



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: May 19, 2025

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director of Planning  
Development Services and Capital Projects, Attn: Chris Motta, Division Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga,  
Principal Planner  
Development Services and Capital Projects, Attn: Attn: James Anders,  
Principal Planner  
Development Services and Capital Projects, Current/Environmental  
Planning, Attn: David Randall, Senior Planner  
Development Services and Capital Projects, Policy Planning, Attn:  
Tawanda Mtunga, Principal Planner  
Development Services and Capital Projects, Zoning & Permit Review,  
Attn: Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Development Engineering,  
Attn: Laurie Kennedy, Office Assistant III  
Water and Natural Resources Division, Attn: Augustine Ramirez, Division  
Manager  
Water and Natural Resources Division, Attn: Roy Jimenez, Senior Planner  
Water and Natural Resources Division, Transportation Planning, Attn:  
Hector Luna, Senior Planner/Darren Findley, Senior Engineering  
Technician/Brody Hines, Planner  
Water and Natural Resources Division, Community Development, Attn:  
Yvette Quiroga, Principal Planner  
Design Division, Attn: Mohammad Alimi, Division Manager;  
Erin Haagenson, Program Manager  
Resources Division, Attn: Daniel Amann, Division Manger  
Resources Division, Special Districts, Attn: Christopher Bump, Special Districts  
Manager  
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,  
Supervising Engineer  
Department of Public Health, Environmental Health Division, Attn: Deep  
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,  
Environmental Health Specialist;  
CA Dept. of Forestry & Fire Protection, [FKU.Prevention-Planing@fire.ca.gov](mailto:FKU.Prevention-Planing@fire.ca.gov)

FROM: Arianna Brown, Planner  
Development Services and Capital Projects Division

SUBJECT: Variance No. 4189

APPLICANT: Linda Dineen

DUE DATE: **June 2, 2025**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject Variance Application to reduce the required 10-foot street side setback and allow for a 4-foot street side setback. The subject property is located within the R-1 (Single Family Residential 6,000 sqft) Zone District with Mountain overlay.

The subject parcel is located on the east side of Knobcone Ave approximately 388-feet to the south of the intersection with Pinon Ave. The subject property is approximately 398-feet west of Tollhouse Rd. within the unincorporated community of Shaver Lake (APN: 120-257-06) (42012 Ouzel Lane) (Sup. Dist. 5).

We must have your comments by **June 2, 2025**. Any comments received after this date may not be used.

**If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Arianna Brown, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email [arbrown@fresnocountyca.gov](mailto:arbrown@fresnocountyca.gov)

AB

"G:\4360Devs&Pln\PROJSEC\PROJDOCS\VA\4100-4199\4189\Routing\VA 4189 Routing Ltr.doc"

*Activity Code (Internal Review): 2394*

Enclosures



Email to:  
archangel2985@sbcglobal.net

Mail to: 2985 WILLIS AVE  
FRESNO CA 93726

**Development Services  
and  
Capital Projects  
Division**

**Pre-Application Review**

**Department of Public Works and Planning**

NUMBER: 25-001789

APPLICANT: Linda Dineen

PHONE: (559) 221-6053

PROPERTY LOCATION: 42012 OUZEL LANE SHAVER LAKE, CA, 93664

APN(s): 120-257-06

ALCC: No ☒ Yes ☐

VIOLATION NO. \_\_\_\_\_

CNEL: No ☐ Yes ☐ (level) LOW WATER: No ☒ Yes ☐ WITHIN 1/2 MILE OF CITY: No ☒ Yes ☐

ZONE DISTRICT: "R-1" Single Family Residential; SRA: No ☐ Yes ☒ HOMESITE DECLARATION REQ'D.: No ☐ Yes ☐

LOT STATUS: \_\_\_\_\_

Zoning: ☒ Conforms; ☐ Legal Non-Conforming lot; ☐ Deed Review Req'd (see Form #236)

Merger: May be subject to merger: No ☐ Yes ☐ ZM# \_\_\_\_\_ Initiated \_\_\_\_\_ In process \_\_\_\_\_

Map Act: ☒ Lot of Rec. Map; ☐ On '72 rolls; ☐ Other \_\_\_\_\_; ☐ Deeds Req'd (see Form #236)

SCHOOL FEES: No ☒ Yes ☐ DISTRICT: \_\_\_\_\_ PERMIT JACKET: No ☐ Yes ☒

FMFCD FEE AREA: \_\_\_\_\_ ( ) Inside / (X) Outside District No.: \_\_\_\_\_ FLOOD PRONE: No ☒ Yes ☐

PROPOSAL VARIANCE TO REDUCE REQUIRED 10' STREET SIDE SETBACK IN THE R1 ZONE DISTRICT TO 4' TO ALLOW CONSTRUCTION OF A COVERED WALKWAY

COMMENTS: \_\_\_\_\_

ORD. SECTION(S): 810.2.030

BY: A. Lujan

DATE: 02/06/2025

**GENERAL PLAN POLICIES:**

LAND USE DESIGNATION: Residential - Mountain

COMMUNITY PLAN: \_\_\_\_\_

REGIONAL PLAN: \_\_\_\_\_

SPECIFIC PLAN: \_\_\_\_\_

SPECIAL POLICIES: \_\_\_\_\_

SPHERE OF INFLUENCE: \_\_\_\_\_

ANNEX REFERRAL (LU-G17/MOU): \_\_\_\_\_

COMMENTS: \_\_\_\_\_

**PROCEDURES AND FEES:**

( ) GPA: \_\_\_\_\_ ( ) MINOR VA: \_\_\_\_\_

( ) AA: \_\_\_\_\_ ( ) HD: 365.00

( ) CUP: \_\_\_\_\_ ( ) AG COMM: \_\_\_\_\_

( ) DRA: \_\_\_\_\_ ( ) ALCC: \_\_\_\_\_

( ) VA: 3,399.12 ( ) IS/PER\*: \_\_\_\_\_

( ) AT: \_\_\_\_\_ ( ) Viol. (35%): \_\_\_\_\_

( ) TT: \_\_\_\_\_ ( ) Other: \_\_\_\_\_

( ) PLA: \_\_\_\_\_ Filing Fee: \$ \_\_\_\_\_

( ) TPM: \_\_\_\_\_ Pre-Application Fee: - \$262.04

( ) TPMW: \_\_\_\_\_ Total County Filing Fee: \$3,502.08

**FILING REQUIREMENTS:**

(X) Land Use Applications and Fees

(X) This Pre-Application Review form

(X) Copy of Deed / Legal Description

(X) Photographs

( ) Letter Verifying Deed Review

( ) IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required.

(X) Site Plans - One (1) Copy (folded to 8.5"x11") \*PDF COPY PREFERRED

(X) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction

(X) Project Description / Operational Statement (Typed)

(X) Statement of Variance Findings

( ) Statement of Intended Use (ALCC)

( ) Dependency Relationship Statement

( ) Resolution/Letter of Release from City of \_\_\_\_\_

( ) Nitrogen Loading Analysis or RWQCB supplemental treatment

**OTHER FILING FEES:**

( ) Archaeological Inventory Fee: \$75 at time of filing

(Separate check to Southern San Joaquin Valley Info. Center)

( ) CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,968.75)

(Separate check to Fresno County Clerk for pass-thru to CDFW.

Must be paid prior to IS closure and prior to setting hearing date.)

PLU # 113 Fee: \$262.04

Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

BY: Arianna Brown

DATE: 2/24/2025

PHONE NUMBER: (559) 600 - 4245

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

( ) COVENANT

( ) MAP CERTIFICATE

( ) PARCEL MAP

( ) FINAL MAP

( ) FMFCD FEES

( ) ALUC or ALCC

( ) SITE PLAN REVIEW

( ) BUILDING PLANS

( ) BUILDING PERMITS

( ) WASTE FACILITIES PERMIT

( ) SCHOOL FEES

( ) OTHER (see reverse side)

OVER.....



## Fresno County Department of Public Works and Planning

### MAILING ADDRESS:

Department of Public Works and Planning  
Development Services and Capital Projects Division  
2220 Tulare St., 6<sup>th</sup> Floor  
Fresno, Ca. 93721

Date Received:

(Application No.)

### LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A  
Street Level  
Fresno Phone: (559) 600-4497

### APPLICATION FOR:

- ☐ Pre-Application (Type) \_\_\_\_\_
- ☐ Amendment Application ☐ Director Review and Approval
- ☐ Amendment to Text ☐ for 2<sup>nd</sup> Residence
- ☐ Conditional Use Permit ☐ Determination of Merger
- ☒ Variance (Class )/Minor Variance ☐ Agreements
- ☐ Site Plan Review/Occupancy Permit ☐ ALCC/RLCC
- ☐ No Shoot/Dog Leash Law Boundary ☐ Other \_\_\_\_\_
- ☐ General Plan Amendment/Specific Plan/SP Amendment)
- ☐ Time Extension for \_\_\_\_\_

### DESCRIPTION OF PROPOSED USE OR REQUEST:

Request to reduce the street side setback from required 10 ft. to 4 ft. from property line. Replace existing walkway along street side with roof cover.

CEQA DOCUMENTATION: ☐ Initial Study ☐ PER ☐ N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: north side of Owens east side of knobcone  
between \_\_\_\_\_ and \_\_\_\_\_  
Street address: 42012 Owens Lane

APN: 120-257-06 Parcel size: 0.18 acre Section(s)-Twp/Rg: S \_\_\_\_\_ - T \_\_\_\_\_ S/R \_\_\_\_\_ E

ADDITIONAL APN(s): \_\_\_\_\_

I, Linda Dineen (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Donald Miranda 14009 Crown Oak Dr. Prother, CA 93651 559-647-2119  
Owner (Print or Type) Address City Zip Phone

Linda Dineen 2985 E. Willis Ave. Fresno, CA 93726 559-221-6053  
Applicant (Print or Type) Address City Zip Phone

Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL:

### OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
PER/Initial Study No.:	Fee: \$
Ag Department Review:	Fee: \$
Health Department Review:	Fee: \$
Received By: _____	Invoice No.: _____
TOTAL: \$	

### UTILITIES AVAILABLE:

WATER: Yes ☐ / No ☐

Agency: \_\_\_\_\_

SEWER: Yes ☐ / No ☒

Agency: \_\_\_\_\_

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: \_\_\_\_\_ - T \_\_\_\_\_ S/R \_\_\_\_\_ E

Related Application(s): \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Zone District: \_\_\_\_\_

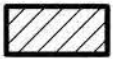
APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Parcel Size: \_\_\_\_\_

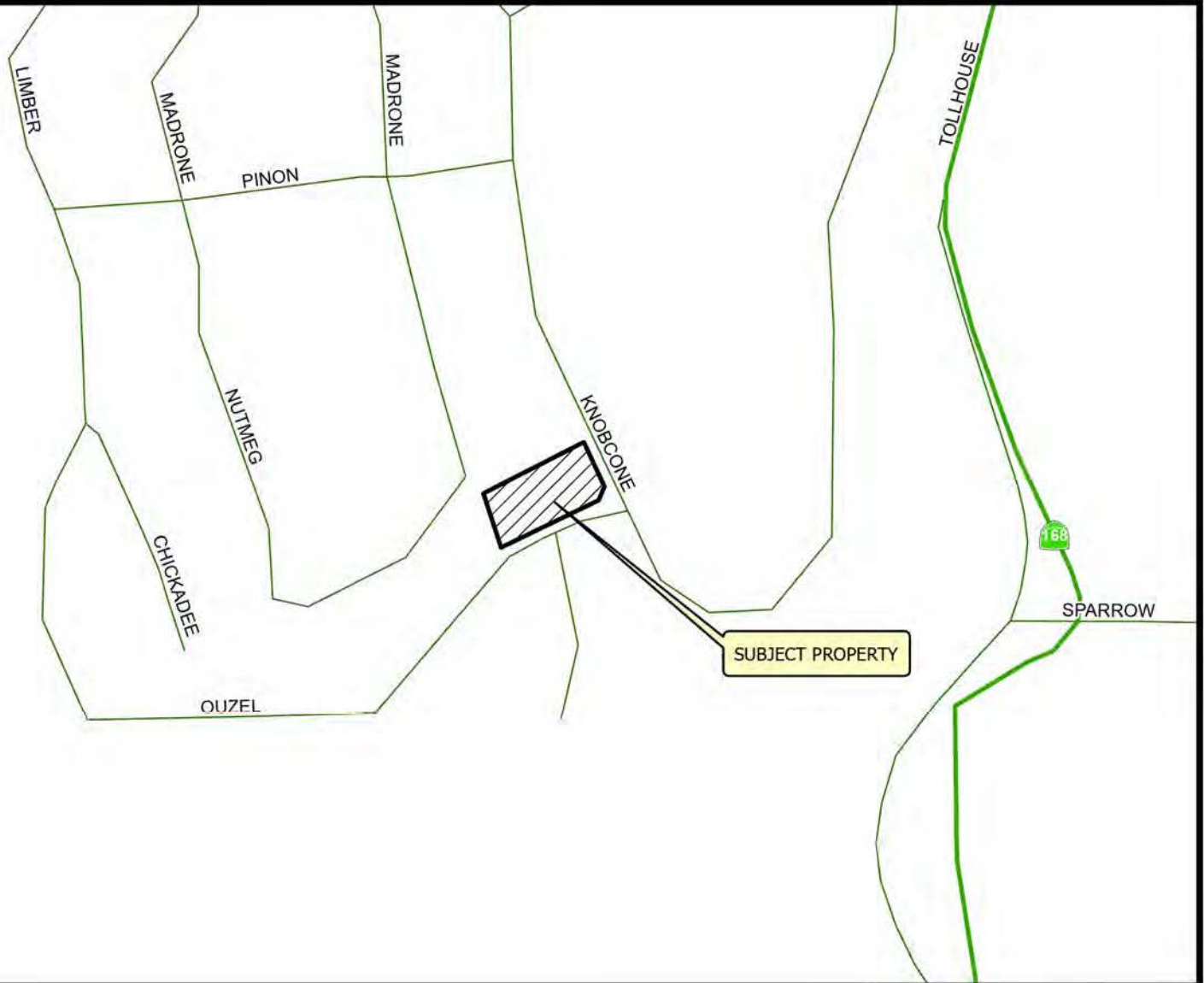
APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

over.....

**Legend**



Subject Property



**VICINITY MAP**



**LOCATION MAP**

**VA 4189**

**2025**

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division

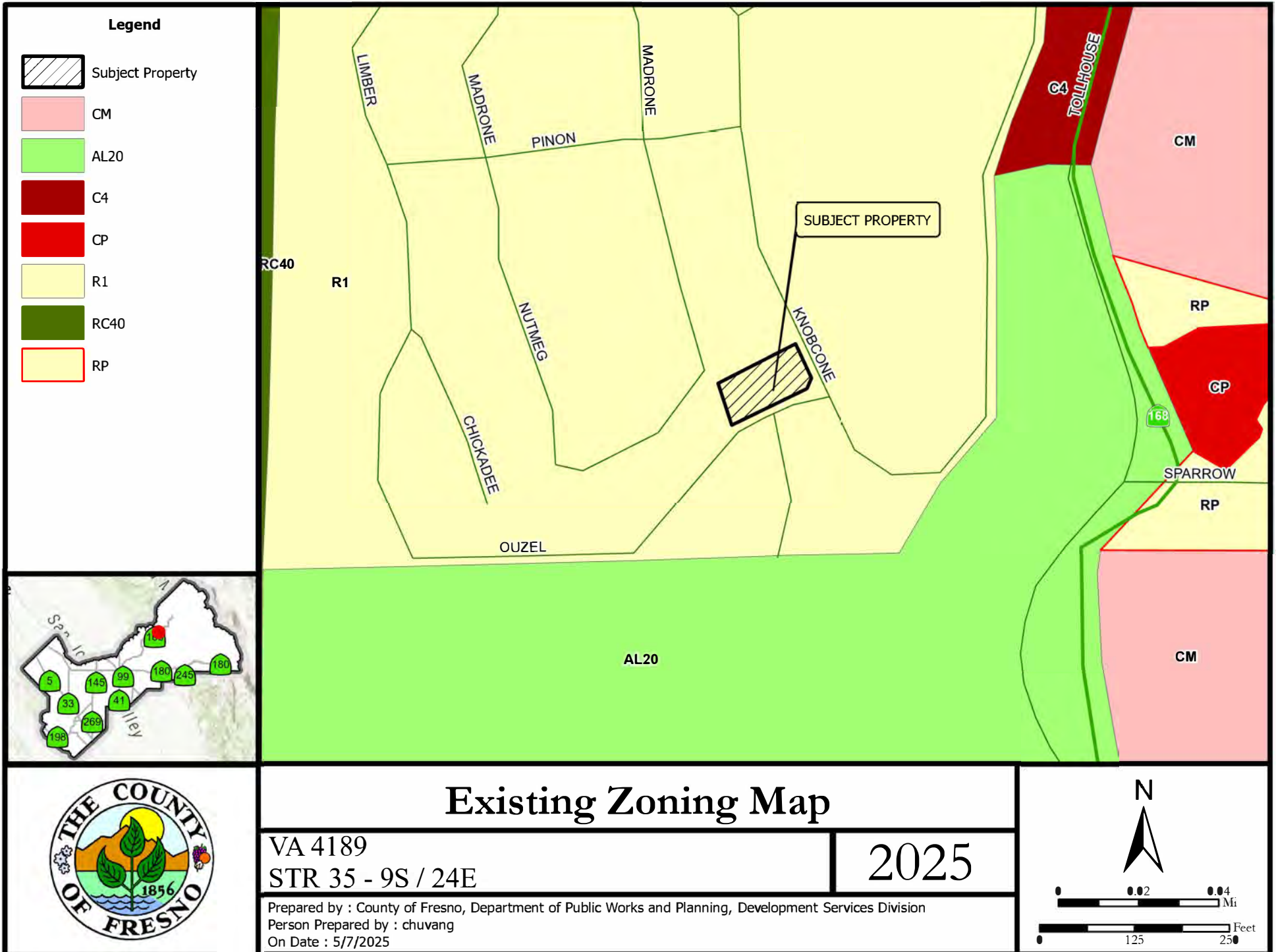
Person Prepared by : chuang

On Date : 5/7/2025




0 0.02 0.04 Mi

0 125 250 Feet



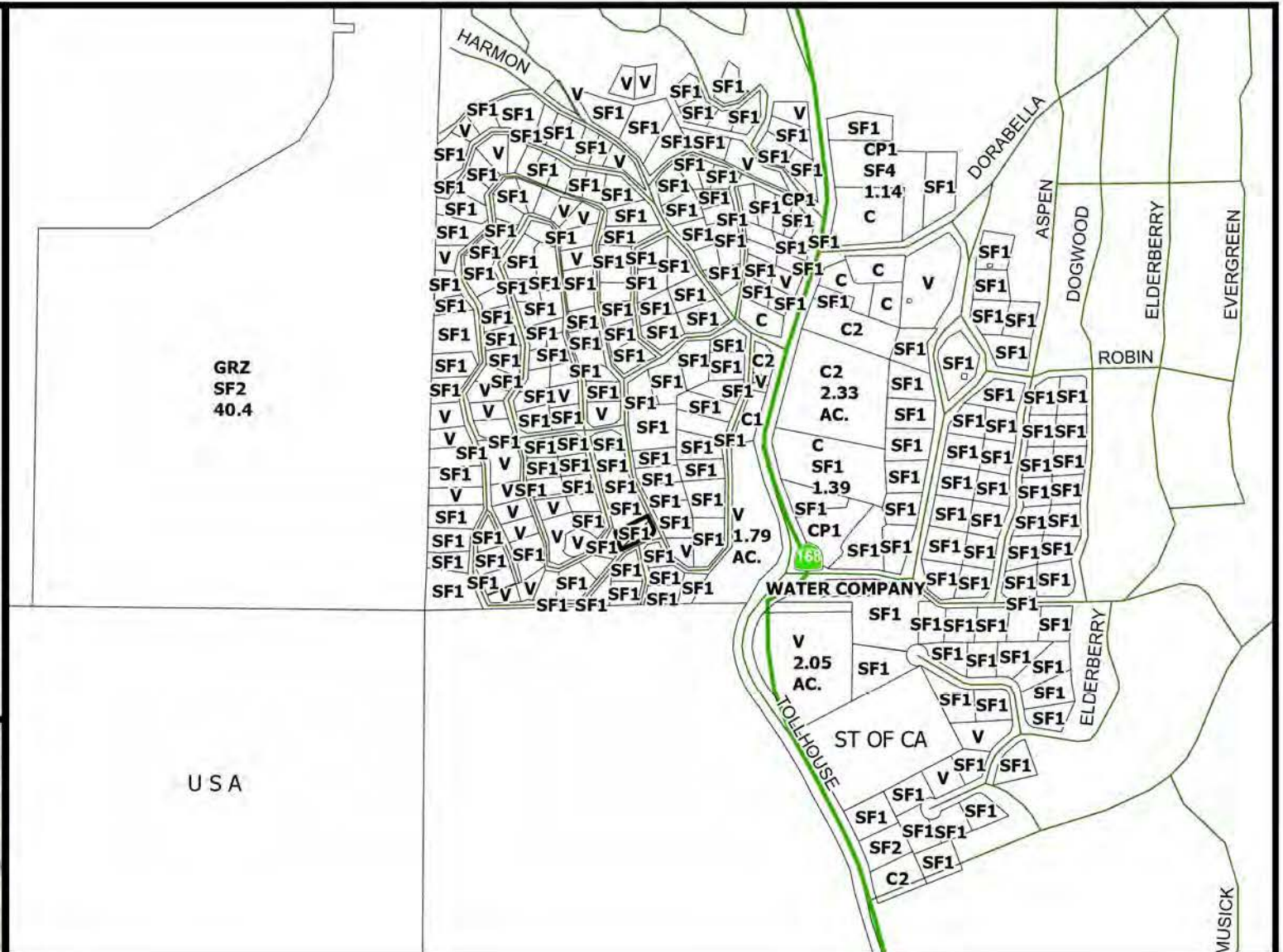


## LEGEND:

 Subject Property

LEGEND
AP1 - APARTMENT
C - COMMERCIAL
C# - COMMERCIAL
CP# - OFFICE COMM./PROF
GRZ - GRAZING
I - INDUSTRIAL
SF# - SINGLE FAMILY RESIDENCE
V - VACANT

### VICINITY MAP

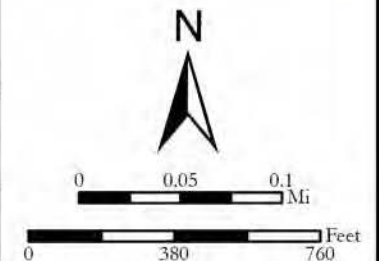


## Existing Land Use Map

VA 4189

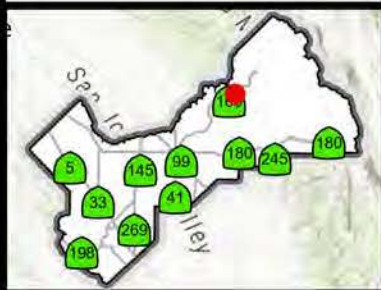
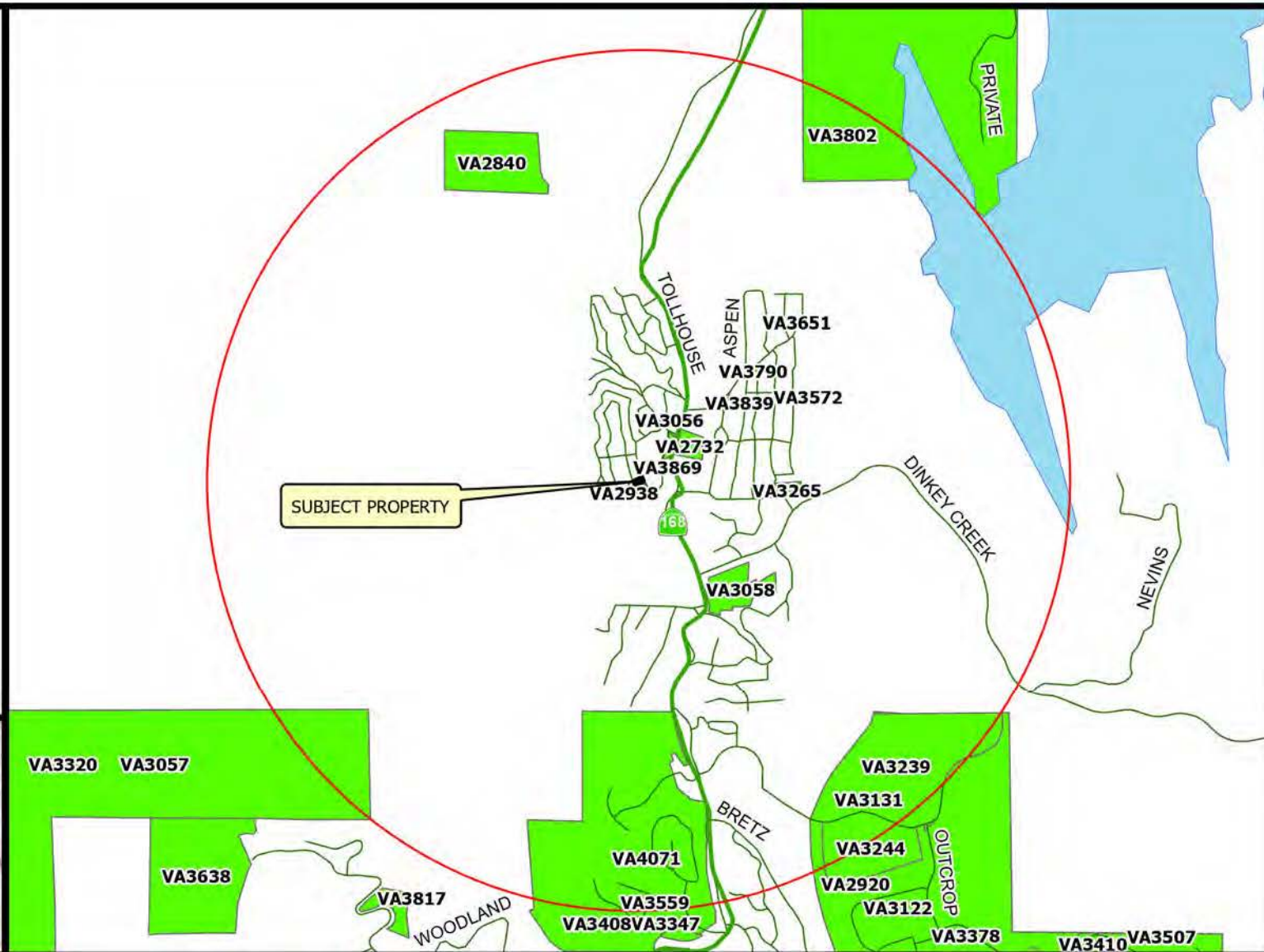
2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : chuang  
 On Date : 5/7/2025



# Legend

- One Mile Buffer
- Subject Property
- LU Permits

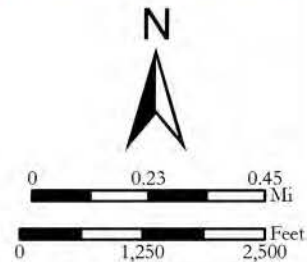


## Proximity Map

VA 4189

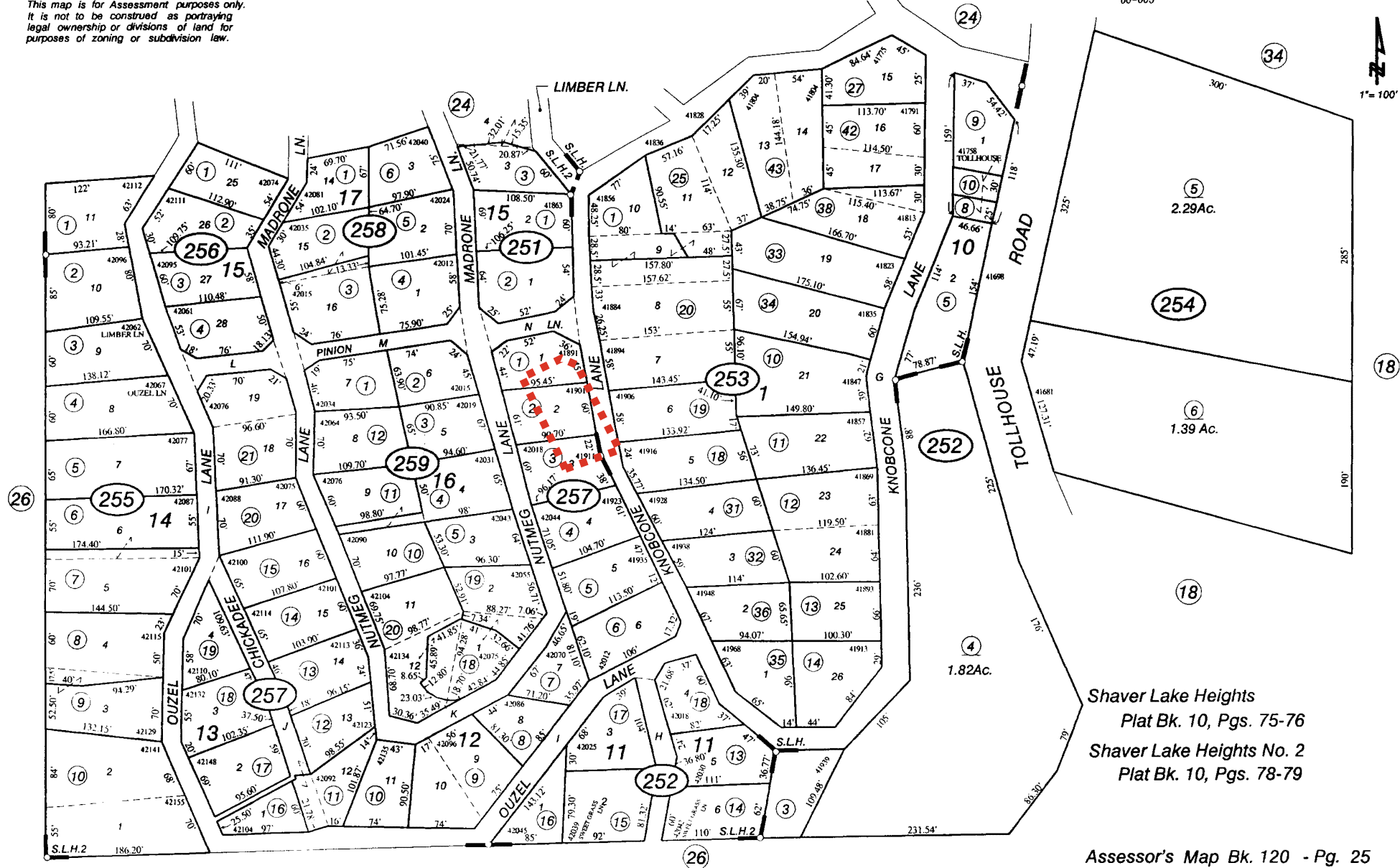
2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : chuvang  
 On Date : 5/8/2025





--- NOTE ---  
This map is for Assessment purposes only.  
It is not to be construed as portraying  
legal ownership or divisions of land for  
purposes of zoning or subdivision law.



Shaver Lake Heights  
Plat Bk. 10, Pgs. 75-76  
Shaver Lake Heights No. 2  
Plat Bk. 10, Pgs. 78-79

Assessor's Map Bk. 120 - Pg. 25  
County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.  
Assessor's Parcel Numbers Shown in Circles.

**PROPOSED VARIANCE FOR 42012 OUZEL LANE  
OWNERS: DONALD AND RENEE MIRANDA**

**REQUIRED FINDINGS:**

- 1. There are exceptional or extraordinary circumstances or conditions applicable to the property involved which do not apply generally to other property owners in the vicinity having the identical zoning classification.**

The existing cabin and existing walkway were originally constructed with a 4ft distance to the street side property line abutting Ouzel Lane at the rear and an 8ft distance to the street side property line at the cabin front.. We propose not to change this distance. Because the existing construction is already in violation, we are forced to work with this condition.

- 2. Such a variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the vicinity having the identical zoning classification.**

All property owners desire snow protection on access walkways and porches.. The current walkway does not have this protection. The proposed roof covering will provide the snow protection that is a common and understandable desire for all property owners in the Shaver Lake area.

The setback distances proposed (Which are also existing) are actually quite generous compared to other properties in the area. Enclosed are pictures and measurements for several other properties in the West Village which have much less distance to the street and therefore are either constructed on or over the property lines.

The owners would like to be able to enjoy their cabin as others do in the neighborhood

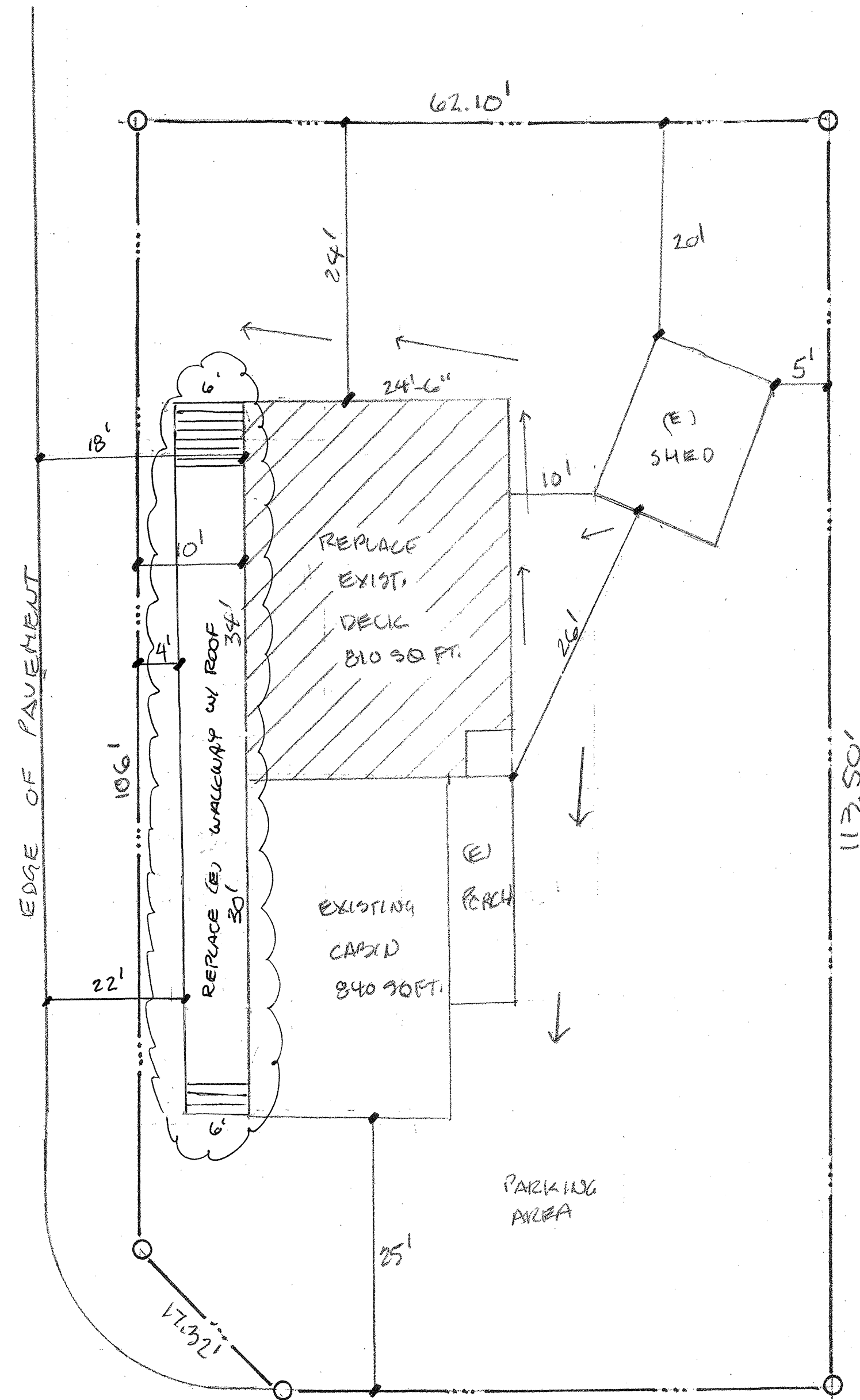
- 3. The granting of a variance will not be materially detrimental to the public welfare or injurious to property and improvement in the vicinity in which the property is located.**

All of the paved roads in the West Village are narrow in width. On the south side of the subject property Ouzel Lane is only 15 feet wide which extends for its entire length. This narrow width is consistent for all of the paved streets in the area. There is another 8ft from the edge of the pavement to the property line of this residence and 12ft – 16ft to the proposed covered walkway ( See map). There is also an additional 11 feet from the edge of Ouzel Lane to the residence across the street (which also happens to be in violation).. Because of this distance, there is no sight blockage at the corner of Ouzel Lane and Knobcone Lane due to our proposed walkway.

- 4. The granting of such variance will not be contrary to the objectives of the general plan.**

Having obtained dozens of permits on projects in the Shaver Lake area (including The Point) for thirty five years, it has been my observation that, historically, the general plan was to allow construction of residences with the edge of the street presumed to be the property line. In **no case** is this condition correct. What has resulted is construction evidenced in the pictures here included. These are only *A FEW* of the many construction violations in the area. Our proposed project is at a respectful distance from the abutting street and there is no plan to widen Ouzel Lane.

OUZEL LANE



NOBLCONE LANE

SITE PLAN

SCALE 1" = 10'

- CALGREEN REQUIREMENTS:**  
Provide certification for the following CALGreen components. Documentation shall be required prior to City inspections as noted below:
- Indoor water use (final inspection)
  - Moisture content of building materials by third party special inspector (final inspection)
  - Adhesive and sealant VOC limits (final inspection)
  - Paints and coatings VOC limits (final inspection)
  - Composite wood products (final inspection)
  - Carpet and flooring certification (final inspection)
- Plumbing fixtures and fixture fittings shall be provided to reduce the overall use of potable water by 20%. The 20% reduction shall be demonstrated by one of the following methods:
- Each plumbing fixture and fitting shall meet reduced flow rates specified in Table 4.303.2 of the CALGreen code.
  - A calculation demonstrating the 20% reduction in the water use baseline as established in Table 4.303.1 of the CALGreen Code.
  - Provide plumbing fixture schedule on the Plumbing Plan to specify flow rates of plumbing fixtures.
- When multiple shower heads serve a single shower, the maximum flow rate shall not exceed 2 gpm at 80 psi, or the shower shall be designed to only allow one showerhead to be in operation at a time.
- Automatic irrigation system controllers for landscaping shall comply with the following:
- Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
  - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor that connects or communicates with the controller. Soil moisture-based controllers are not required to have rain sensor input.
- Annular spaces around pipes, electrical cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method approved by the enforcing agency.
- Wall and floor framing members shall not be enclosed when moisture content exceeds 19%. Documentation shall be provided at the time of insulation inspection, certifying moisture content of framing members, following the procedures outlined in section 4.505.3 of the CALGreen Code.
- Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry per the manufacturer's drying recommendations, prior to enclosure of wall and floor cavities.
- Bathroom exhaust fans that are not a component of the whole house ventilation system must be controlled by a humidistat which is readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- Whole house exhaust fans shall have a minimum insulation value of R-4.2.

**SITE NOTES:**

Chemical toilet to be provided on site during construction.  
Provide 2% min. slope away from structure for a min. of 5'.  
Driveways and private roads shall have a maximum slope of 12%.  
Install street address numeral at least 4" high with min. 1/2" stroke on contrasting background clearly visible from the street.  
No on-site water retention.  
No drainage to adjacent property.  
Changes from the approved plans during the course of construction shall cause construction to be suspended until such time as the plans can be amended by the designer and submitted to the County for Review and approval.  
The Construction Waste Management Plan must be finalized prior to occupancy.

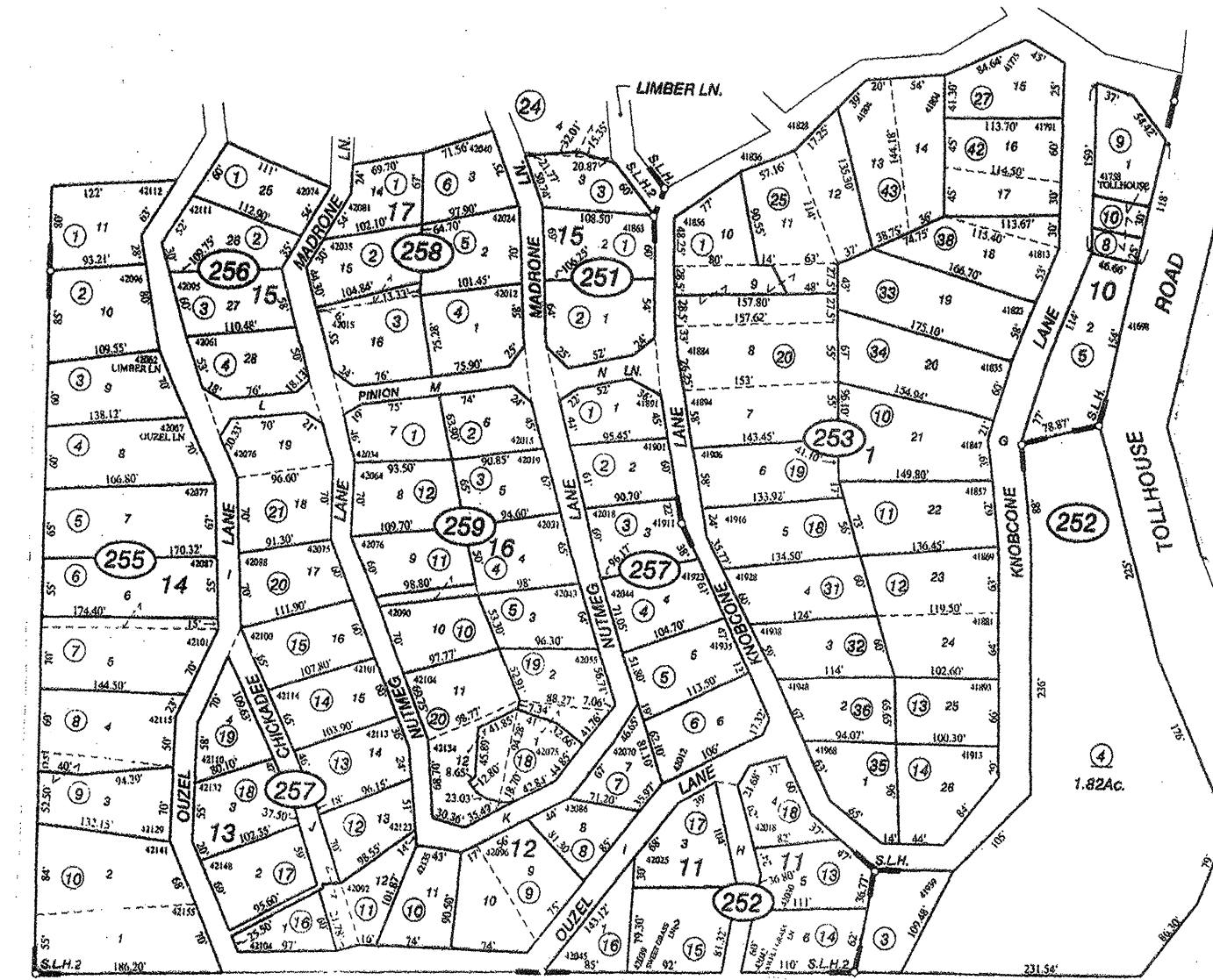
**GOVERNING CODES :**

2022 CBC CALIF. BUILDING CODE  
2022 CBC CALIF. RESIDENTIAL CODE  
2022 CBC CALIF. FIRE CODE  
2022 CBC CALIF. ELECTRICAL CODE  
2022 CBC CALIF. PLUMBING CODE  
2022 CBC CALIF. MECHANICAL CODE  
2022 CBC CALIF. ENERGY CODE  
2022 CBC CALIF. CALGREEN CODE, SEC. 4

Fresno County Ordinance Code Title 15  
The base ground snow load is 150psf

**PROJECT STATISTICS**

APN: 120-157-06  
Zoning: R1-M  
Occupancy: R30  
Type of Construction: VB  
Soils bearing capacity 1500 psf  
Concrete design strength 2500 psi  
Material dead loads 16 psf  
Material live loads 20 psf  
Replaced deck 810 sq ft.  
Replaced walkway 384 sq ft.



**VICINITY MAP**

OWNER: Donald & Renee Miranda  
14009 Crown Oak Dr.  
Prather, CA 93651  
(559) 647-2119

DESIGNER: Linda Dineen  
Dineen Drafting & Design  
2985 E. Willis Ave.  
Fresno, CA 93726  
(559) 221-6053

SHEET INDEX	
8P	SITE PLAN
2	FLOOR PLAN/ELEVATIONS
3	ROOF FRAMING PLAN
4	FOUNDATION PLAN
5	SECTION/ELECTRICAL
6	STANDARD DETAILS

**DINEEN**  
drafting & design

Linda Dineen  
(559) 221-6053

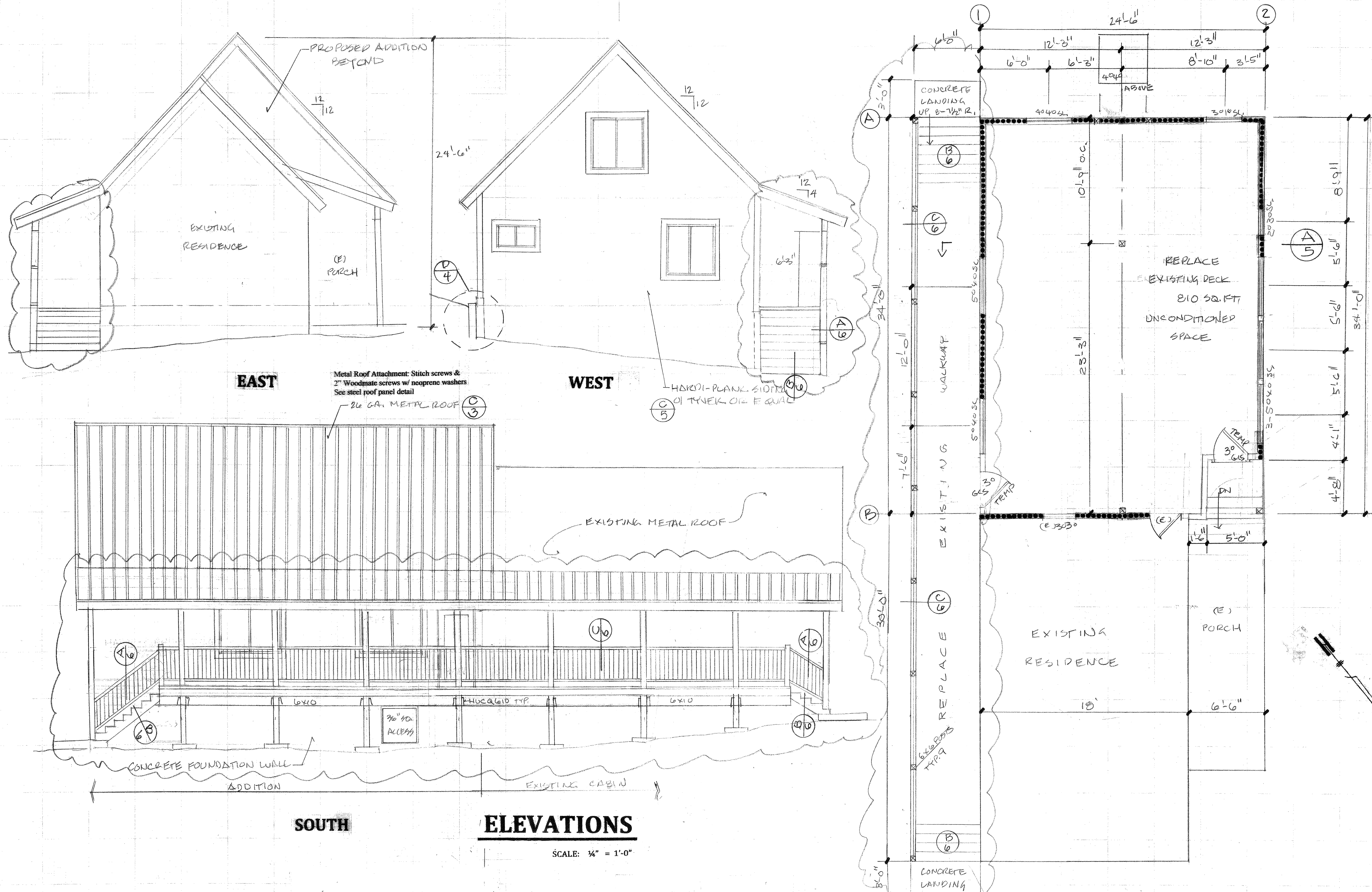
PROPOSED DECK REPLACEMENT FOR:  
**DONALD & RENEE MIRANDA**  
42012 OUZEL LANE  
SHAVER LAKE, CA

FEBRUARY 2024

SP

L. Dineen





- SHEARWALL SCHEDULE** ●●●●
- ① 5/8" Hardie 4x8 siding w/ 8d common nails @ 6" o.c. Edges, 12" o.c. field.
  - ② 5/8" Hardie 4x8 siding w/ 8d common nails @ 6" o.c. Edges, 12" o.c. field.
  - ③ 5/8" Hardie 4x8 siding w/ 8d common nails @ 6" o.c. Edges, 12" o.c. field. Use 2x8 D.R. #2 studs 2 16" o.c.
  - ④ 3/8" CDX structural panel w/ 8d common nails @ 6" o.c. edges, 12" o.c. field.

- SHEARWALL NOTES**
- Individual sheets used in the construction of diaphragms and shearwalls shall be no less than 4' x 8' in size.
  - Minimum size sheet at boundaries and changes in framing shall be 24" Unless blocked.
  - Shear panel edges must occur over framing members or blocking at all shearwalls.
  - Shearwalls shall extend to roof sheathing or the method of transferring loads to some other horizontal diaphragms shall be shown.
  - Shear/braced wall panel inspection is required prior to covering.
  - Conform to requirements for wood shearwall and diaphragms per CBC Section 2315.5.3
  - Connect double studs with 16d @ 16" o.c. staggered.



**PROPOSED VARIANCE FOR 42012 OUZEL LANE  
OWNERS: DONALD AND RENEE MIRANDA**

**OPERATIONAL STATEMENT**

This residence is located on the northwest corner of Ouzel Lane and Knobcone Lane in the West Village of Shaver Lake, CA. The current zoning classification is R1-M. This zoning district allows a 10 ft. street side yard setback.

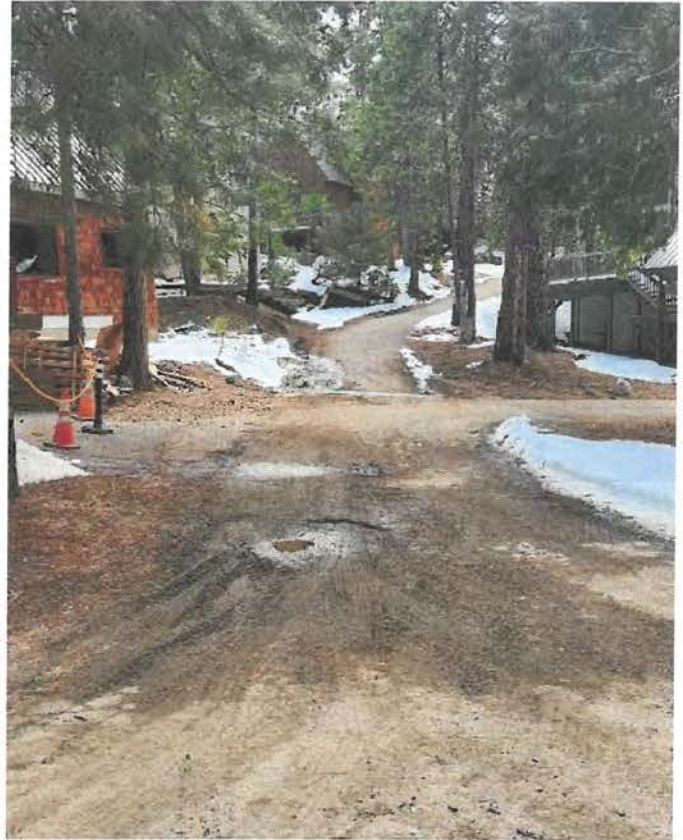
There is an existing 6ft. wide raised, uncovered walkway along the Ouzel Lane side of the residence that was constructed with the original cabin and is 4ft from the property line in the rear and 8ft. from the property line at the front of the residence. See the attached photo that shows the existing walkway.

This walkway has deteriorated and needs replacing but at the same time the owners would like to cover this replaced walkway with a roof to protect users from rain and snow. The new walkway will not intrude further into the setback than the existing walkway.

The new walkway will look very similar to the existing one. It will have a code railing and metal roof to match the existing.



EAST @ THE CORNER OF OUZEL & KNOBCONE



WEST ALONG OUZEL



SUBJECT PROPERTY – WALKWAY 22FT FROM ROAD



SOUTH SIDE OF OUZEL