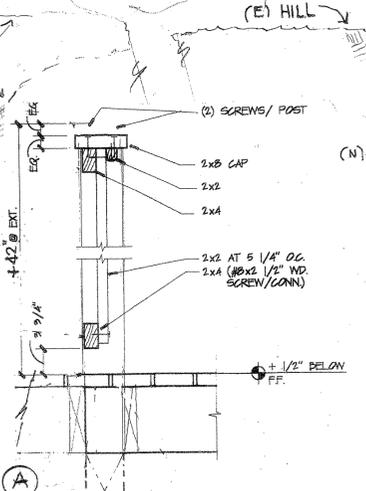
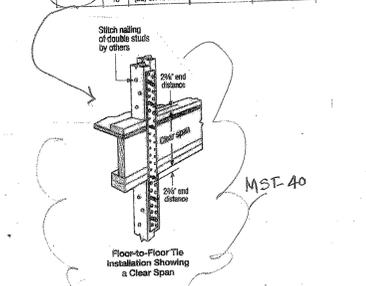
MST/MSTA/MSTC

Strap Ties (cont.)

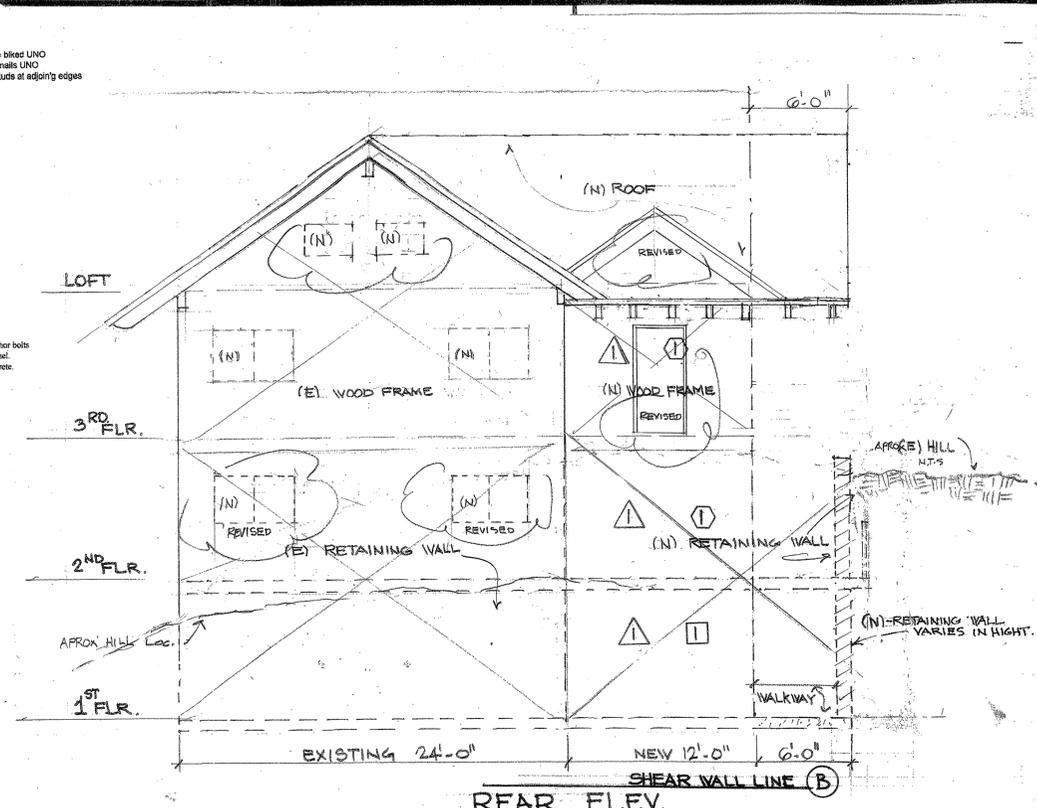
Codes: See p. 12 for Code Reference Key Chart

These products are available with additional corrosion protection. For more information, see p. 15.

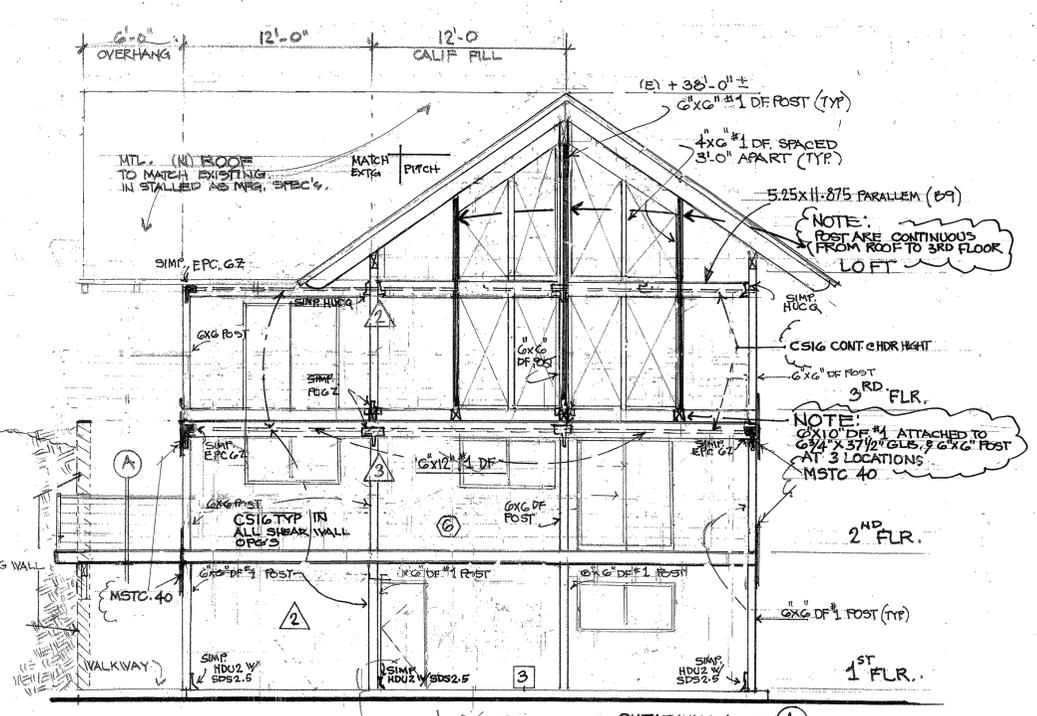
Model No.	Clear Span (ft)	Fasteners (Total)	Allowable Tension Loads (DFSP)	Allowable Tension Loads (SPF/PF)
MST40	18	(20) 0.148 x 3.0	2,020	2,000
MST40	18	(20) 0.148 x 3.0	1,150	995
MSTC20	18	(20) 0.148 x 3.0	1,535	1,330
MSTC40	24	(20) 0.148 x 3.0	1,774	1,520
MSTC40	18	(20) 0.148 x 3.0	2,680	2,255
MSTC40	18	(20) 0.148 x 3.0	3,070	2,655



TYP. EXTERIOR GUARDRAIL
 N.T.S.



REAR ELEV.
 SC. 3/16" = 1'-0"



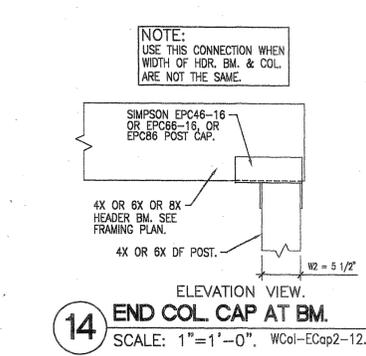
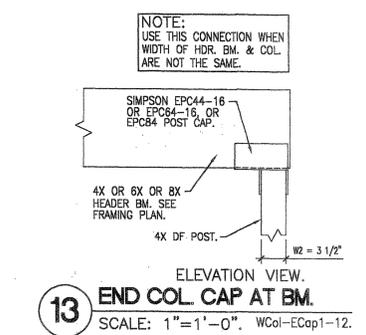
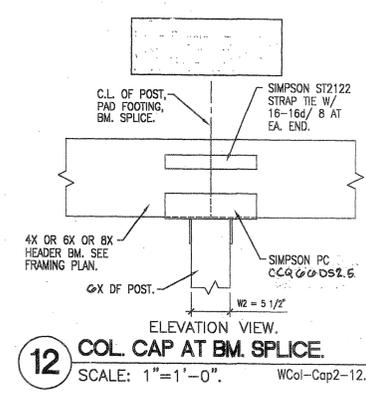
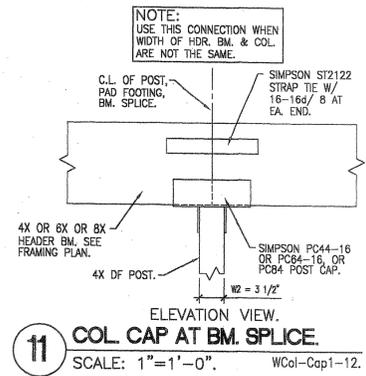
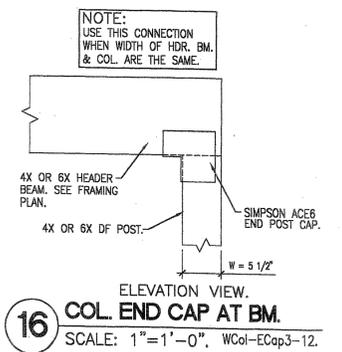
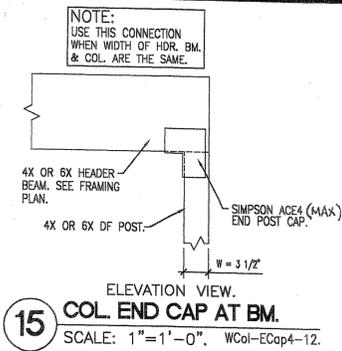
FRONT ELEV.
 SC. 3/16" = 1'-0"

NOTE:
 NEW EXTERIOR WOOD SIDING TO MATCH EXISTING - INSTALL HOUSERAPE FOR AIR-SEALED AND WATERPROOFED ENCLOSURE.

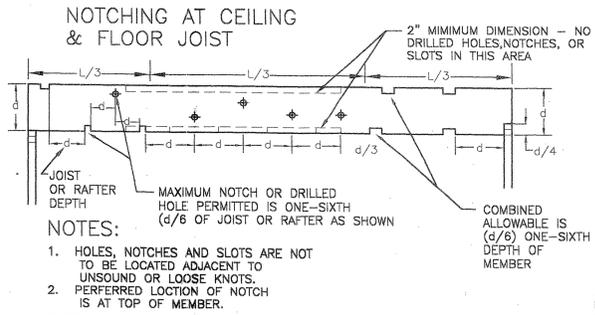
UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-842-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION.

REVISED
 10-7-23



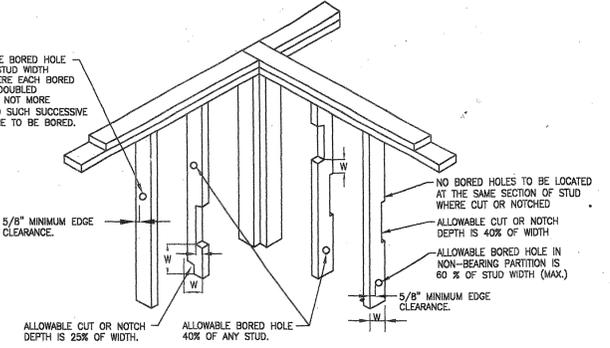
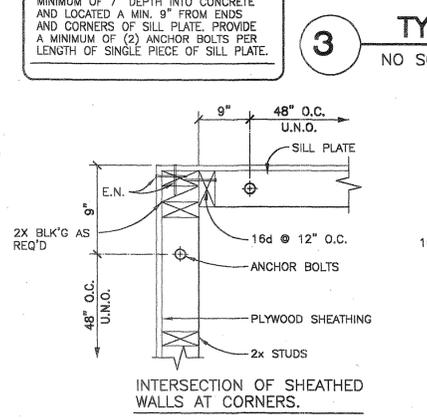
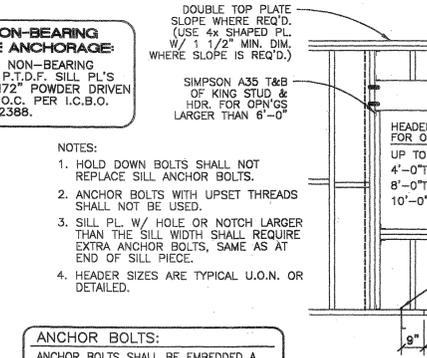
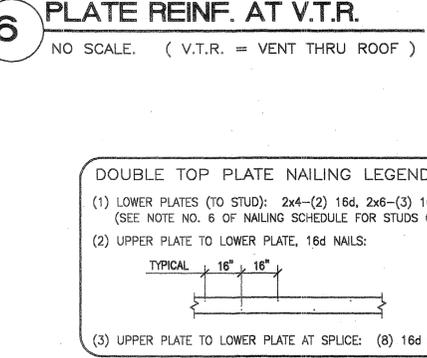
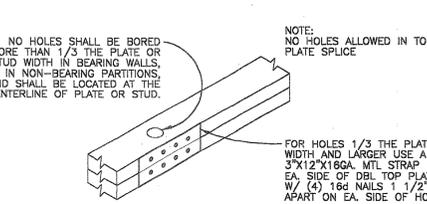
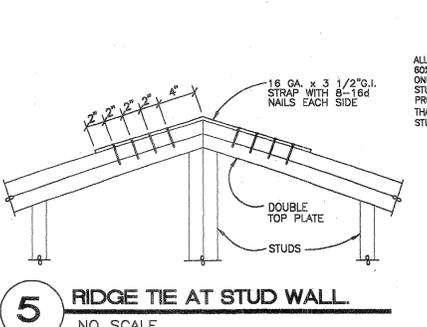
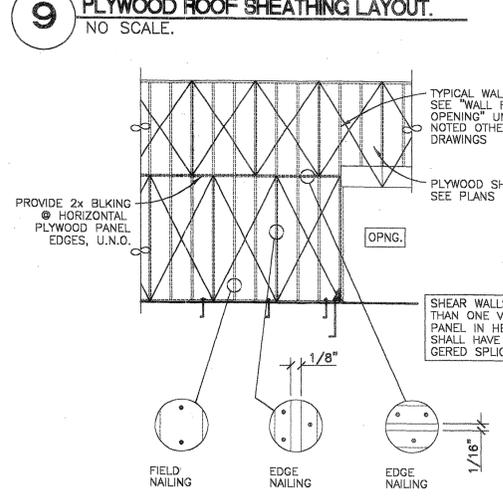
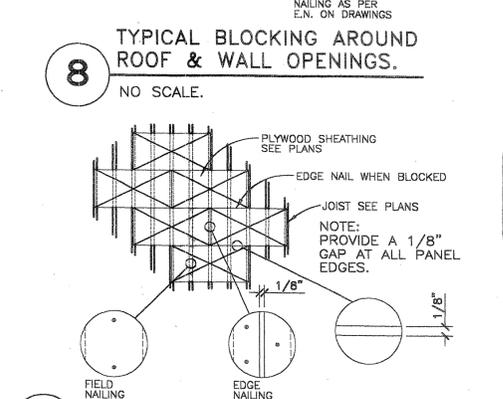
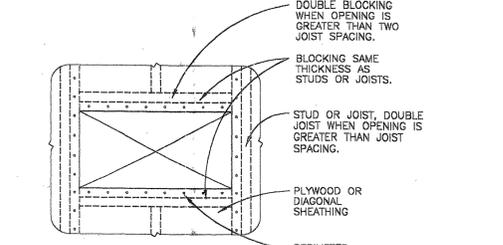


TYPICAL POST TO BEAM CONNECTIONS.
SCALE AS INDICATED.



NOMINAL	ACTUAL	d/6	d/4	d/3
4"	3 1/2"	9/16"	7/8"	1 1/8"
6"	5 1/2"	7/8"	1 3/8"	1 13/16"
8"	7 1/4"	1 3/16"	1 13/16"	2 7/16"
10"	9 1/4"	1 1/2"	2 5/16"	3 3/4"
12"	11 1/4"	1 7/8"	2 13/16"	3 3/4"
14"	13 1/4"	2 3/16"	3 5/16"	4 7/16"

7 JOIST + RAFTER NOTCHING.
NO SCALE.



SIZE	STUD WIDTH		NOTCHING		BORING	
	NOMINAL	ACTUAL	25%	40%	40%	60%
2x4	4"	3 1/2"	7/8"	1 7/16"	1 7/16"	2 1/8"
2x6	6"	5 1/2"	1 3/8"	2 3/16"	2 3/16"	3 5/16"

MAXIMUM HOLES & NOTCHING IN WALL STUDS

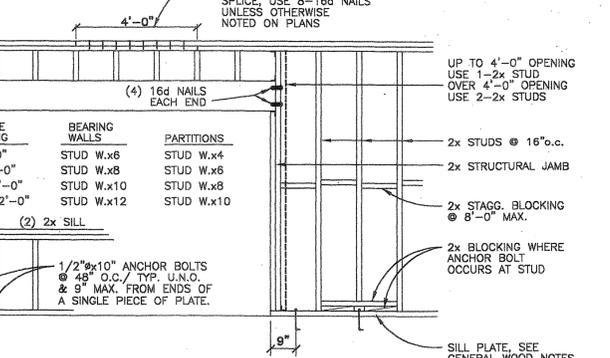
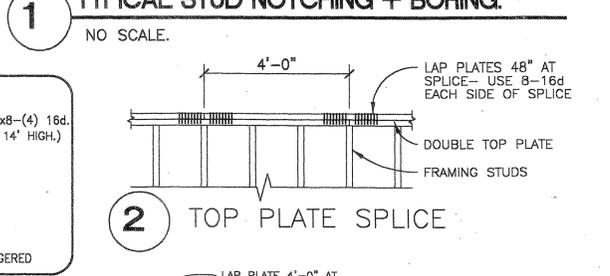
BEARING WALL	BORED HOLE	CUTTING AND NOTCHING
2x4 (3 1/2")	1 13/32"	7/8"
2x6 (5 1/2")	2 7/32"	1 3/8"
2x8 (7 1/4")	2 24/32"	1 13/16"

NON-BEARING WALL

BEARING WALL	BORED HOLE	CUTTING AND NOTCHING
2x4 (3 1/2")	2 3/16"	1 13/16"
2x6 (5 1/2")	3 19/64"	2 7/32"
2x8 (7 1/4")	4 11/32"	2 24/32"

NOTES:

- IN NO CASE SHALL A BORED HOLE BE CLOSER THAN 5/8" FROM THE EDGE OF STUD.
- BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH



NAILING SCHEDULE:
(NAILING PER TABLE 23-II-B-1 OF 2001 C.B.C.)

CONNECTION	NAILING (1)
1. JOIST TO SILL OR GIRDER, TOENAIL	(3)-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	(2)-8d
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	(2)-8d
4. WIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST, FACE NAIL	(3)-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	(2)-16d
6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d AT 16" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	(3)-16d PER 16"
7. TOP PLATE TO STUD, END NAIL	(2)-16d
8. STUD TO SOLE PLATE	(4)-8d, TOENAIL OR (2)-16d, ENDNAIL
9. DOUBLE STUDS, FACE NAIL	16d AT 24" O.C.
10. DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d AT 16" O.C.
DOUBLED TOP PLATES, LAP SPLICE	(8)-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	(3)-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 16" O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	(2)-16d
14. CONTINUOUS HEADER, TWO PIECES	16d AT 16" O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	(3)-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	(4)-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(3)-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3)-16d
19. RAFTER TO PLATE, TOENAIL	(3)-8d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	(2)-8d
21. 1" x 8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	(2)-8d
22. WIDER THAN 1" x 8" SHEATHING TO EACH BEARING, FACE NAIL	(3)-8d
23. BUILT-UP CORNER STUDS	16d AT 24" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d AT 32" O.C. AT TOP AND BOTTOM AND STAGGERED (2)-20d AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	(2)-16d AT EACH BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLEBOARD: (2) SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING):	
1/2" AND LESS:	8d (4) OR 8d (5)
15/32" - 3/4":	8d (4) OR 8d (5)
7/8" - 1":	8d (5)
1-1/8" - 1-1/4":	10d (4) OR 8d (3)
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING):	
3/4" AND LESS:	8d (5)
7/8" - 1":	8d (5)
1-1/8" - 1-1/4":	10d (4) OR 8d (5)
27. PANEL SIDING (TO FRAMING) (2):	
1/2" OR LESS:	8d (6)
5/8":	8d (6)
28. FIBERBOARD SHEATHING: (7)	
1/2":	NO.11 GA. (6) OR 8d (4) OR NO.16 GA.(9)
25/32":	NO.11 GA. (6) OR 8d (4) OR NO.16 GA.(9)
29. INTERIOR PANELING:	
1/4":	4d (10)
3/8":	8d (11)

- NOTE:**
COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.
- NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2315.3.3 AND 2315.4. NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
 - COMMON OR DEFORMED SHANK.
 - COMMON.
 - DEFORMED SHANK.
 - CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
 - FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.
 - CORROSION-RESISTANT ROOFING NAILS WITH 7/16-INCH DIAMETER HEAD AND 1-1/2-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1-3/4-INCH LENGTH FOR 25/32-INCH SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
 - CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16-INCH CROWN AND 1-1/8-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1-1/2-INCH LENGTH FOR 25/32-INCH SHEATHING CONFORMING TO THE REQUIREMENTS SECTION 2304.3.
 - PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED). CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
 - PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.

NOTE:
GREEN VINYL SINKERS DO NOT MEET THE NAILING REQUIREMENTS FOR MOST BOX AND COMMON NAIL CONNECTIONS.



PRIVATE
PROPERTY
NO TRESPASSING

**PRIVATE
PROPERTY
NO TRESPASSING**





↑
Road setback line

CAUTION
LOOK FOR
ROCKS

PRIVATE
PROPERTY

PRIVATE
PROPERTY





GCG Inc
Genesis Con
New Home and R

FLYING
STONE





← Road right-away



Property Line

existing driveway

72+ dirt grade

Road right-away

North



set back less than 5 Feet

Road right-away
and beginning on set
back



Road right-away







GCG Inc.
Genesis Construction Group Inc.
New Home and Remodel Construction
559-269-9083
ggen@genesis2000.com

Worker on a ladder



Road right-away