



PLANNING COMMISSION AGENDA

Room 301, Hall of Records
2281 Tulare Street
Northwest Corner of Tulare & M
Fresno, CA 93721-2198

Contact: Planning Commission Clerk
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Call Toll Free: 1-800-742-1011 – Ext. 04497

Web Site: <http://www.co.fresno.ca.us/PlanningCommission>

AGENDA October 25, 2018

8:45 a.m. - CALL TO ORDER

INTRODUCTION

Explanation of the REGULAR AGENDA process and mandatory procedural requirements. Staff Reports are available on the table near the room entrance.

PLEDGE OF ALLEGIANCE

ROLL CALL

CONSENT AGENDA

Items listed under the Consent Agenda are considered to be routine in nature and not likely to require discussion. Prior to action by the Commission, the public will be given an opportunity to comment on any consent item. The Commission may remove any item from the Consent Agenda for discussion.

There are no consent agenda items for this hearing.

REGULAR AGENDA

1. **PUBLIC PRESENTATIONS** (This portion of the meeting is reserved for persons desiring to address the Planning Commission on any matter within the Commission's jurisdiction and not on this Agenda.)
2. **INITIAL STUDY APPLICATION NO. 7458** and **CLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3613** filed by **PACIFIC AGRICULTURE RENTALS**, proposing to allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Avenue) (APN 050-140-43S) (Sup. Dist. 4). Adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7458, and take action on Classified Conditional Use Permit Application No. 3613 with Findings and Conditions.

-Contact person, Danielle Crider (559) 600-9669, email: dacrider@fresnocountyca.gov

-Staff Report Included

-Individual Noticing

3. **INITIAL STUDY APPLICATION NO. 7441** and **UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3609** filed by **FOREFRONT POWER** proposing to allow a 5 MWac solar photovoltaic power generation facility on a 39-acre portion of a 79.7-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District. The project is located on West Jayne Avenue, 1.2 miles east of its intersection with State Route 33, and northerly adjacent to the nearest city limits of the City of Coalinga (SUP. DIST. 4) (APN 073-060-12). Adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7441, and take action on Unclassified Conditional Use Permit Application No. 3609 with Findings and Conditions.

-Contact person, Danielle Crider (559) 600-9669, email: dacrider@fresnocountyca.gov

-Staff Report Included

-Individual Noticing

4. **INFORMATION/DISCUSSION ITEM:**

Report from staff on prior Agenda Items, status of upcoming Agenda, and miscellaneous matters.

-Contact person, Marianne Mollring (559) 600-4569, email: mmollring@fresnocountyca.gov

Requests for disability-related modification or accommodation reasonably necessary in order to participate in the meeting must be made to Suzie Novak, Planning Commission Clerk, by calling (559) 600-4497 or email knovak@fresnocountyca.gov, no later than the Monday preceding the meeting by 9:00 a.m.

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 2 October 25, 2018

SUBJECT: Initial Study Application No. 7458 and Classified Conditional Use Permit Application No. 3613

Allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Avenue) (APN 050-140-43S) (Sup. Dist. 4).

**OWNER/
APPLICANT:** Pacific Agriculture Rentals

STAFF CONTACT: Danielle Crider, Planner
(559) 600-9669

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7458; and
- Approve Classified Conditional Use Permit No. 3613 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Mitigation Monitoring, Conditions of Approval, and Project Notes
2. Location Map
3. Zoning Map
4. Land Use Map
5. Site Plan, Floorplan, and Elevations
6. Applicant's Operational Statement
7. Summary of Initial Study Application No. 7458
8. Draft Mitigated Negative Declaration

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agricultural	No change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)	No change
Parcel Size	8.78 acres	No change
Structural Improvements	5,000 square-foot farm shop/office building, 6-foot-tall chain-link fence	4,983 square feet of additional shop building space, one 2,000-gallon and one 1,000-gallon diesel fuel tank (already on site), related parking
Nearest Residence	660 feet west of the subject parcel	No change
Surrounding Development	Agricultural uses	No change
Operational Features	N/A	Sale, maintenance, leasing, and storage of agricultural equipment
Employees	N/A	15 Employees
Traffic Trips	N/A	Approximately 22 two-way traffic trips per day for business purposes. 15 two-way traffic trips per day may result from commuting employees.

Criteria	Existing	Proposed
Lighting	On the existing shop building	Additional lighting is proposed on the new building and in the parking areas. A Mitigation Measure requires that these lights be hooded, downturned, and directed away from neighboring properties.
Hours of Operation	N/A	Monday – Friday: 8am to 5pm Limited operations on some Saturdays

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

An Initial Study was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is included as Exhibit 7.

Notice of Intent to adopt a Mitigated Negative Declaration publication date: September 12, 2018.

PUBLIC NOTICE:

Notices were sent to 8 property owners within 1,350 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

A Classified Conditional Use Permit may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on a Classified Conditional Use Permit Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

BACKGROUND INFORMATION:

The subject parcel was originally zoned A-1 (Agricultural) as established by the Board of Supervisors on June 8, 1960. The A-1 Zone District allowed the creation of parcels as small as 10,000 square -feet, therefore the creation of this 8.782-acre parcel through Parcel Map No. 3105 was allowed by right in July 1976. On August 31, 1976 the zoning was amended to the current AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District by way of County-initiated Amendment Application No. 2870.

The sale, maintenance, leasing, and storage of agricultural equipment is allowed by right in the AE-20 Zone District when the operation is clearly secondary to a bona fide agricultural operation, when no more than 10% of the total land is used for the operation, when no more

than 3 people (other than the owner) are employed in such activities, and when the operation is owned and operated by the owner or occupant of the premises. The Applicant's operational statement and site plans indicate that there is to be no agricultural production on site, and that there will be 15 employees; therefore, a Conditional Use Permit is necessary to allow this use.

Finding 1: *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood*

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front: 35 feet* Street Side: 35 feet** Interior Side: 20 feet Rear: 20 feet *Taken from 53-foot ultimate right-of-way **Taken from edge of 60-foot-wide access easement	Front (north): 350 feet Street Side (east): 35 feet Side (west): 125 feet Rear (south): 360 feet There are existing improvements built within the 60-foot-wide access easement and required side-yard setback. No additional improvements that would not otherwise be allowed in these areas will be allowed as a part of the proposed Conditional Use Permit.	Yes
Parking	One parking space for every 800 square feet of floor space; 13 required spaces	32 parking spaces	Yes
Lot Coverage	No requirement	0.03% lot coverage	N/A
Space Between Buildings	No requirement	No requirement	N/A
Wall Requirements	No requirement	No requirement	N/A
Septic Replacement Area	100 percent	N/A	N/A
Water Well Separation	Septic tank: 50 feet; Disposal field: 100 feet; Seepage pit: 150 feet	No water well on site	N/A

Reviewing Agency/Department Comments Regarding Site Adequacy:

Zoning Section of the Fresno County Department of Public Works and Planning: No Comments.

Building and Safety Section of the Fresno County Department of Public Works and Planning: Plans, permits and inspections are required for all on-site improvements. This comment shall be included as a Project Note.

Development Engineering Section of the Fresno County Department of Public Works and Planning: According to FEMA, FIRM Panel 2850J, portions of the subject parcel are in Zone A which is subject to flooding from the 100-year storm. If any development is within the area identified as Zone A, it must comply with the County Flood Hazard Ordinance (Title 15.48). This comment shall be included as a Project Note.

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels adjacent to or running through the parcel.

Site Plan Review Unit of the Fresno County Department of Public Works and Planning: Any proposed driveway shall be a minimum of 24 feet and a maximum of 35 feet in width as approved by the Road Maintenance and Operations Division. If only the driveway is to be paved, the first 100 feet off of the edge of the ultimate right-of-way shall be concrete or asphalt. This comment shall be included as a Condition of Approval.

Internal access roads shall comply with required widths by the Fire District for emergency apparatus. Additionally, plan approval from the Fire District will be required prior to the acquisition of permits. This comment shall be included as a Project Note.

A dust palliative shall be required on all parking and circulation areas. This comment shall be included as a Project Note.

Outdoor lighting shall be hooded and directed away from adjoining streets and properties. This is required as a Mitigation Measure.

All proposed signs require submittal to the Department of Public Works and Planning permits counter to verify compliance with the Zoning Ordinance. Off-site advertising for commercial uses are prohibited in the AE (Exclusive Agriculture) Zone District. This comment shall be included as a Project Note.

Analysis:

Staff review of the site plans has confirmed that the proposed improvements will satisfy the setback requirements of the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Based on the above information, staff believes that the subject parcel is adequate in size and shape to accommodate the proposed use.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 1 can be made.

Finding 2: *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use*

		Existing Conditions	Proposed Operation
Public Road Frontage	Yes	Mount Whitney Avenue	No change
Direct Access to Public Road	Yes	Mount Whitney Avenue	No change
Road ADT		Mount Whitney: 1800	The proposed use will result in approximately 37 additional two-way trips per day, Monday through Friday as a result of the proposed operation
Road Classification		Mount Whitney: Expressway	No change
Road Width		Mount Whitney: 32.5 feet	No change
Road Surface		Mount Whitney: Paved, Excellent Condition	No change
Traffic Trips		Unknown	37 two-way traffic trips per day
Traffic Impact Study (TIS) Prepared	No	N/A	The project does not meet the traffic thresholds that typically require a TIS
Road Improvements Required		N/A	None required

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

Development Engineering Section of the Fresno County Department of Public Works and Planning: Mount Whitney Avenue is a County-maintained road. Records indicate this section of Mount Whitney Avenue, from Howard Avenue to Madera Avenue Alignment, has an ADT of 1800, pavement width of 32.5 feet, structural section of .27 feet AC/.45 feet AB/1.05 feet LT/SB, and is in excellent condition.

Goldenrod Avenue Alignment is a private dirt road and not County-maintained. Per Parcel Map 3105 recorded in Book 22, Page 4, there is a 60-foot-wide easement west of the section line. According to the Plat Book, no dedication for Goldenrod Avenue has been made on this parcel.

Design Division of the Fresno County Department of Public Works and Planning: No comments.

Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning: Mount Whitney Avenue is classified as an Expressway in the County's General Plan with a recommended right-of-way width of 106 feet. There is currently 100 feet of road right-of-way available along Mt Whitney Avenue. No additional right of way is required.

Note: The ultimate right-of-way of 53 feet from the center of Mount Whitney Avenue will be used to determine the required front-yard setback for all proposed development.

Analysis:

Based on the above information staff believes that the streets in proximity to the subject parcel will be adequate to accommodate the proposed use.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 2 can be made.

Finding 3: *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	633.59 acres	Orchard	AE-20	N/A
	156.97 acres	Orchard	AE-40	N/A
West	10.00 acres	Field Crop	AE-20	N/A
South	10.00 acres	Vacant	AE-20	N/A
East	362.05	Vineyard	AE-40	N/A

Reviewing Agency/Department Comments:

Fresno County Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes. This comment shall be included as a Project Note.

A spill prevention control and countermeasure plan (SPCC) is required for aboveground petroleum storage tanks with greater than or equal to 1320 gallons of storage capacity.

(Storage capacity means the aggregate capacity of all aboveground tanks and containers at a tank facility.) This comment shall be included as a Condition of Approval.

The Applicant should contact the local Fire Authority concerning construction and installation requirements for aboveground storage tanks. This comment shall be included as a Project Note.

The Applicant should be advised of the State of California Public Resources Code, Division 30 - Waste Management: Chapter 16 - Waste Tires, and Chapter 19 - Tire Hauler Registration, which may require the Owner/Operator to obtain a permit from the California Department of Resources Recycling and Recovery (CalRecycle). Contact the Local Waste Tire Enforcement Unit, Fresno County Department of Public Health, Environmental Health Division at (559) 600-3271 for additional information. This comment shall be included as a Project Note.

The use shall comply with the Noise Element of the Fresno County General Plan and Fresno County Noise Ordinance. This comment shall be included as a Project Note.

Development Engineering Section of the Fresno County Department of Public Works and Planning: Any additional runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards. This comment will be included as a mandatory Project Note.

A grading permit or voucher shall be required for any grading that has been done without a permit and any grading proposed with this application. This comment will be included as a mandatory Project Note.

Water and Natural Resources Division of the Fresno County Department of Public Works and Planning: The project is not located in a water-short area, and it is being served by Westlands Water District.

Westlands Water District: The Westlands Water District distribution system is not present on the Project site. The District recommends that Underground Service Alert be notified prior to construction for verification. This comment shall be included as a Project Note.

If the Applicant's water usage is expected to exceed their annual water allocation, then the Applicant must submit a supplemental Municipal and Industrial Water Application to the District. This comment shall be included as a Project Note.

The Applicant must comply with the District's Backflow Prevention guidelines for this connection to the water system. This comment shall be included as a Project Note.

Fresno County Department of Agriculture: No comments.

Analysis:

The project will use the 60-foot-wide access easement on the subject property, which exists to provide access to the land-locked, southerly adjacent parcel. However, this easement is non-exclusive, so as long as the proposed operation does not inhibit access to the southern parcel, the use of this easement is appropriate. A reliable water source for the project has been identified and confirmed. The water resources of the surrounding area will not be impacted by the proposed project.

Staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

See recommended Mitigation Measures and Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 3 can be made.

Finding 4: That the proposed development is consistent with the General Plan

Relevant Policies:	Consistency/Considerations:
<p>Policy LU-A.3: The County may allow by discretionary permit in areas designated Agriculture special agricultural uses and agriculturally-related activities, including value-added processing facilities and certain non-agricultural uses listed in Table LU-3. Approval of these and similar uses in areas designated Agriculture shall be subject to the following criteria:</p> <ul style="list-style-type: none"> A. The use shall provide a needed service to the surrounding agricultural area which cannot be provided more efficiently within urban areas or which requires location in a non-urban area because of unusual site requirements or operational characteristics. B. The operational or physical characteristics of the use shall not have a detrimental impact on water resources or the use or management of surrounding properties within at least one quarter-mile radius. C. A probable workforce should be located nearby or be readily available. 	<p>The proposed use will provide agricultural equipment and maintenance services to nearby farmers, and will therefore support agricultural production in the area.</p> <p>The proximity of these services to agricultural operations is necessary to efficiently serve them, therefore it would not be as effective to locate the proposed use in an urbanized area.</p> <p>The proposed use will receive water from Westlands Water District, and will not impact surrounding water uses. Traffic and access impacts have been discussed and were determined to be less than significant.</p> <p>The project is located approximately 3 miles east of Five Points and 7 miles east of Lanare. Both communities could provide a probable workforce for the proposed operation.</p>
<p>Policy LU-A.13: The County shall protect agricultural operations from conflicts with non-agricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations.</p>	<p>The existing and proposed structures, where the majority of maintenance activities will occur, are located centrally on the parcel and as far away from neighboring agricultural operations as possible. An existing 60-foot easement provides a natural buffer between the agricultural operation to the east and the subject parcel; this easement will experience some traffic as a result of the operation, but the use of dust palliatives will minimize any dust produced as a result of this traffic. The northerly adjacent parcels are separated from the subject parcel by an Expressway and a canal, which provide a sufficient buffer. The westerly and southerly adjacent parcels have no natural buffer, and it is</p>

	<p>proposed that machinery will be stored along these parcel boundaries. The storage of these machines would not result in frequent emissions or large quantities of dust being generated. This is a low-intensity use that will not conflict with surrounding agriculture.</p>
<p>Policy PF-C.17: The County shall, prior to consideration of any discretionary project related to land use, undertake a water supply evaluation. The evaluation shall include the following:</p> <ul style="list-style-type: none"> A. A determination that the water supply is adequate to meet the highest demand that could be permitted on the lands in question. If surface water is proposed, it must come from a reliable source and supply must be made “firm” by water banking or other suitable arrangement. If groundwater is proposed, a hydrogeologic investigation may be required to confirm the availability of water in amounts necessary to meet project demand. If the lands in question lie in an area of limited groundwater, a hydrogeologic investigation shall be required. B. A determination of the impact that use of the proposed water supply will have on other water users in Fresno County. If use of surface water is proposed, its use must not have a significant negative impact on agriculture or other water users within Fresno County. If use of groundwater is proposed, a hydrogeologic investigation may be required. If the lands in question lie in an area of limited groundwater, a hydrogeologic investigation shall be required. Should the investigation determine that significant pumping-related physical impacts will extend beyond the boundary of the property in question, those impacts shall be mitigated. C. A determination that the proposed water supply is sustainable or that there is an acceptable plan to achieve sustainability. The plan must be structured such that it is economically, environmentally, and technically feasible. In addition, its implementation must occur prior to long-term and/or irreversible physical impacts, or significant economic hardship, to surrounding water users. 	<p>The proposed project will receive water from the Westlands Water District. No wells will be drilled, and the water consumption of other water users in Fresno County will not be impacted. If the project exceeds their allotted amount of water usage, an increase would have to be approved by the Westlands Water District.</p>

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The project site is not subject to a Williamson Act Contract.

Analysis:

Based on the above considerations, staff believes that the proposal is consistent with the Fresno County General Plan.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

None.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Classified Conditional Use Permit can be made. Staff therefore recommends approval of Classified Conditional Use Permit No. 3613, subject to the recommended Conditions.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7458; and
- Move to determine the required Findings can be made and move to approve Classified Conditional Use Permit No. 3613, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Classified Conditional Use Permit No. 3613; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

Mitigation Monitoring and Reporting Program
Initial Study Application No. 7458/Classified Conditional Use Permit Application No. 3613
(Including Conditions of Approval and Project Notes)

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine upward or toward adjacent properties and public streets.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PW&P)	During construction and operation
2.	Biological Resources	A qualified biologist shall conduct a survey for nesting raptors prior to the onset of construction activities, following the survey methodology developed by the SWHA Technical Advisory Committee (SWHA TAC 2000). If ground-disturbing activities take place between February 1 and September 15, a pre-construction survey for active nests must be conducted by a qualified biologist no more than 10 days prior to the onset of these ground-disturbing activities.	Applicant	Applicant/PW&P	Prior to construction and decommissioning
3.	Biological Resources	If an active SWHA nest is found, no construction may take place within a one half-mile of the nest until the end of breeding season (September 15) or until a qualified biologist has determined that the young have fledged and are no longer reliant upon the nest or parental care for survival. If this is not feasible, the Applicant shall consult with the California Department of Fish and Wildlife (CDFW) to determine if the project can avoid take. If SWHA cannot be avoided, acquisition of an Incidental Take Permit (ITP) could be warranted.	Applicant	Applicant/PW&P	Prior to construction through the completion of decommissioning activities
4.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities

EXHIBIT 1

Conditions of Approval	
1.	Development of the property shall be in accordance with the Site Plan, Elevation, and Operational Statement approved by the Commission.
2.	Any proposed driveway shall be a minimum of 24 feet and a maximum of 35 feet in width as approved by the Road Maintenance and Operations Division. If only the driveway is to be paved, the first 100 feet off of the edge of the ultimate right-of-way shall be concrete or asphalt.
3.	A spill prevention control and countermeasure plan (SPCC) is required for aboveground petroleum storage tanks with greater than or equal to 1320 gallons of storage capacity. (Storage capacity means the aggregate capacity of all aboveground tanks and containers at a tank facility.)
4.	Permits must be obtained from the Department of Public Works and Planning for any unpermitted structures prior to the granting of final occupancy. The presence of any unpermitted structures will be determined during inspection.

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

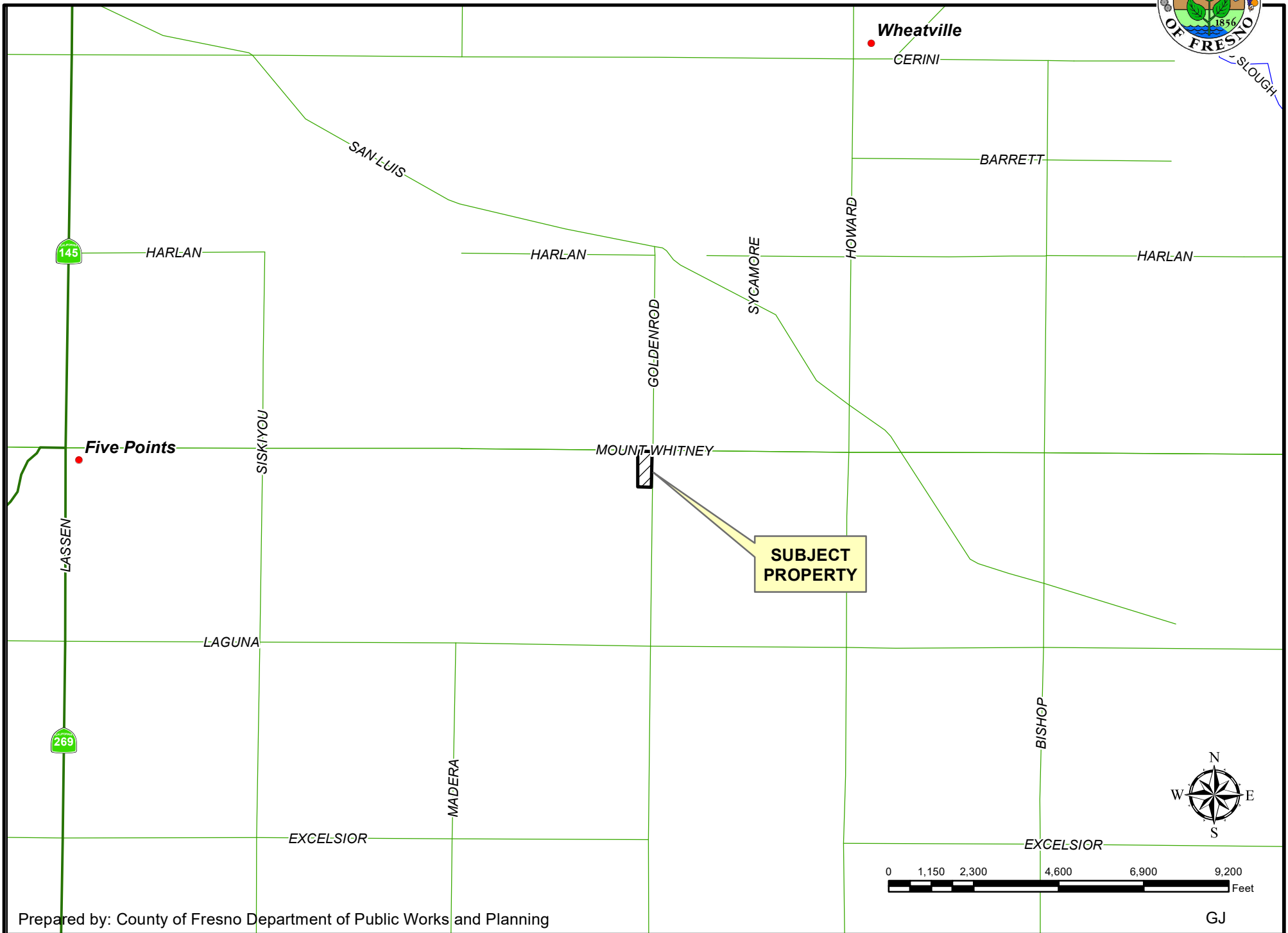
Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	Plans, permits and inspections are required for all on-site improvements.
2.	According to FEMA, FIRM Panel 2850J, portions of the subject parcel are in Zone A, which is subject to flooding from the 100-year storm. If any development is within the area identified as Zone A, it must comply with the County Flood Hazard Ordinance (Title 15.48).
3.	Internal access roads shall comply with required widths by the Fire District for emergency apparatus. Additionally, plan approval from the Fire District will be required prior to the acquisition of permits.
4.	A dust palliative shall be required on all parking and circulation areas.
5.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.
6.	The Applicant should contact the local Fire Authority concerning construction and installation requirements for aboveground storage tanks.
7.	The Applicant should be advised of the State of California Public Resources Code, Division 30 - Waste Management: Chapter 16 - Waste Tires, and Chapter 19 - Tire Hauler Registration, which may require the Owner/Operator to obtain a permit from the

	California Department of Resources Recycling and Recovery (CalRecycle). Contact the Local Waste Tire Enforcement Unit, Fresno County Department of Public Health, Environmental Health Division at (559) 600-3271 for additional information.
8.	The use shall comply with the Noise Element of the Fresno County General Plan and Fresno County Noise Ordinance.
9.	Any additional runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards.
10.	A grading permit or voucher shall be required for any grading that has been done without a permit and any grading proposed with this application.
11.	Westlands Water District (District) Project Notes: <ul style="list-style-type: none"> • The District's distribution system is not present on the Project site. • The District recommends that Underground Service Alert be notified prior to construction for verification. • If the Applicant's water usage is expected to exceed their annual water allocation, the Applicant must submit a supplemental Municipal and Industrial Water Application to the District. • The Applicant must comply with the District's Backflow Prevention guidelines for this connection to the water system.
12.	This permit will become void unless there has been substantial development within two years of the effective date of approval.

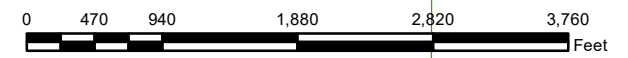
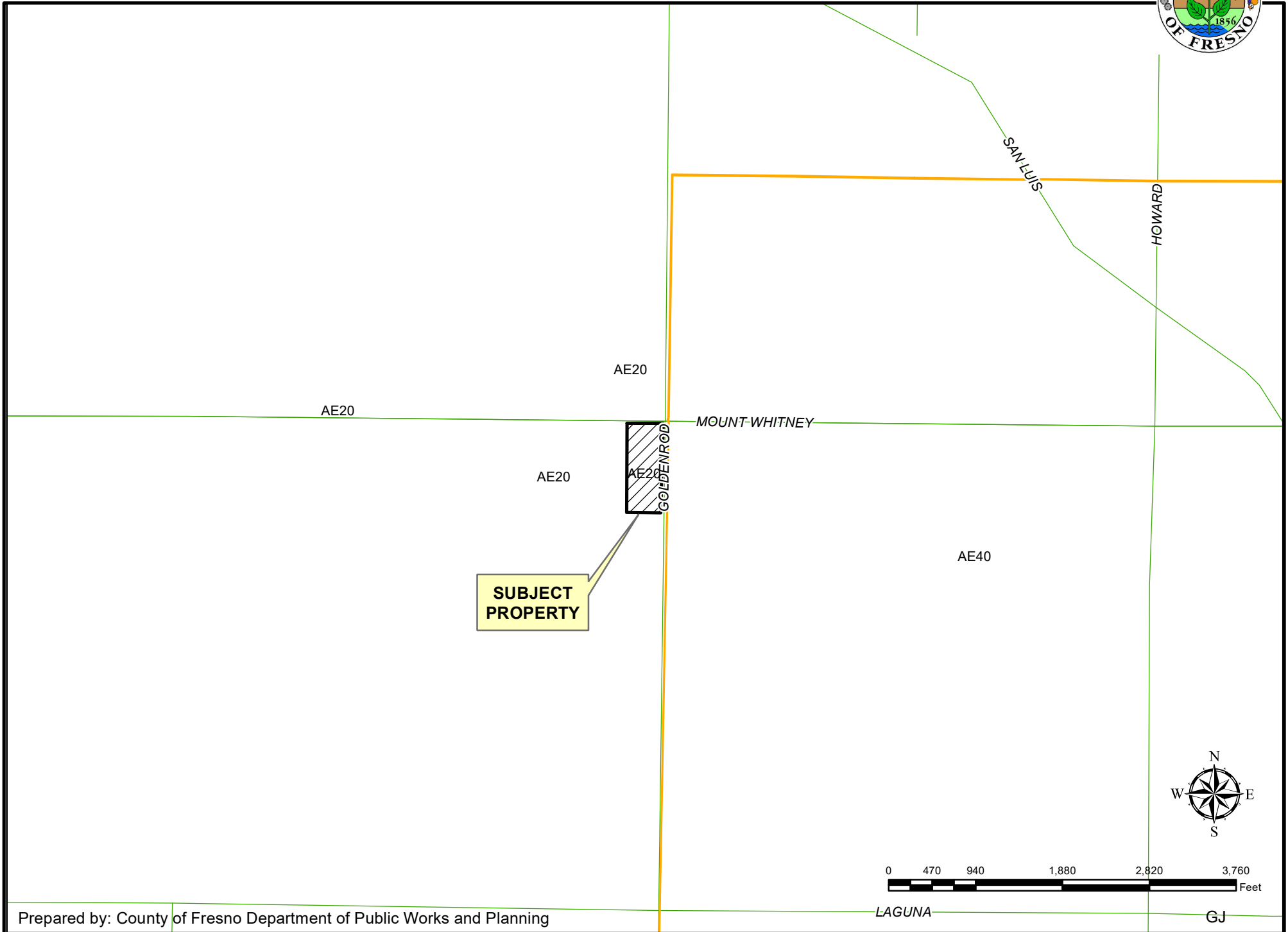
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LOCATION MAP



EXISTING ZONING MAP





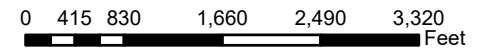
EXISTING LAND USE MAP



LEGEND	
FC	- FIELD CROP
I	- INDUSTRIAL
ORC	- ORCHARD
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT
VIN	- VINEYARD
CP#	- OFFICE COMM./PROF

LEGEND:

-  Subject Property
-  Ag Contract Land



Department of Public Works and Planning
Development Services Division

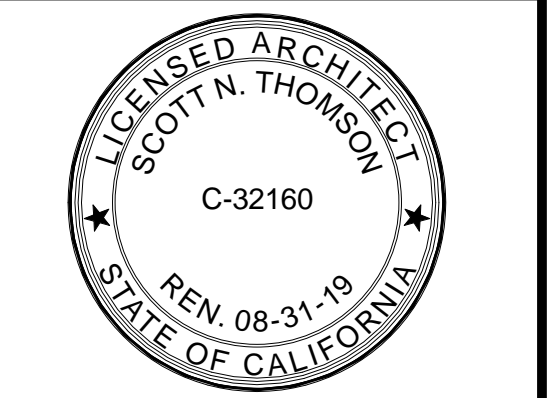
New AG Shop For Pacific AG Rentals

14093 W. Mt. Whitney Ave.
Five Points, CA 93624

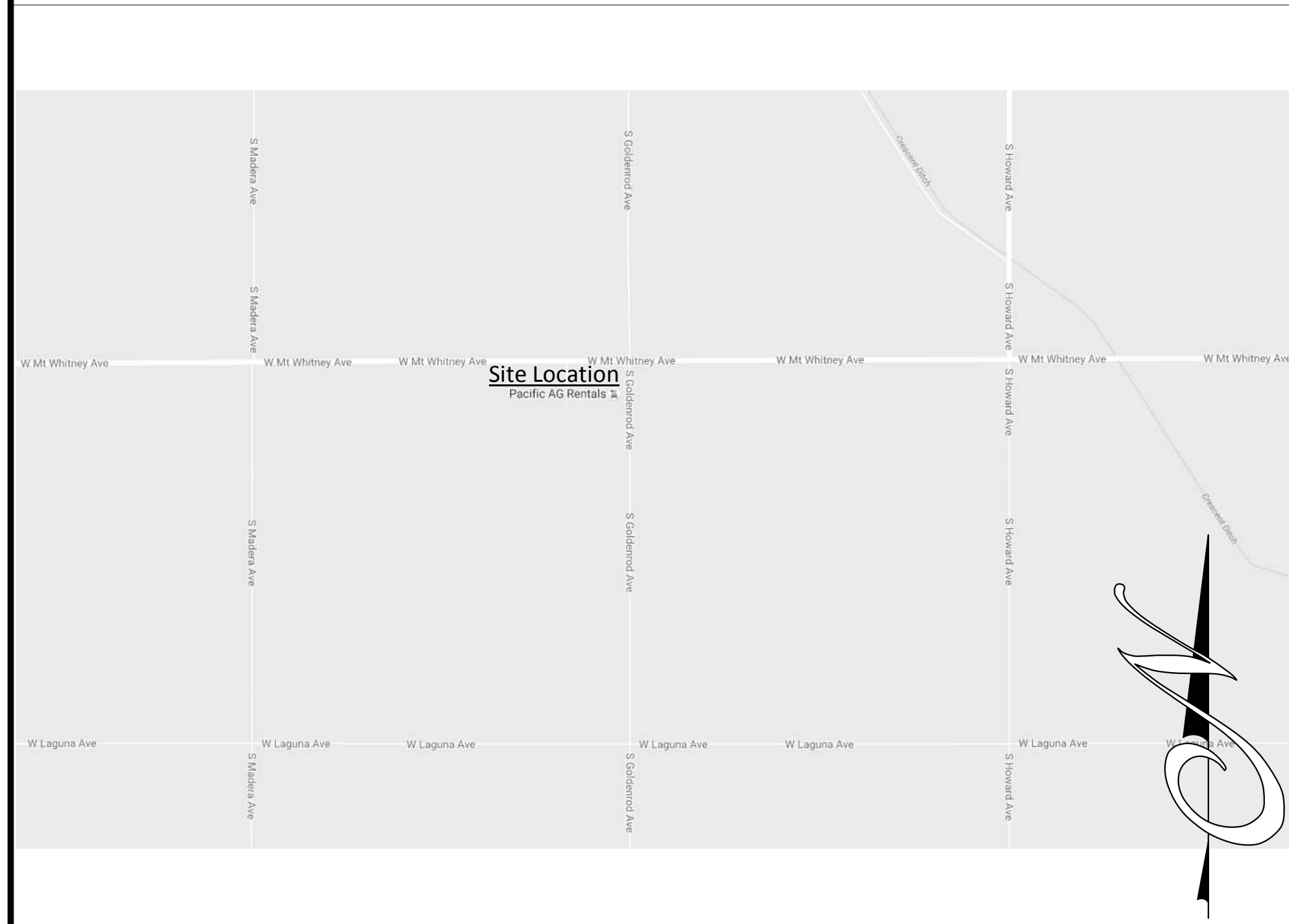
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VICINITY MAP



PROJECT CONSULTANTS

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PLUMBING

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BUILDER

Eckard Commercial Construction, Inc.

3914 E. 41st Place, Suite 1
Yuma, AZ 85365
Phone: (928) 317-0339
Fax: (928) 317-2840

Contact:
Troy Eckard

PROJECT DESCRIPTION

OWNER INFORMATION: Pacific AG Rentals
14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Contact:

SITE ADDRESS: 14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Latitude: 36° 25' 44" N
Longitude: 120° 03' 00" W

Zoning: AE-40 - Agriculture Exclusive

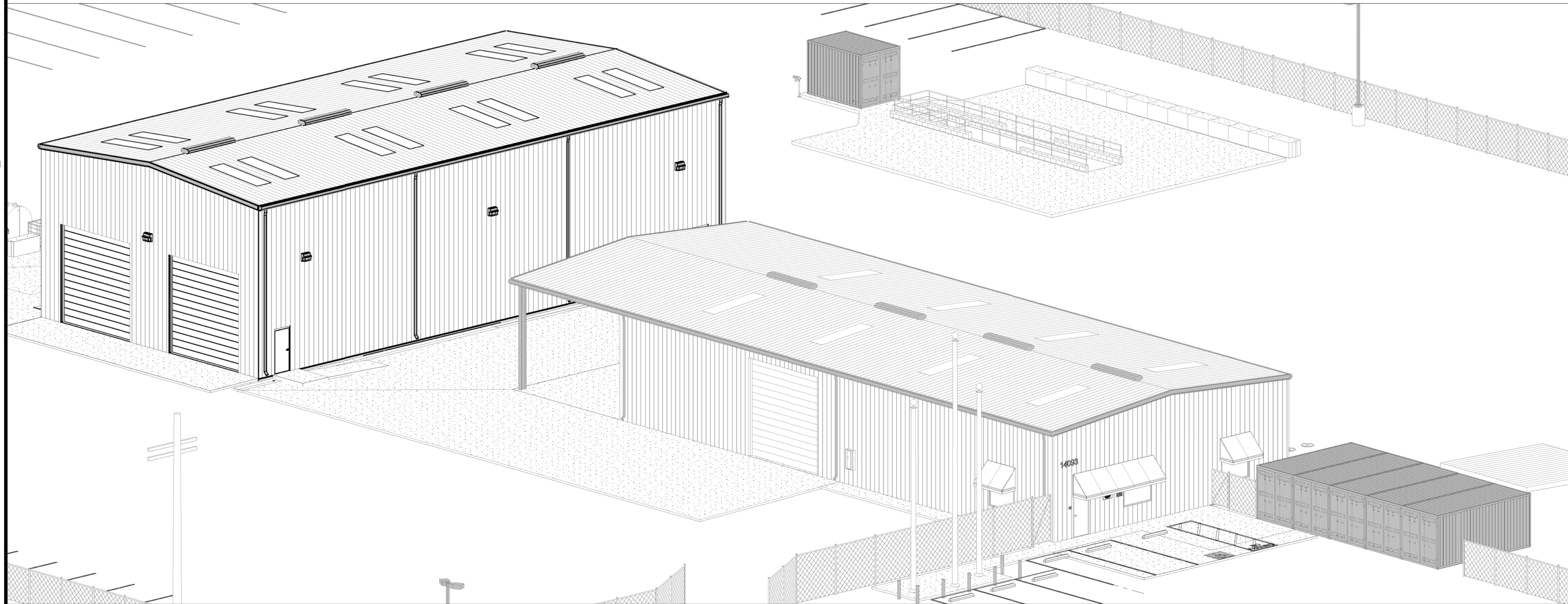
APN #: 050-140-435

PROJECT SCOPE OF WORK: New 4,983 Sq. Ft. AG Shop. Utilizing A Metal Building System, Concrete Slab On Grade, Concrete Drive Approach, And New Fire Water Storage Tanks, Exterior Building Mounted Lighting With Interior LED Lighting. Access Barrier Removal. No Mechanical, No Plumbing.

SHEET INDEX

GENERAL		MECHANICAL	
T-1.01	Title Sheet & Project Information		
		PLUMBING	
T-2.01	Code Analysis & Project Data		
		ELECTRICAL	
		CIVIL	
C-1.11	Site Plan		
C-1.21	Enlarged Site Plan @ Accessible Parking		
		TITLE 24	
		STRUCTURAL	
		METAL BUILDING	
		ARCHITECTURAL	
A-1.01	Floor Plan - Existing Building		
A-1.11	Floor Plan - New Building		
A-2.11	Exterior Elevations - New Building		

CONCEPTUAL



Client Info: **Eckard Commercial Construction, Inc.**
Project Info: **New AG Shop For Pacific AG Rentals**
14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Drawn By: **B. Rasmussen**
Checked By: **S. N. Thomson**

Rev	Description	Date	By
1	Per Owner	3-17-17	BJR
2	Plan Check	5-17-17	BJR

Project: **New AG Shop**

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

Project No: **TAG-09163**

Sheet Contents: **Title Sheet & Project Information**

Sheet No: **T-1.01**

CONSTRUCTION WASTE MANAGEMENT PLAN

Project Name:
Project Manager:
Waste Hauling:

- All Subcontractors Shall Comply With The Project's Construction Waste Management Plan.
- All Subcontractor Foremen Shall Sign The CWM Plan Acknowledgement Sheet.
- Subcontractors Who Fail To Comply With The Waste Management Plan Will Be Subject To Back-Charges Or Withholding Of Payment, As Deemed Appropriate. For Instance, Subcontractors Who Contaminate Debris Boxes That Have Been Designated For A Single Material Type Will Be Subject To Back-Charge Or Withheld Payment, As Deemed Appropriate.

- The Project's Overall Rate Of Waste Diversion Will Be 50%.**
- This Project Shall Generate The Least Amount Of Waste Possible By Planning And Ordering Carefully, Following All Proper Storage And Handling Procedures To Reduce Broken And Damaged Materials And Reusing Materials Whenever Possible.
- The Majority Of The Waste That Is Generated On This Jobsite Will Be Diverted From The Landfill And Recycled For Other Use. CWM Worksheet, Enclosed, Identifies The Waste Materials That Will Be Generated On This Project, The Diversion Strategy For Each Waste Type And The Anticipated Diversion Rate.
- Waste Prevention And Recycling Activities Will Be Discussed At The Beginning Of Weekly Subcontractor Meetings. As Each New Subcontractor Comes On-Site, The WMP Coordinator Will Present Him/Her With A Copy Of The CWM Plan And Provide A Tour Of The Jobsite To Identify Materials To Be Salvaged And The Procedures For Handling Jobsite Debris. Each Subcontractor Foremen Will Acknowledge In Writing That They Have Read And Will Abide By The CWM Plan. Subcontractor Acknowledgement Sheet Enclosed. The CWM Plan Will Be Posted At The Jobsite Trailer.
- Salvage: Excess Materials That Cannot Be Used In The Project, Nor Returned To The Vendor, Will Be Offered To Site Workers, The Owner, Or Donated To Charity If Feasible.
- Will Provide A Commingled Drop Box At The Jobsite For Most Of The Construction Waste. These Commingled Drop Boxes Will Be Taken To -----.
The Average Diversion Rate For Commingled Waste Will Be 50%. As Site Conditions Permit, Additional Drop Boxes Will Be Used For Particular Phases Of Construction (E.G., Concrete And Wood Waste) To Ensure The Highest Waste Diversion Rate Possible.
- In The Event That The Waste Diversion Rate Achievable Via The Strategy Described In (6) Above, Is Projected To Be Lower Than What Is Required, Then A Strategy Of Source-Separated Waste Diversion And/Or Waste Stream Reduction Will Be Implemented. Source Separated Waste Refers To Jobsite Waste That Is Not Commingled But Is Instead An Allocated To A Debris Box Designated For A Single Material Type, Such As Clean Wood Or Metal.

Notes:

- Waste Stream Reduction Refers To Efforts Taken By The Builder To Reduce The Amount Of Waste Generated By The Project To Below Four (4) Pounds Per Square Foot Of Building Area.
- When Using Waste Stream Reduction Measures, The Gross Weight Of The Product Is Subtracted From A Base Weight Of Four (4) Pounds Per Square Foot Of Building Area. This Reduction Is Considered Additional Diversion And Can Be Used In The Waste Reduction Percentage Calculations.

- Will Track And Calculate The Quantity (In Tons) Of All Waste Leaving The Project And Calculate The Waste Diversion Rate For The Project. ----- Will Provide Project Manager With An Updated Monthly Report On Gross Weight Hauled And The Waste Diversion Rate Being Achieved On The Project. ----- Monthly Report Will Track Separately The Gross Weights And Diversion Rates For Commingled Debris And For Each Source-Separated Waste Stream Leaving The Project. In The Event That ----- Does Not Service Any Or All Of The Debris Boxes On The Project, The ----- Will Work With The Responsible Parties To Track The Material Type And Weight (In Tons) In Such Debris Boxes In Order To Determine Waste Diversion Rates For These Materials.
- In The Event That Subcontractors Furnish Their Own Debris Boxes As Part Of Their Scope Of Work, Such Subcontractors Shall Not Be Excluded From Complying With The CWM Plan And Will Provide ----- Weight And Waste Diversion Data For Their Debris Boxes.
- In The Event That Site Use Constraints (Such As Limited Space) Restrict The Number Of Debris Boxes That Can Be Used For Collection Of Designated Waste The Project Superintendent Will, As Deemed Appropriate, Allocate Specific Areas Onsite Where Individual Material Types Are To Be Consolidated. These Collection Points Are Not To Be Contaminated With Non-Designated Waste Types.
- Debris From Jobsite Office And Meeting Rooms Will Be Collected By ----- Will, At A Minimum, Recycle Office Paper, Plastic, Metal And Cardboard.

SPECIAL INSPECTIONS

EVENT	REQUIRED / NOT REQUIRED	TYPE
High Strength Bolts	Required	Periodic
Concrete Designed $f'_c > 2,500$ PSI	Not Required	Periodic
Field Welding - All	Required	Periodic
Suspended Ceiling	Required	Periodic
Architectural Components	Not Required	Periodic
Cladding & Veneer (5# / PSF Or Less)	Not Required	Periodic
Interior Non-Bearing Walls (5# / PSF Or Less)	Not Required	Periodic

DEFERRED SUBMITTALS

None - No Fire Sprinklers Or Fire Alarm Work Required.

WALL & CEILING FINISHES

Must Meet ASTM E-84 Or UL-723 As Minimum.

Class A	=	Flame Spread Index	0-25
		Smoke Developed	0-450
Class B	=	Flame Spread Index	26-75
		Smoke Developed	0-450
Class C	=	Flame Spread Index	76-275
		Smoke Developed	0-450

Non-Sprinklered			
Occupancy	Exit Passageway	Corridors	Rooms
B	A	B	C
F	B	C	C
S	B	B	C

APPLICABLE CODES

2016 California Building Code
 2016 California Mechanical Code
 2016 California Electrical Code
 2016 California Plumbing Code
 2016 California Fire Code
 2016 California Energy Code
 2016 California Green Building Standards Code
 AISC 14th Edition
 ASCE-7 2010

NFPA 22, Standard For Water Tanks For Private Fire Protection
 NFPA 1142, Water Supply For Suburban And Rural Fire Fighting
 California Code of Regulations (CCR) Title 19,
 Public Safety: Division 1. State Fire Marshall

PROJECT DATA

New Building

Use	Type Of Construction	Occupancy	Fire Protection	Actual Area	Allowable Area Table 506.2	Modified Allowable Area Table 506.3	F A R	Occupant Load Factor Table 1004.1.2	Occupant Load	Min. Exists Required	Max. Travel Distance Table 1017.2
AG Shop	II-B	U	NS	4,983 SF	8,500 SF		0.59	300	16.61	2	200 Ft
				4,983 SF			0.59 ≤ 1.00 = OK		16.61		

Existing Building

Use	Type Of Construction	Occupancy	Fire Protection	Actual Area	Allowable Area Table 506.2	Modified Allowable Area Table 506.3	F A R	Occupant Load Factor Table 1004.1.2	Occupant Load	Min. Exists Required	Max. Travel Distance Table 1017.2
(E) AG Shop	II-B	F-2	NS	3,791 SF	23,000 SF		0.16	300	12.64		200 Ft
(E) Office	V-B	F-2	NS	1,209 SF	13,000 SF		0.09	100	12.09		200 Ft
				5,000 SF			0.26 ≤ 1.00 = OK		24.73		

SITE DATA SUMMARY

Site Area Gross:	8.78 ac	382,457 s.f.
Site Area Net:	7.64 ac	332,835 s.f.
Building Area Existing:		5,000 s.f.
Building Area New:		4,983 s.f.
Lot Coverage:		9,983 s.f.
Site Area Net:	9,983 s.f. / 332,835 s.f.	= 0.03%
Paved Area:		17,212 s.f.

PARKING DATA SUMMARY

	Provided	Required
Vehicle Parking Stalls	24	17
Accessible Parking Stalls	2	1
Bicycle	-	-
Total Parking Stalls	26	18

1 Parking Stall Per 600 s.f.
 Fresno County 816.5 Through Fresno County 855-1.2.1 & 855-1.2.m.
 (800 + 400) / 2 = 600

CBC Table 601- Fire-Resistance Rating Requirements For Building Elements

Type II-B Construction:	
Primary Structural Frame	0
Bearing Walls:	
Exterior	0
Interior	0
Nonbearing Walls & Partitions Exterior	0
Nonbearing Walls & Partitions Interior	0
Floor Construction & Secondary Members	0
Roof Construction & Secondary Members	0

CBC Table 602- Exterior Wall Fire Protection

New Building:	
Distance To Property Line	= 134' - 0" ≥ 10' - 0" = 0
Distance To Nearest Building	= 30' - 0" ≥ 10' - 0" = 0

PORTABLE FIRE EXTINGUISHER REQUIREMENTS As Per CBC 906:

CBC 906.1 (1)-(6) Portable Fire Extinguishers Required	
CBC 906.3.1 Moderate Hazard Class A, 2A-10BC, Maximum Travel Distance 75'	
Total Enclosed Area	= 4,983 Sq. Ft. / 3,000 = 2

DOOR HARDWARE As Per CBC 1010.1.9.3 And CBC 1010.1.10:

Required Panic @:	Key Operated Locking Device @
≠ Group H	Main Exit When Group A < 300 Occupants, Groups B,F,M,S:
≠ 50 Occupant > in Group A	1. Locking Device Is Readily Distinguishable As Locked,
≠ Group E	2. Readily Visible Sign Posted On Or Adjacent To Door
≠ Group I-2 Or I-2.1	As Per Detail 14 Sheet A-5.11.
	3. Revocable By The Fire Official For Due Cause,
	2016 CFC, Section 1010.1.9.3

This Project Does Not Meet Criteria, Therefore **NOT REQUIRED.**

DESIGN LOADS:

Dead Load Floor	D _f	2.18 PSF
Collateral Load	C	3.00 PSF
Live Load	L _r	20.00 PSF Reducible
Wind Load	W	110.00 mph
Wind Exposure	Exp	C
Snow Load	S	0.00 PSF
Ground	Pg	0.00 PSF
Roof	Ps	0.00 PSF
Seismic		
Seismic Design Category	SD _c	D
Site Class		D
Seismic Coefficient & Parameters		
	S ₁	0.588
	S ₂	1.630
	S _{ds}	1.000
	S _{a1}	0.588
Importance Factors		
Wind	IW	1.00
Snow	IS	1.00
Seismic	IE	1.00

FIRE WATER SUPPLY REQUIREMENTS - NFPA 1142:

WS _{Min}	= 145,000 / 4 x (0.75)	= 27,187 Gallons
VS _{tot}	= 145,000 cf	
OHC	= 4	
CC	= 0.75	

Min. Flow = 250 gpm / 2 hr. @ 20 psi **Provided: 28,075 > 27,187 = OK**

PLUMBING REQUIREMENTS

41 Occupants / 2 = 20.5 Occupants Each Sex

	Toilet			Urinal	Lavatory			Drink Fountain	Service Sink
	Men	Women	Unisex		Men	Women	Unisex		
Required	1	1	-	-	1	1	-	1	1
Provided	1	1	1	0	1	1	1	1	1

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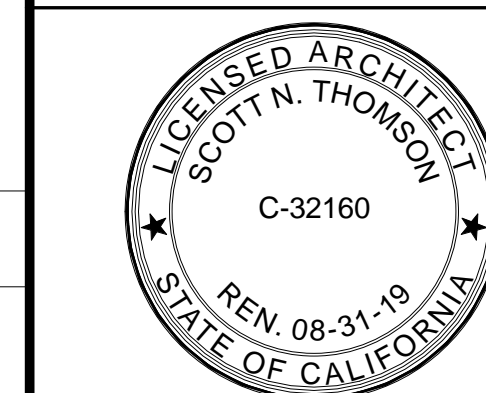
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Client Info:
Eckard Commercial Construction, Inc.

Project Info:

New AG Shop For Pacific AG Rentals
 14093 W. Mt. Whitney Ave.
 Five Points, CA 93624

Drawn By: **B. Rasmussen**

Checked By: **S. N. Thomson**

Rev	Description	Date	By
1	Per Owner	3-17-17	BJR
2	Plan Check	5-17-17	BJR

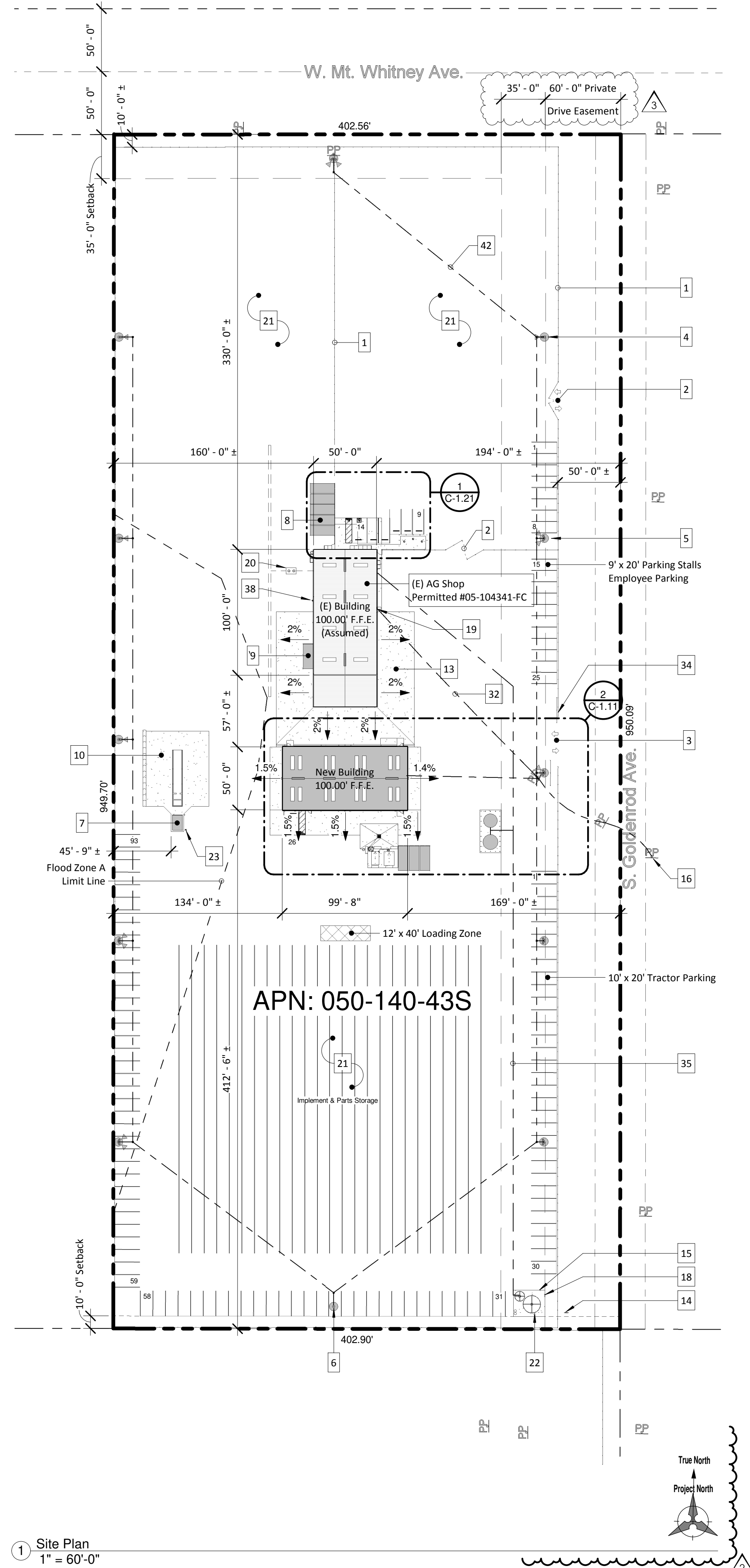
Project:
New AG Shop

Project Date: **11-28-2016**
 Issue Date: **4-03-2018**

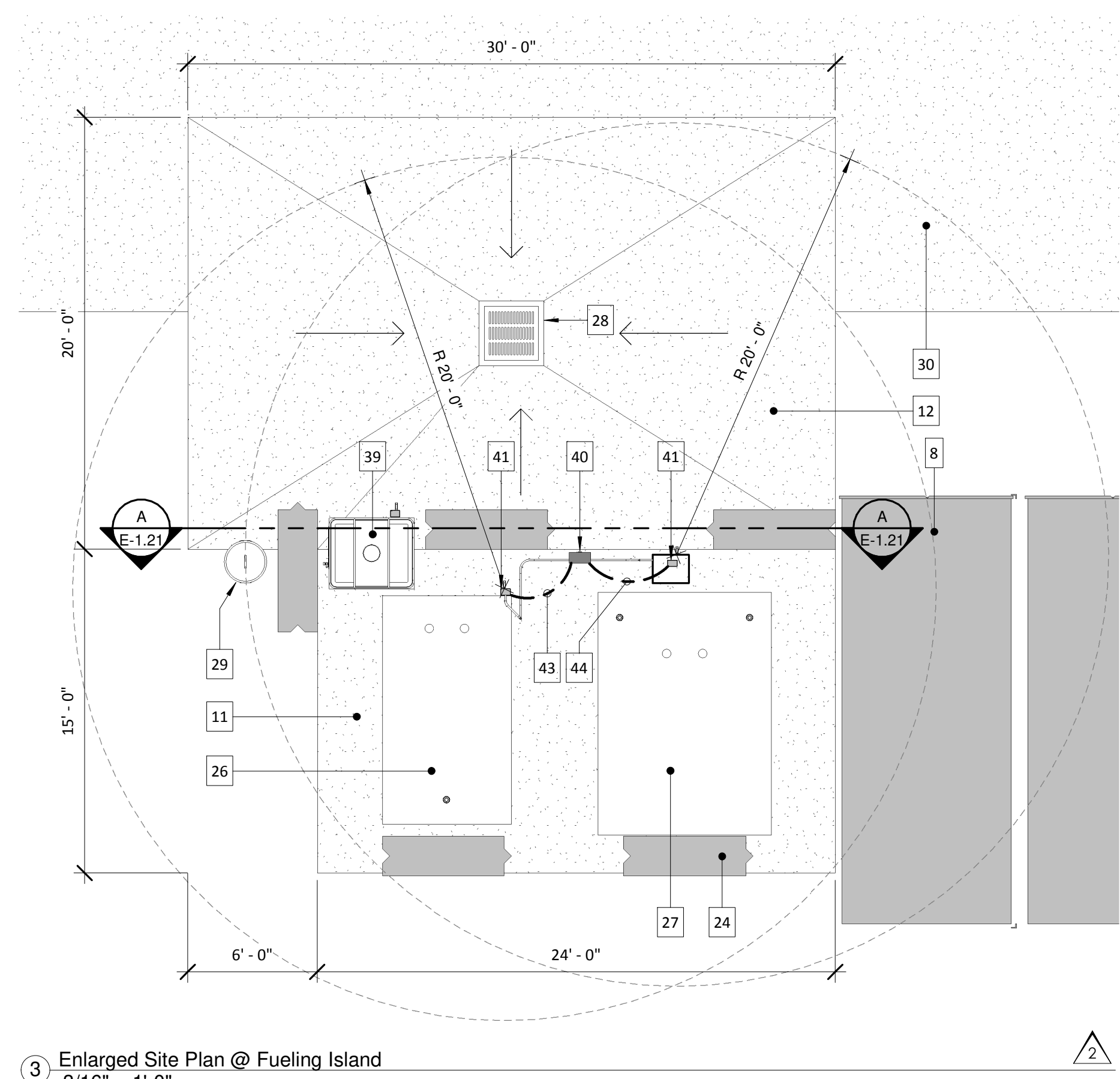
Project No:
TAG-09163

Sheet Contents:
Code Analysis & Project Data

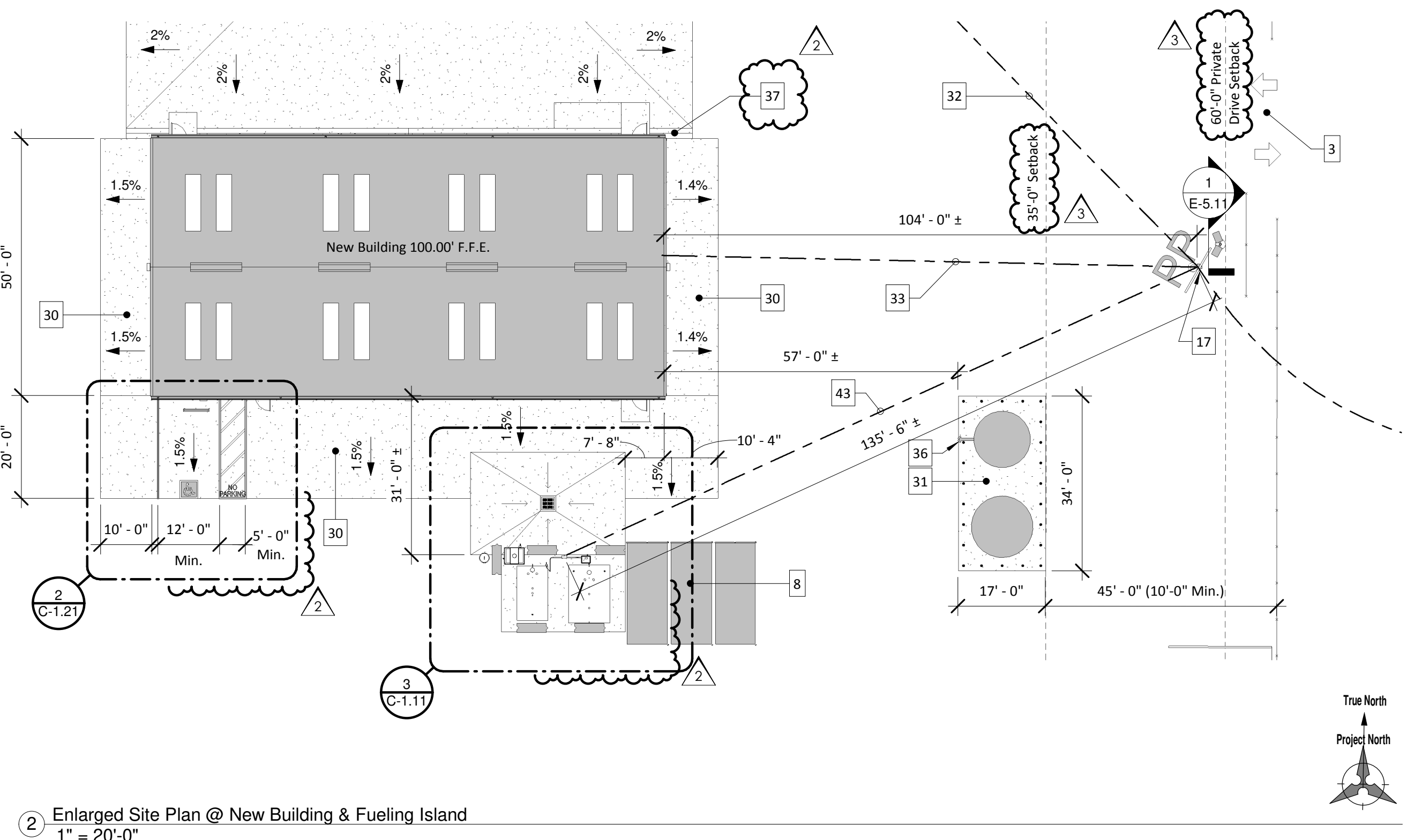
Sheet No:
T-2.01



1 Site Plan
1" = 60'-0"



2 Enlarged Site Plan @ Fueling Island
3/16" = 1'-0"



3 Enlarged Site Plan @ New Building & Fueling Island
1" = 20'-0"

KEYED NOTES

- (E) 6'-0" Chain Link Fence Entire Perimeter, Typical.
- (E) 20'-0" Pair Swing Gate. Site Entrance Vehicle.
- (E) 20'-0" Sliding Gate. Site Entrance Truck.
- Single Head Light Pole, Typical.
- Double Head Light Pole, Typical. See Detail
- Light Pole w/ No Fixture.
- (E) 8' x 12' Portable Storage Container.
- (E) 8' x 20' Portable Storage Container, Typical.
- (E) 8' x 20' Portable Chemical Storage Container.
- (E) Wash Down Slab.
- Concrete Pad - Fuel Island.
- Fuel Dispensing Concrete Pad.
- (E) Drive Slab.
- (E) 2"Ø Water Main w/ Back Flow Preventer.
- (E) Single Slope Roof Only Structure To Be Removed.
- (E) Pole Mounted Transformer.
- (E) 200A, 208Y/120V, 3Ø, 4 Wire Pole Mounted Meter Main.
- (E) MC Panel.
- (E) 200A, 208Y/120V, 3Ø, 4 Wire Wall Mounted Electrical Sub-Panel 'A'.
- (E) 1,500 Gallon Septic Tank & Leach Lines
- (E) Open Storage, Well Compacted All Weather Drive And Equipment Parking.
- (E) Domestic Water Storage Tanks.
- (E) Emergency Eyewash Station.
- Concrete Block, Typical.
- (E) Concrete Block, Typical.
- Fire Guard 1,000 Gallon Farm Diesel Above Ground Vault, Pad Mounted.
- Convault Double Wall 1,000 Gallon Diesel Above Ground Vault, Pad Mounted, UL 2085.
- 3' Square Steel Grate w/ Sump Pit.
- 95 Gallon Spill Response Kit, Enpac Spill Kit.
- New Drive Slab.
- New 28,075 Gallon Fire Water Storage Tanks w/ 4"Ø FDC, See Sheet S-1.51 For Details.
- 2"Ø Underground PVC Conduit w/ (4) 3/0 CU Wires & #4 CU Ground.
- 2"Ø Underground PVC Conduit w/ (3) 4/0 CU Wires & #2 CU Ground.
- New Knox Box.
- 2"Ø Underground Domestic Water Line.
- 4"Ø Draft Fire Department Connection.
- New Concrete Valley Gutter, See Sheet S-1.11 For Details.
- New Drench Shower & Eyewash Station.
- Victory Blue 275 Gallon Tote.
- Card Lock.
- Fill-Rite FR701V Fuel Pump & Nozzle w/ FR800C Mechanical Flow Meter.
- 1"Ø Underground PVC Conduit w/ (4) #6 CU Wire w/ (1) Neutral Wire & (1) CU Ground.
- 2"Ø Underground PVC Conduit w/ (3) #12 CU Wire w/ (1) Neutral Wire & (1) #14 CU Ground.

PLAN NOTES

- Contractor To Verify All Existing Conditions Prior To Commencement Of Any Construction, Notify Architect Immediately Of Any Discrepancies.
- Changes From Approved Plans During Construction Shall Cause Plan Approval And Construction To Be Suspended, A New Plan Check (For A New Plan Showing Changes Shall Be Submitted For Review And Approved Through Normal Plan Check Process).
- Any Utilities Requiring Relocation Shall Be The Responsibility And At The Expense Of The Developer; Contact Traffic Engineer For Information Regarding Reimbursements Relative To Relocating Traffic Signals Facilities; Fire Hydrants Will Be Relocated By Municipal Forces, Developer Is Responsible To Notify Municipal Water Division To Arrange And Coordinate Work.
- Notify The City Electronics And Communications Division, 10-Working Days Prior To Any Off-Site Concrete Construction.
- No Drainage To Adjacent Property Shall Be Allowed.
- Grade Differential Greater Than 12% Shall Be Supported By An Approved Retaining Wall.
- Repair All Damaged And/Or Off-Site Concrete Street Improvements As Determined By The Municipal Engineer. Contact Public Works Department, Construction Management Division For Determination And Clearance.
- Driveway Approach Width Shall Be 12 Feet Minimum, 35 Feet Maximum. Requirements Shall Comply With Public Works Standard Drawings.
- All Existing Survey Monuments Shall Be Preserved. Survey Monuments Which Have Been Disturbed Shall Be Reset By A Person Licensed To The Practice Surveying The State Of California At Owner's Cost And To The Satisfaction Of Public Works, Construction Management's Chief Surveyor.
- Any Utilities Within The Public Right Of Way And Easements (E.G., Fire Hydrants, Local Irrigation District Facilities, Local Metropolitan Flood Control District Facilities, Street Light, Etc.) Requiring Relocation Shall Be The Responsibility And At The Expense Of The Owner, Public Fire Hydrants Shall Be Relocated By The Municipality Forces At The Owners Expense; The Owner Is Responsible To Arrange And Coordinate The Work With The Department Of Public Utilities, Water Division.
- 2-Days Before Commencing Excavation Operations Within Public Streets Or Utility Easements, All Existing Underground Facilities Shall Have Been Located By Underground Service Alert (USA). Phone 811.
- No Portion Of The Driveway Shall Exceed A Grade Of 18%.
- All Work Performed Within The Public Right Of Way Shall Comply With The Adopted Standards And Policies Of The Public Works Department. A Street Work Permit Is Required Prior To Commencement Of Work. For Information Regarding Standards And Street Work Permits, Contact The Public Works Department, Engineer Services Division.
- The Following Requirements Are Based On The Municipality Records And The Information Depicted On The Plans And Documents Provided By The Applicant. Any Requirements Not Imposed, Due To Misrepresentation Or Omission Of The Facts For Which This Is Dependent. Will Be Imposed Whenever Such Conditions Are Disclosed Or Discovered By The Municipal Engineer Any Questions On These Requirements Should Be Directed To The Development Departments, Building And Safety Service Division, Land Division And Engineer Section.
- All Required Work Shall Be Completed And The Work Accepted By The Municipal Engineer Prior To Occupancy.
- Impervious Surfaces (Concrete Or Asphalt) Within 10 Feet Of The Building Foundation Shall Slope A Minimum Of 2% Away From Building. Non-Impervious Surfaces (Earth Or Gravel) Adjacent Grade Shall Have A 5% Slope Away From Building Far A Minimum Of 10 Feet.
- If Any Physical Obstructions Or Lot Lines Prohibit 10 Feet Of Horizontal Distance From The Foundation, Then Swales Or Drains That Run Parallel To The Foundation Shall Be Used To Ensure Drainage Away From The Structure. Should There Be Significant 'Grade' A Certified Grading Plan Will Be Required To Be Submitted By A Registered Civil Engineer.
- All Other Site Grading Outside Of The Building Envelope Is Required To Be A Minimum Or 0.5% Directed Towards The Street.
- These Plans And Related Documents Must Be Available At Job Site During Any Inspection Activity.
- No Vertical Offset Greater Than 1/2" Along Entire Accessible Path Of Travel.

PLAN NOTES

- Contractor To Verify All Existing Conditions Prior To Commencement Of Any Construction, Notify Architect Immediately Of Any Discrepancies.
- Changes From Approved Plans During Construction Shall Cause Plan Approval And Construction To Be Suspended, A New Plan Check (For A New Plan Showing Changes Shall Be Submitted For Review And Approved Through Normal Plan Check Process).

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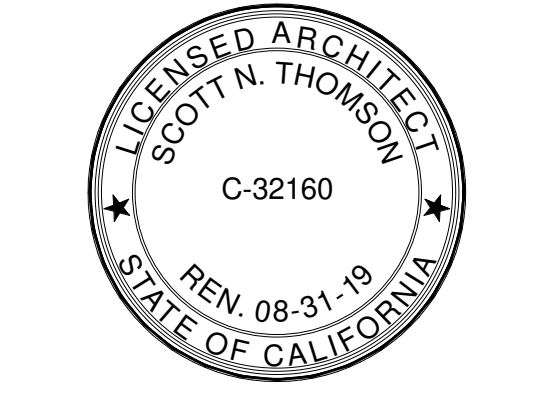
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Drawn By: **B. Rasmussen**

Checked By: **S. N. Thomson**

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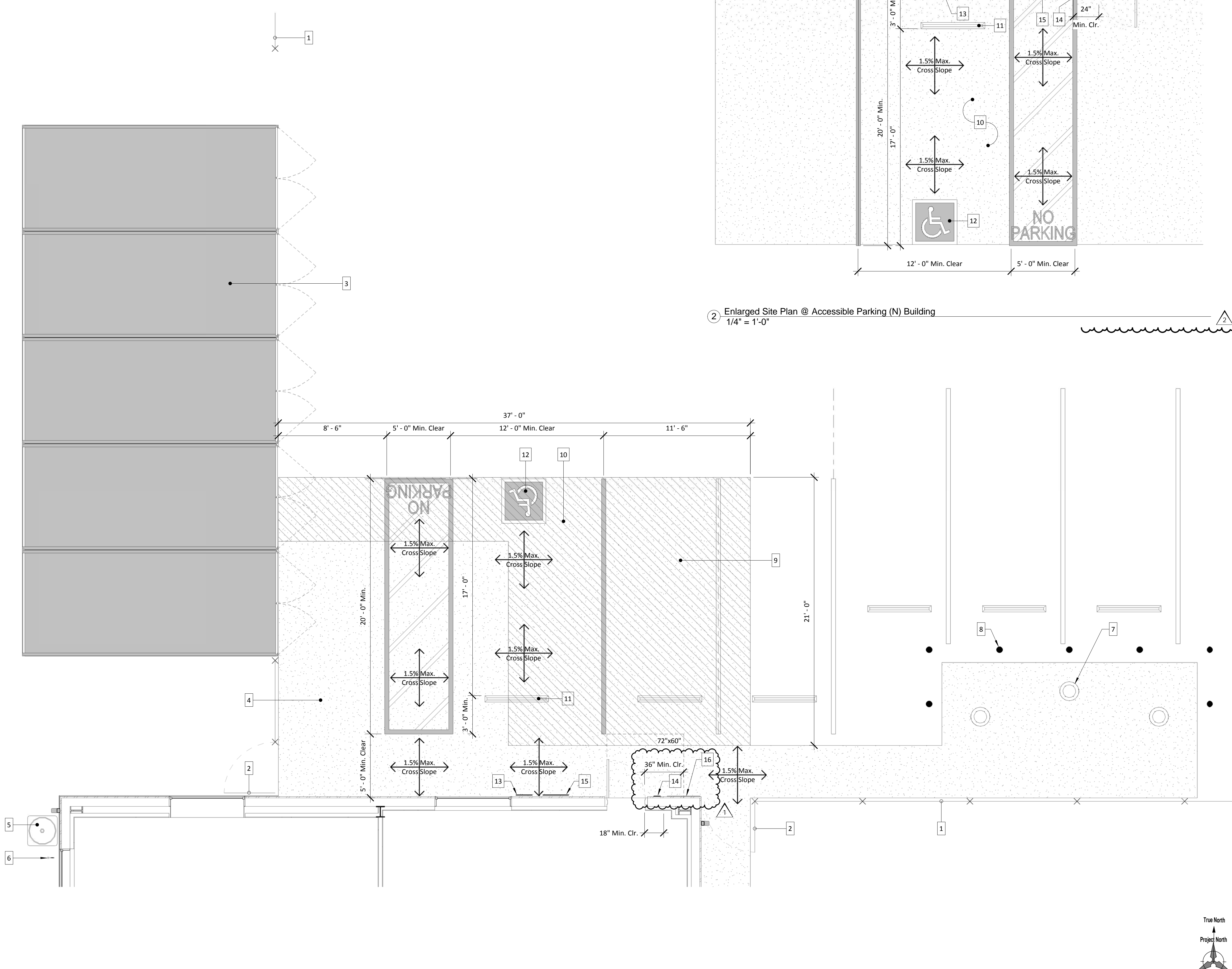
Project: **New AG Shop**

Project Date: **11-28-2016**
Issue Date: **10-16-2018**

Project No: **TAG-09163**

Sheet Contents: **Site Plan**

Sheet No: **C-1.11**



1 Enlarged Site Plan @ Accessible Parking (E) Building
1/4" = 1'-0"

2 Enlarged Site Plan @ Accessible Parking (N) Building
1/4" = 1'-0"



KEYED NOTES

1. (E) Chain Link Fence, Typical.
2. (E) 4'-0" Swing Gate.
3. (E) 8' x 20' Sea Container, Typical.
4. (E) Concrete Drive Slab.
5. (E) AC Condenser.
6. (E) Hose Bibb.
7. (E) Flag Pole, Typical Of 3.
8. (E) 4"Ø Galvanized Pipe Bollards, Typical Of 7.
9. New Concrete Drive Slab.
10. New Accessible Parking Stall, See 7/C-5.11 For Details.
11. New Concrete Wheel Stop, See 8/C-5.11 For Details.
12. New International Symbol Of Accessibility, Parking Identification. See 5/C-5.11 For Details.
13. New Van Accessible Parking Stall, See 2/C-5.11 For Details.
14. New International Symbol Of Accessibility, Building Accessibility Sign. See 4/C-5.11 For Details.
15. New Accessible Sign, Unauthorized Parking Sign. See 1/C-5.11 For Details.
16. New Electrically Illuminated Address Sign. 1/2" Stroke x 8" Minimum Height Arabic Numerals On Contrasting Background.

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Client Info:
Eckard Commercial Construction, Inc.

Project Info:
New AG Shop For Pacific AG Rentals
14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Drawn By: **B. Rasmussen**
Checked By: **S. N. Thomson**

Rev	Description	Date	By
1	Per Owner	3-17-17	BJR
2	Plan Check	5-17-17	BJR

Project:
New AG Shop

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

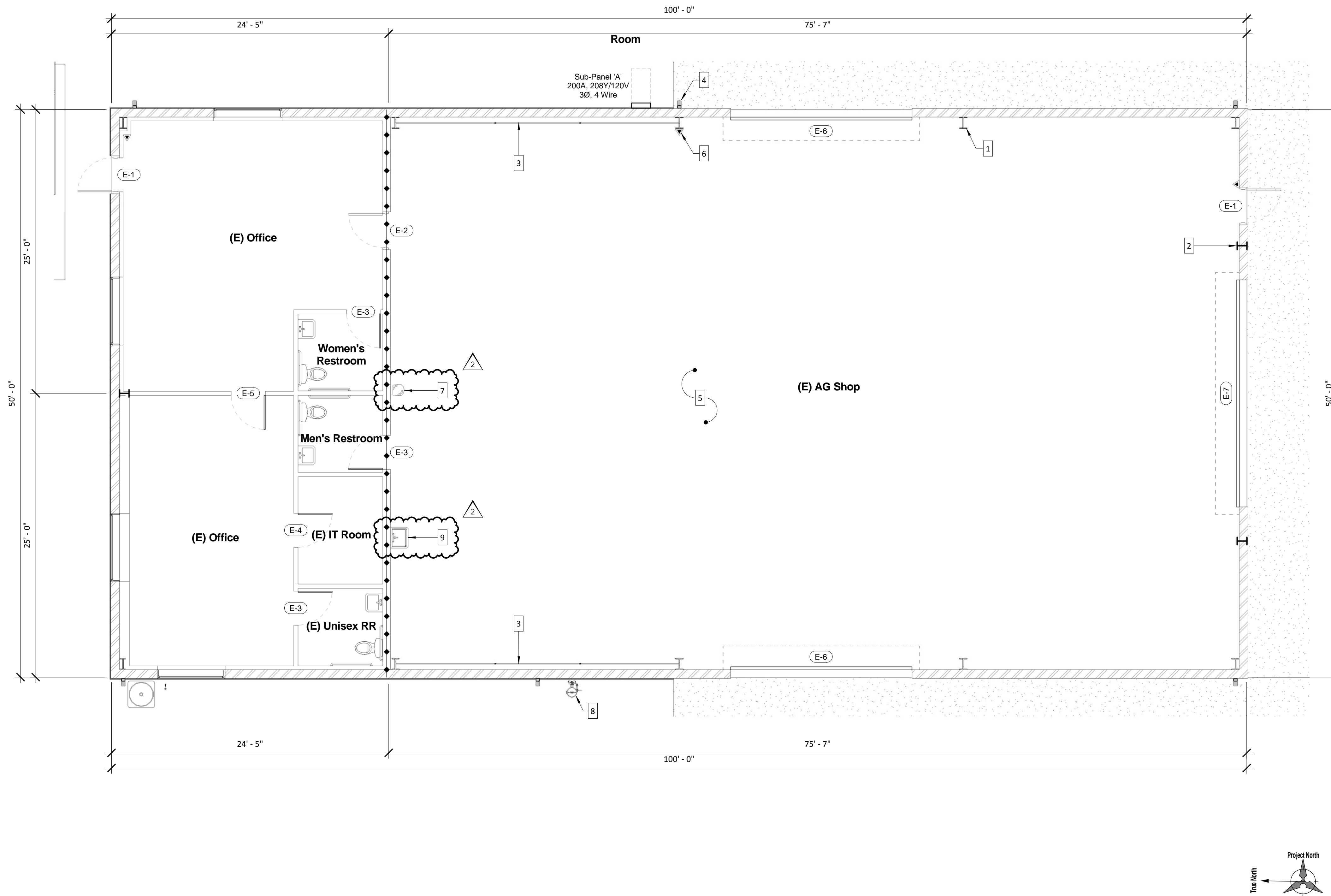
Project No:
TAG-09163

Sheet Contents:
Enlarged Site Plan @ Accessible Parking

Sheet No:
C-1.21

PLAN NOTES

- Contractor To Verify All Existing Conditions Prior To Commencement Of Any Construction, Notify Architect Immediately Of Any Discrepancies.
- Changes From Approved Plans During Construction Shall Cause Plan Approval And Construction To Be Suspended, A New Plan Check (For A New Plan Showing Changes Shall Be Submitted For Review And Approved Through Normal Plan Check Process).






1 1st Story-(E) Floor Plan
3/16" = 1'-0"

KEYED NOTES

1. (E) Rigid Frame, Typical.
2. (E) End Wall Column, Typical.
3. (E) X-Bracing.
4. (E) Downspouts, Typical.
5. (E) Concrete Slab.
6. (E) Fire Extinguisher, Typical.
7. (E) Water Cooler/Bottle Filling Station.
8. New Drench Shower & Eyewash Station.
9. New Service Sink.

LEGEND

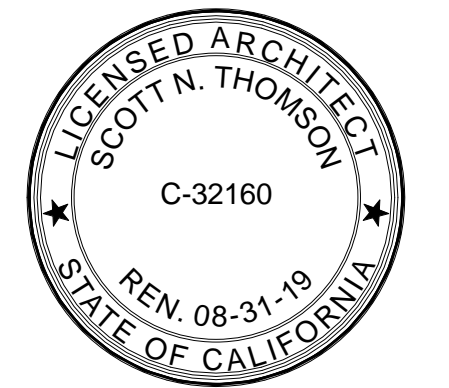
-  (E) 8" Girt MB. Wall
-  (E) 2x4 Wd. Studs @ 24" o.c. w/ 1/2" Gyp. Bd. Each Side
-  (E) 2x6 Wd. Studs @ 16" o.c. Below Ceiling & 2x6 Wd. Studs @ 24" o.c. Above w/ (1) 5/8" Typ. 'X' Gyp. Bd. Each Side

PLAN NOTES

- Contractor To Verify All Existing Conditions Prior To Commencement Of Any Construction, Notify Architect Immediately Of Any Discrepancies.
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Rev	Description	Date	By
2	Plan Check	5-17-17	BJR

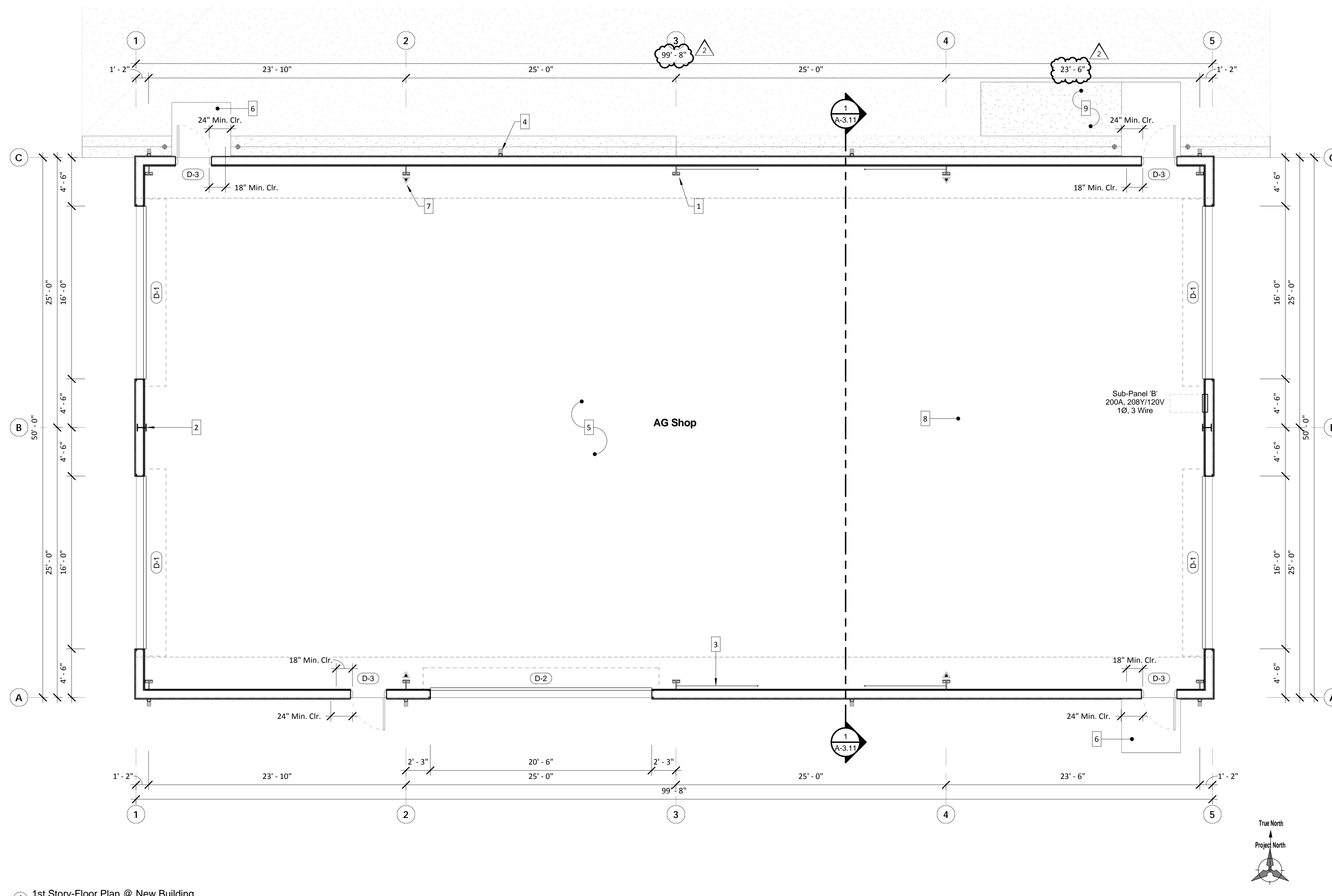
Project:
New AG Shop

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

Project No:
TAG-09163

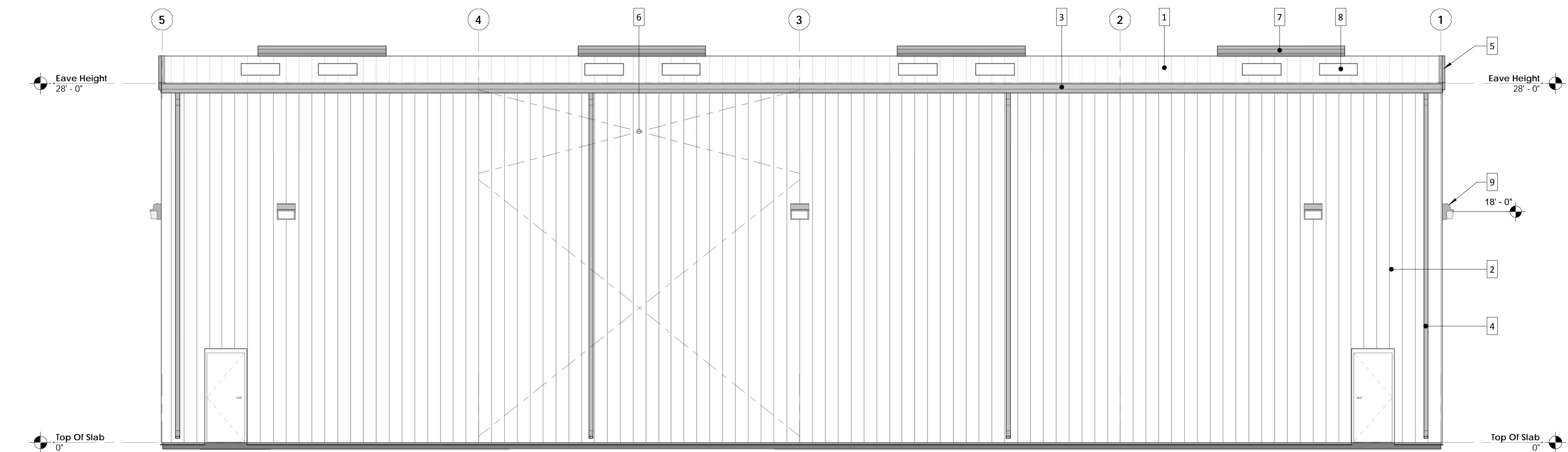
Sheet Contents:
1st Story-Floor Plan Existing Building

Sheet No:
A-1.01

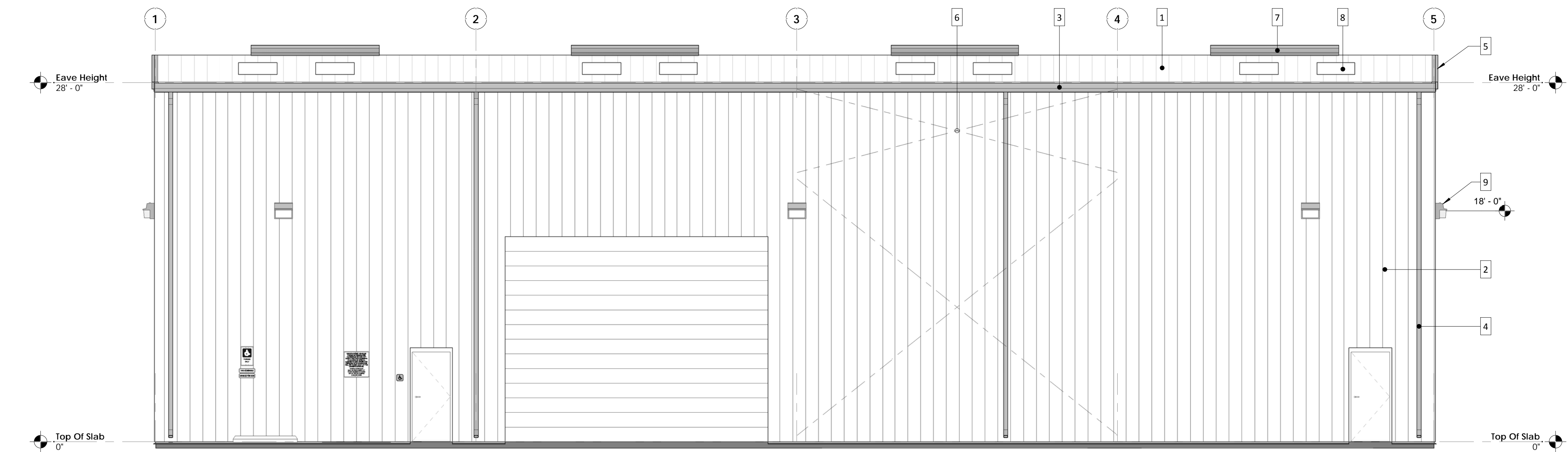


1 1st Story-Floor Plan @ New Building
3/16" = 1'-0"

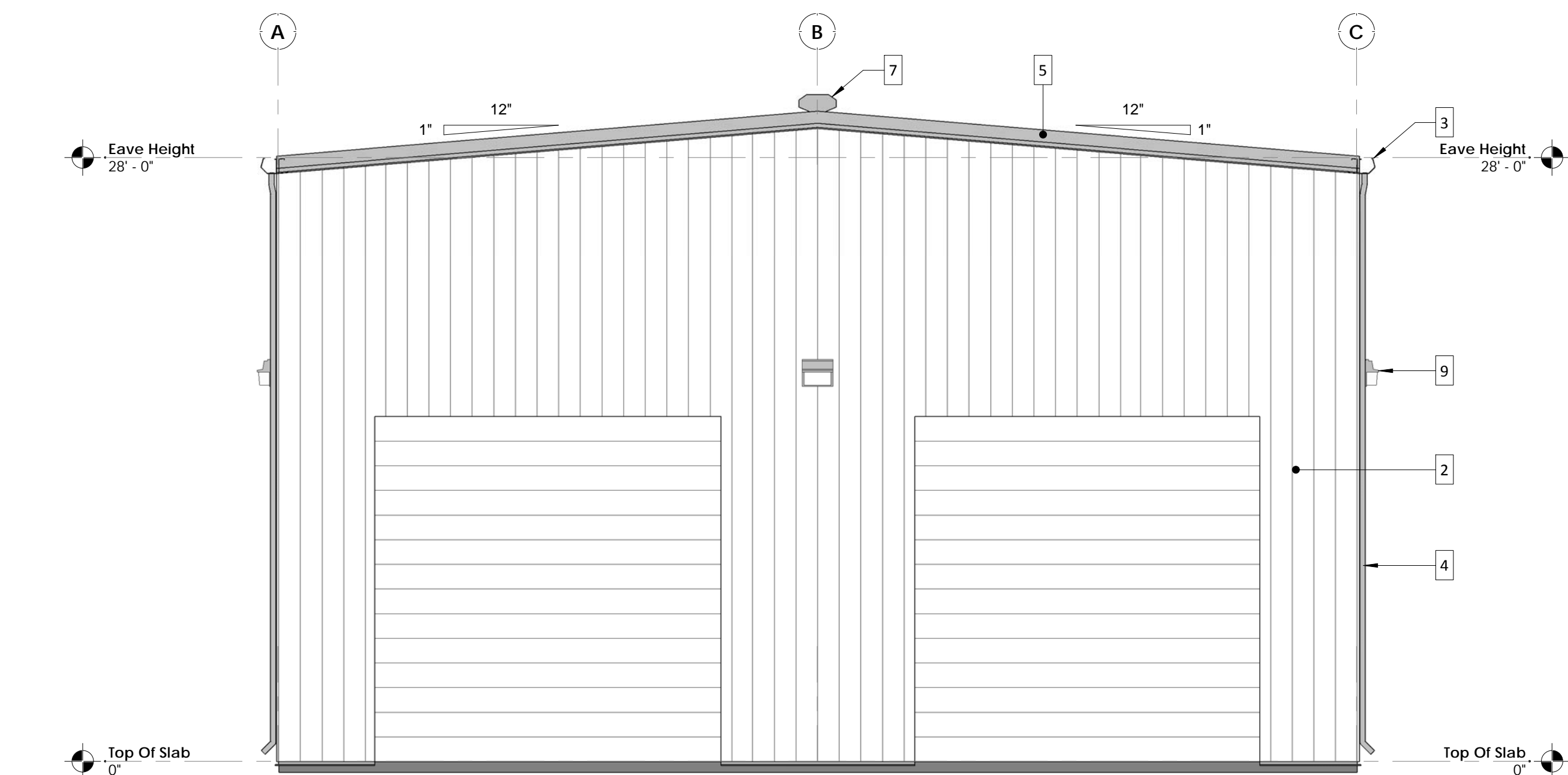
<p>KEYED NOTES</p> <ol style="list-style-type: none"> 1. Rigid Frame As Per MB. MFR., Typical. 2. End Wall Column As Per MB. MFR., Typical. 3. X-Bracing As Per MB. MFR., Typical. 4. DownSpouts As Per MB. MFR., Typical. 5. Concrete Slab, See Foundation Plan For Details. 6. 5'-0" x 5'-6" Concrete Stoop. 7. Fire Extinguisher, Typical. See Life Safety Plan For Details. 8. 3 Ton Overhead Gantry Crane, As Per MB. MFR., Typical. 9. Concrete Walk, See Foundation Plan For Details. 	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> 1. This Building Is In A Flood Prone Area The Finish Floor Shall Be 3" Above Highest Adjacent Grade Or Structure Must Be Flood Proofed. 	<p>THOMSON architectural group</p> <p>240 W. Robertson Blvd. Chowchilla, CA 93610 (559) 665-4900 Phone / (559) 665-0879 Fax www.thomsonarchitecture.com</p> <p><small>THOMSON ARCHITECTURAL GROUP ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE CONSTRUCTION OF SUPERVISION OF THE WORK DESCRIBED WITHIN THESE DRAWINGS AND/OR SPECIFICATIONS. ANY OMISSIONS OR DISCREPANCIES IN, OR REVISIONS TO, THE DRAWING AND/OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THOMSON ARCHITECTURAL GROUP FOR REVIEW AND RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. THE IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED BY THESE DRAWINGS AND SPECIFICATIONS ARE, AND SHALL REMAIN, THE PROPERTY OF THOMSON ARCHITECTURAL GROUP. NO PART SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE WORK SPECIFIED HEREIN WITHOUT THE EXPRESS WRITTEN CONSENT OF THOMSON ARCHITECTURAL GROUP, INC. © COPYRIGHTED 2009-2018. ALL RIGHTS RESERVED</small></p> <div style="text-align: center;"> </div>																								
<p>LEGEND</p> <p> New 8" Girt MB. Wall w/ 26 Ga. 'PBR' Metal Wall Sheeting Exterior w/ 26 Ga. Liner Panel 8'-0" A.F. Interior</p>		<p>PLAN NOTES</p> <ul style="list-style-type: none"> • Contractor To Verify All Existing Conditions Prior To Commencement Of Any Construction, Notify Architect Immediately Of Any Discrepancies. • Changes From Approved Plans During Construction Shall Cause Plan Approval And Construction To Be Suspended, A New Plan Check (For A New Plan Showing Changes Shall Be Submitted For Review And Approved Through Normal Plan Check Process). <p>A. Job Card Is Required To Be Posted In A Conspicuous Place On The Premises, Clearly Visible From The Street And Readily Available For Required Entries Prior To Building Department Inspections.</p> <p>B. Post A Readily Visible, Durable Sign On Or Adjacent To The Exit Door Stating "This Door To Remain Unlocked When Building Is Occupied." The Sign Shall Be In Letters Not Less Than 1" High On A Contrasting Background.</p> <p>C. Manufactured Doors And Windows Must Have AAMA Or NWMA Labels. Site Constructed Doors And Windows Must Be Caulked, Weatherstripped Or Sealed To Eliminate All Observable Air Leakage.</p> <p>D. All Building Insulation Shall Have A Maximum Flame Spread Of 25 And A Smoke Density Of Not More Than 450 And Shall Be Certified By The Manufacturer To Meet The California Quality Standards For Insulating Materials.</p>																								
<p>Client Info: Eckard Commercial Construction, Inc.</p> <p>Project Info: New AG Shop For Pacific AG Rentals 14093 W. Mt. Whitney Ave. Five Points, CA 93624</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">Drawn By:</td> <td>B. Rasmussen</td> </tr> <tr> <td>Checked By:</td> <td>S. N. Thomson</td> </tr> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>Plan Check</td> <td>5-17-17</td> <td>BJR</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>Project: New AG Shop</p> <p>Project Date: 11-28-2016 Issue Date: 4-03-2018</p> <p>Project No: TAG-09163</p> <p>Sheet Contents: 1st Story-Floor Plan New Building</p> <p>Sheet No: A-1.11</p>	Drawn By:	B. Rasmussen	Checked By:	S. N. Thomson	Rev	Description	Date	By	2	Plan Check	5-17-17	BJR												
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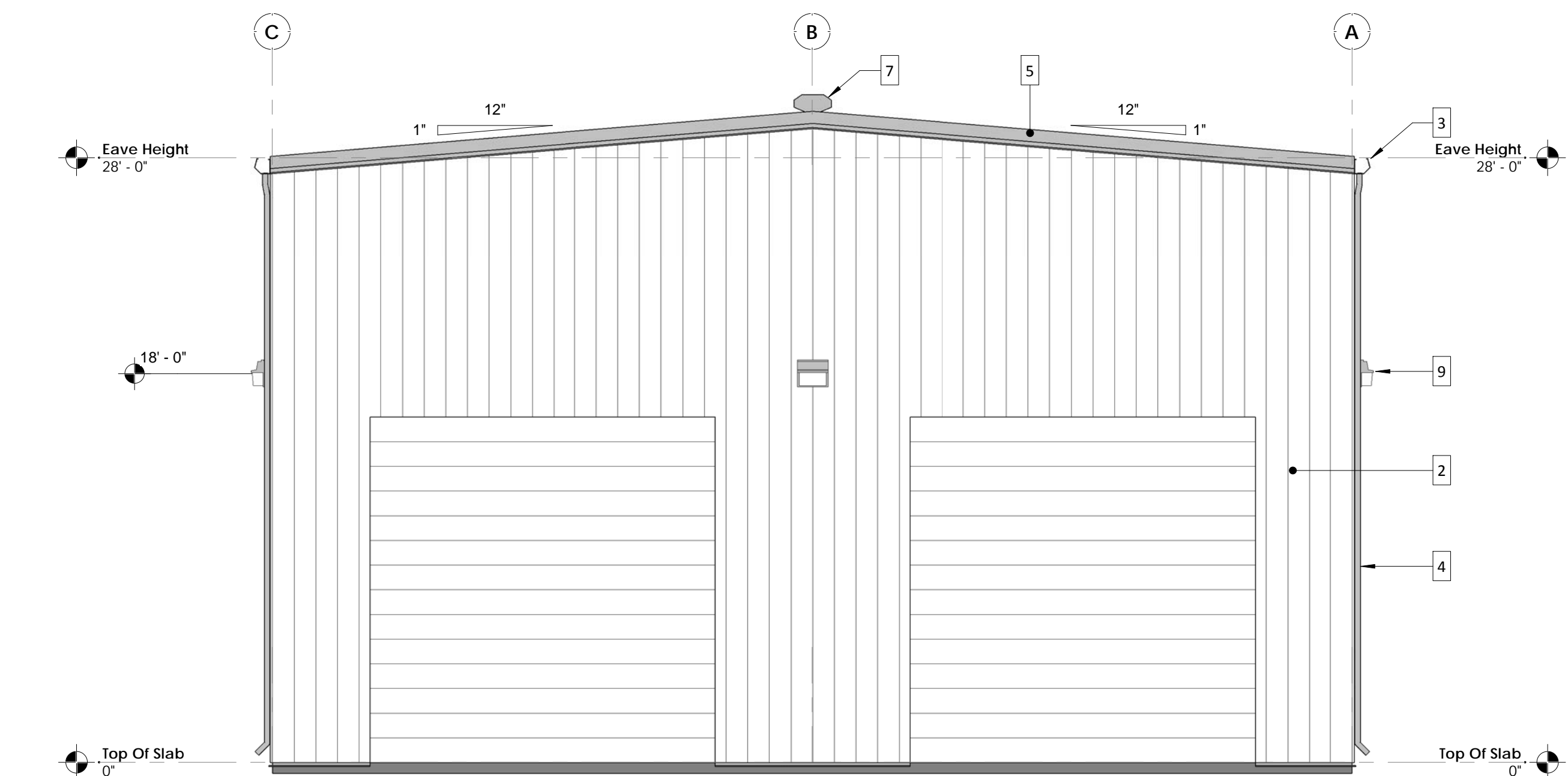
① North Elevation View @ New Building
3/16" = 1'-0"



② South Elevation View @ New Building
3/16" = 1'-0"



③ East Elevation View @ New Building
3/16" = 1'-0"



④ West Elevation View @ New Building
3/16" = 1'-0"

KEYED NOTES

1. 26 Ga. 'PBR' Panel Metal Roof Sheeting, Color By Owner.
2. 26 Ga. 'PBR' Panel Metal Wall Sheeting, Color By Owner.
3. Gutters As Per MB. MFR.
4. Downspouts As Per MB. MFR.
5. Rake Trim As Per MB. MFR.
6. X-Bracing As Per MB. MFR.
7. Ridge Vents As Per MB. MFR.
8. Light Transparent Panels As Per MB. MFR.
9. Exterior Wall Mounted Lighting, Typical See Electrical Plans.

PLAN NOTES

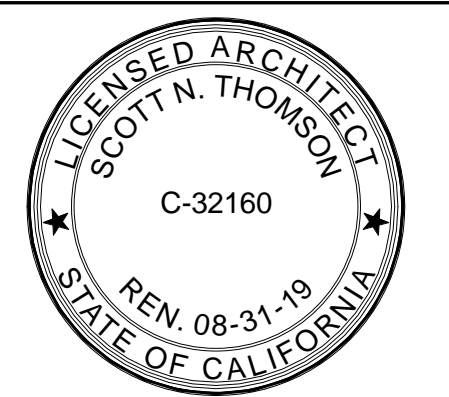
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Rev	Description	Date	By

Project:
New AG Shop

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

Project No: **TAG-09163**

Sheet Contents:
**Exterior Elevations
New Building**

Sheet No: **A-2.11**

Operational Statement

Pacific Agriculture Rentals

14093 West Mt Whitney Ave
Five Points, California

- (1) Pacific Agriculture Rentals (PAR) is a farm equipment sales, rental, leasing and maintenance organization.
- (2) Operations Schedule is Monday – Friday from 8am to 5pm
 - After hours technician available on Saturdays by appointment.
 - PAR is closed in observance of the following holidays:
 - New Year’s Day Presidents Day
 - Memorial Day Fourth of July
 - Labor Day Thanksgiving
 - Christmas Special Holidays as noted by Management
- (3) Average Customer flow is: 1-2 per month. This is a rental and maintenance shop most transactions are completed via phone.
- (4) PAR has an average 15 shop employees that work Monday – Friday 8-5 excluding holidays.
 - There are no residential facilities on the site.
- (5) Daily Vehicle Activity for PAR:
 - There are (4) sales trucks that make 1 trip daily during business hours
 - There are (4) service trucks that make 2 to 3 trips per day during business hours
 - There are (2) delivery trucks per day making trips on a on call/delivery basis, generally 3 trips per day during business hours.
- (6) PAR’s address is West Mt. Whitney however the site access for customers and employees is on Goldenrod. This is a base rocked road.
- (7) There is a designated parking area along Goldenrod for customers and employees. HC parking is designated in this location.
- (8) PAR does not sell any goods at this facility. They are a rental, maintenance, and repair shop.
- (9) There is a fleet of equipment that is stored on site for rentals. Equipment that is used on the site a water truck for dust control and a forklift to move materials and aide in repair work.
 - PAR Fleet consists of Tractors for various trades; harvesting, cultivating, vineyards, orchards, pipe trailer tractors. Also forklifts, mowing equipment, and spraying rigs.
- **There is currently the ability to store 3,000 gallons of fuel onsite for the fueling of rental equipment. The site has (1) 1,000 gallon tank and (1) 2,000 gallon tank, both are double walled and metered. This fuel is not for resale. During peak season the fuel tanks will be refilled twice a week.**
- (10) PAR stocks filters, tires, small parts and fluids for the equipment that they maintain, repair and rent. All materials are stored in designated locations with used fluids and filters being stored

in marked disposal containers that are removed from the site monthly by an environmental group that properly disposes of these materials.

- (11) The site is a maintenance, repair and rental company, there is a water truck on site that is used daily for dust control, the noise generated from the shop is minimal from the power tools being used.
- (12) The amount of waste generated daily is based on equipment rental usage, maintenance and repair. 1 drum of used oils and fluid may be generated once every two weeks. On average 4 filters a day are replaced, and the used ones are placed in the filter disposal area for environmental to remove the site.
- (13) This location uses average of 2000 to 3500 gallons of water a day. The water is purchased from Westlands Water District.
- (14) The business name is displayed on the W. Mt. Whitney side of the existing shop building using 15% of the side of the building. There is also a flag pole with the American Flag and a PAR flag.
- (15-17) There is an existing 5,000 SF pre-engineered metal building that is being used for office space and the repair/maintenance shop. Permit #05-104341-FC. The existing building has a 1,209 SF office space inside with 3,791 SF of open repair shop. There are wall packs on the existing building and light poles around the perimeter for lighting of the site.
- (18) There is an existing chain link fence with barrier wire around the perimeter of the site. With minimal gates for accessibility. There is no vegetation on site, only base rock for soils stabilization.
- See separate letter dated March 22, 2018 in regards to the organization and assembly of the Operations Board for Pacific Agriculture Rentals.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Pacific Agriculture Rentals
- APPLICATION NOS.: Initial Study Application No. 7458 and Classified Conditional Use Permit Application No. 3613
- DESCRIPTION: The Department of Public Works and Planning, Development Services Division, is reviewing the subject applications proposing to allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.
- LOCATION: The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).

I. AESTHETICS

- A. Would the project have a substantial adverse effect on a scenic vista?

FINDING: NO IMPACT:

The proposed project will not include the removal of any trees, and it is not located near any scenic vistas, rock outcroppings, scenic highways, or properties designated as historic. The property fronts on Mt. Whitney Avenue, which is not classified as a scenic roadway by the Fresno County General Plan Background Report (FCGPBR, Figure OS-2).

- B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway; or
- C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings; or

- D. Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Eight exterior lights are proposed on the outside of the proposed structure. Extensive lighting is not characteristic of an agricultural area such as this, and the nearest residential structure is approximately 700 feet west of this structure. The following mitigation will ensure that these lights are not disruptive to the community and that the proposed project is compatible with the area.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine upward or toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

- A. Would the project convert prime or unique farmlands or farmland of state-wide importance to non-agricultural use?

FINDING: NO IMPACT:

The subject parcel is classified as Semi-agricultural and Rural Commercial Land (California Department of Conservation, 2014). This proposed project will not affect this classification.

- B. Would the project conflict with existing agricultural zoning or Williamson Act Contracts?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District, and is not subject to a Williamson Act Contract. The Fresno County General Plan (Policy LU-A.3) states that agriculturally-related activities may be allowed by a discretionary permit in agricultural areas. The proposed operation would provide agricultural machinery-related services to an agricultural area, and with the approval of Conditional Use Permit Application No. 3613 this project would not conflict with the existing zoning.

- C. Would the project conflict with existing zoning for or cause rezoning of forest land, timberland, or timberland zoned Timberland Production; or
- D. Would the project result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

This project is not in an area of forest land or Timberland Production.

- E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural uses or conversion of forest land to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed agricultural equipment operation will support the needs of farmers in the surrounding area. It will not trigger population growth, nor will it lead to other farmland being converted to non-agricultural uses.

III. AIR QUALITY

- A. Would the project conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Would the project violate any air quality standard or contribute to an existing or projected air quality violation; or
- C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- D. Would the project expose sensitive receptors to substantial pollutant concentrations; or
- E. Would the project create objectionable odors affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The County of Fresno is a non-attainment area for PM-2.5 and Ozone. Construction activities could increased particulate matter in the area and the operation of vehicles for sales and deliveries will occur throughout the operation of the proposed use. The operation could also produce objectionable odors related to the servicing and operation of farm equipment. However, the nearest residence is approximately 660 feet from the proposed operation, and the area is dominated by agricultural activities that require the same types of equipment for day-to-day operation. Additionally, facility construction will occur for only a very short time, and the proposed number of traffic trips per day is not considered significant.

The San Joaquin Valley Air Pollution Control District reviewed the subject application, and determined that it would not exceed the thresholds of significant emissions per year. The project may be subject to Regulation VIII (Fugitive PM10 Prohibitions), Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt Paving and Maintenance Operations) or other Air District Rules and Regulations, and it will be required that the applicant complete an Air Impact Assessment application before any construction commences.

With adherence to these established rules and procedures, it can be determined that the project will have a less than significant impact.

IV. BIOLOGICAL RESOURCES

- A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special-status species; or
- B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS); or
- C. Would the project have a substantial adverse effect on federally-protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption or other means; or
- D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or
- E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) tool indicates that the Fresno Kangaroo Rat, San Joaquin Kit Fox, blunt-nosed leopard lizard, giant garter snake, California Red-legged Frog, Delta Smelt, vernal pool fairy shrimp, and long-billed curlew could be present in the project vicinity. However, predicted ranges of these species provided by the California Department of Fish and Wildlife (CDFW) in the California Natural Diversity Database (CNDDDB) indicate that none of these species are predicted to be present on the subject parcel. Predicted ranges are not available for vernal pool fairy shrimp (VPFS), Delta Smelt, or long-billed curlew. However, VPFS and Delta Smelt require seasonally or perennially flooded wetland habitats, and long-billed curlew do not breed in this area (IPaC). The nearest wetland habitat is over 1.2 miles east of the proposed project (USFWS, Wetland Mapper) so no VPFS and Delta Smelt will not be impacted. No trees will be removed, and construction will disturb a relatively small area for a short period of time, so the migration of the long-billed curlew also will not be impacted. This species is not known to breed in this region.

Alternatively, CNDDDB does indicate that there is a high likelihood of Swainson's hawks (SWHA) living or foraging on the subject parcel or the surrounding parcels, and SWHA

is a protected species in California. Since no trees will be removed as a part of this project, no SWHA nesting habitat will be lost. The portion of the parcel where construction is proposed is currently barren soil, and would not provide the prime foraging habitat that actively cultivated fields would to the SWHA. The nearest trees to the proposed construction are over 300 feet to the south; they appear to have been planted as a decorative visual barrier, and do not seem to be a part of the natural habitat. Heavy agricultural machinery is already stored and used on site, so the proposed construction and subsequent operation will not be substantially more disruptive to any potentially present Swainson's hawks than the existing operation is. However, to ensure that SWHA are not impacted by the proposed project the following mitigation measures will ensure that appropriate surveys are conducted if construction occurs during the SWHA breeding season.

* **Mitigation Measure(s)**

1. *A qualified biologist shall conduct a survey for nesting raptors prior to the onset of construction activities, following the survey methodology developed by the SWHA Technical Advisory Committee (SWHA TAC 2000). If ground-disturbing activities take place between February 1 and September 15, a pre-construction survey for active nests must be conducted by a qualified biologist no more than 10 days prior to the onset of these ground-disturbing activities.*
2. *If an active SWHA nest is found, no construction may take place within a one half-mile of the nest until the end of breeding season (September 15) or until a qualified biologist has determined that the young have fledged and are no longer reliant upon the nest or parental care for survival. If this is not feasible, the applicant shall consult with the California Department of Fish and Wildlife (CDFW) to determine if the project can avoid take. If SWHA cannot be avoided, acquisition of an Incidental Take Permit (ITP) could be warranted.*

V. CULTURAL RESOURCES

- A. Would the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5; or
- B. Would the project cause a substantial adverse change in the significance of an archeological resource pursuant to Section 15064.5; or
- C. Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature; or
- D. Would the project disturb any human remains, including those interred outside of formal cemeteries; or
- E. Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Some ground disturbance will occur during the construction of a new 4,983 square-foot metal structure. The Southern San Joaquin Valley Information Center determined that no archaeological surveys would be necessary prior to construction of the proposed project. Additionally, all interested tribes were notified of the project, and none expressed any concerns about cultural resources being disturbed by the proposed operation or ground disturbance. Mitigation will be applied to ensure that in the unlikely event cultural resources are encountered, construction will be halted and the proper authorities will be notified.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. GEOLOGY AND SOILS

- A. Would the project expose people or structures to potential substantial adverse effects, including risk of loss, injury or death involving:
 1. Rupture of a known earthquake; or
 2. Strong seismic ground shaking; or
 3. Seismic-related ground failure, including liquefaction?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the Fresno County General Plan Background Report (FCGPBR) Figure 9-5, the project area's probability of experiencing a seismic hazard in 50 years is 20-40%. The proposed structure will be engineered to withstand the anticipated seismic hazard. This project will not result in substantial risk of loss, injury, or death.

4. Landslides?

FINDING: NO IMPACT:

The proposed project is not located in an area of steep slopes (FCGPBR Figure 7-2). The topography of the area is quite flat, and the proposed project will not change that or increase the risk of loss, injury, or death due to landslides.

B. Would the project result in substantial erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Construction of the 4,983 square-foot structure will require the disturbance of existing topsoil in an un-vegetated area. The subject parcel is flat, and the project will not substantially increase erosion or loss of topsoil. Any grading required for the proposed project will require permits from the County.

C. Would the project result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

FINDING: NO IMPACT:

The proposed project does not include any activities that will increase the possibility of on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse.

D. Would the project be located on expansive soils, creating substantial risks to life or property?

FINDING: NO IMPACT:

According to the Fresno County General Plan (Figure 7-1), expansive soils are not a concern in or around the project area.

E. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative disposal systems where sewers are not available for wastewater disposal?

FINDING: NO IMPACT:

No additional disposal systems are proposed. There is one existing 1,500-gallon septic tank, and it is expected that the 8.78-acre parcel could accommodate a second septic system if necessary.

VII. GREENHOUSE GAS EMISSIONS

A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

B. Would the project conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The operation of vehicles during construction and for sales and delivery purposes will produce greenhouse gas emissions. Construction impacts will be short term and will

only result from grading and the construction of a metal structure. These greenhouse gas emissions are not expected to meet the significance threshold of two tons per year, and therefore will not have a significant impact.

VIII. HAZARDS AND HAZARDOUS MATERIALS

- A. Would the project create a significant public hazard through routine transport, use or disposal of hazardous materials; or
- B. Would the project create a significant public hazard involving accidental release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

There will be one 1,000 gallon above-ground fuel tank and one 2,000 gallon above-ground fuel tank on site for the fueling of vehicles. These tanks will be refilled up to two times each week. The applicant estimates that one drum of used oils and fluids may be generated by the operation every 1-2 weeks, and that approximately four used filters will have to be disposed of each week; these materials will be collected and transported in accordance with relevant federal, state and local policies.

Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. Additionally, a spill prevention control and countermeasure plan (SPCC) must be approved by the County of Fresno's Environmental Health Division prior to these tanks being filled with hazardous materials. No additional mitigation is necessary because the project is required by law to conform to these standards.

- C. Would the project create hazardous emissions or utilize hazardous materials, substances or waste within one quarter-mile of a school?

FINDING: NO IMPACT:

The nearest school is Westside Elementary, and it is located approximately 2.7 miles east of the project site.

- D. Would the project be located on a hazardous materials site?

FINDING: NO IMPACT:

The project site is not located on or within 0.5 mile of a known hazardous waste facility (NEPAssist).

- E. Would a project located within an airport land use plan or, absent such a plan, within two miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area; or
- F. Would a project located within the vicinity of a private airstrip result in a safety hazard for people residing or working in the project area?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The nearest airstrip is approximately 6 miles southeast of the proposed project, and belongs to the Lemoore Naval Air Station. This project is in the planning area of the Naval Air Station (NAS), but no concerns have been expressed regarding the compatibility of the proposed use by the NAS. The height of the proposed building is allowed in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District, so this use should not conflict with the existing air station's use in a manner that would result in a safety hazard for people residing or working in the project area.

- G. Would the project impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Sheriff-Coroner's Department and the Fresno County Fire Protection District have not expressed any concerns regarding this project's potential to interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan. The proposed improvements will be located in the middle of an 8.78-acre parcel and will not impact these plans.

- H. Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project is in a non-wildland/non-urban fire hazard area, and the proposed improvements will be built to current fire code. With the applicant's conformance to the rules and regulations governing hazardous materials, this project will not expose people or structures to a significant risk of loss, injury or death involving wildland fires.

IX. HYDROLOGY AND WATER QUALITY

- A. Would the project violate any water quality standards or waste discharge requirements or otherwise degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will be subject to standards set forth by the Local Agency Management Program (LAMP), adopted by the Regional Water Quality Control Board, to ensure that

any waste discharge does not impact water quality. Additionally, all grading activities will require permits and hazardous waste will be stored and disposed of according to the current standards to ensure that the project does not result in polluted runoff.

- B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge so that there would be a net deficit in aquifer volume or a lowering of the local groundwater table?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel currently purchases 2,000 to 3,500 gallons of water per day from Westlands Water District (WWD) and would continue to utilize this amount of water from this source during the operation of the proposed project. Much of this water would return to the aquifer through percolation. Groundwater supply will not be substantially impacted by the proposed project.

- C. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site; or
- D. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in flooding on or off site; or
- E. Would the project create or contribute run-off which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted run-off; or
- F. Would the project otherwise substantially degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Drainage patterns could be affected by the construction of a 4,983 square-foot building and related grading. However, these impacts will be managed through the building and grading permitting process. The majority of the subject parcel's surface is permeable and the area is of a consistent topography; the proposed use and construction will not significantly impact these qualities. Additionally, the nearest stream is over 1.2 miles east of the project site, and the project will not produce substantial runoff.

- G. Would the project place housing within a 100-year floodplain; or
- H. Would the project place structures within a 100-year flood hazard area that would impede or redirect flood flows; or
- I. Would the project expose persons or structures to levee or dam failure?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Part of the subject parcel, including a portion of the proposed structure, are in FEMA Flood Zone A which is subject to 100-year floods. However, no housing is proposed, and any improvements inside of this zone will be subject to the County Flood Hazard Ordinance (Title 15.48).

- J. Would the project cause inundation by seiche, tsunami or mudflow?

FINDING: NO IMPACT:

The project will not cause inundation in the form of seiche, tsunami, or mudflow. It is not near any bodies of water or areas of steep slopes.

X. LAND USE AND PLANNING

- A. Will the project physically divide an established community?

FINDING: NO IMPACT:

The proposed project is in a rural, agricultural, unincorporated area of the County of Fresno. The only structure that will be built is a 4,983 square-foot agricultural equipment shop, and it will be located behind a similar existing structure in the middle of a parcel currently used for the storage of agricultural equipment. No established communities will be divided.

- B. Will the project conflict with any Land Use Plan, policy or regulation of an agency with jurisdiction over the project?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County General Plan (Policy LU-A.3) states that agriculturally-related activities may be allowed by a discretionary permit in agricultural areas. The proposed operation would provide agricultural machinery-related services to an agricultural area, and with the approval of Conditional Use Permit Application No. 3613 this project would not conflict with the General Plan or any other policies.

- C. Will the project conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

FINDING: NO IMPACT:

There are no Habitat or Natural Community Conservation Plans for this area.

XI. MINERAL RESOURCES

- A. Would the project result in the loss of availability of a known mineral resource; or
- B. Would the project result in the loss of availability of a locally-important mineral resource recovery site designated on a General Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel is near a known oil field. The proposed structures and operation would not preclude oil drilling on the parcel or surrounding area, therefore it would not inhibit access to this resource. Additionally, the project will not diminish the supply of oil in the area.

XII. NOISE

- A. Would the project result in exposure of people to severe noise levels; or
- B. Would the project result in exposure of people to or generate excessive ground-borne vibration or ground-borne noise levels; or
- C. Would the project cause a substantial permanent increase in ambient noise levels in the project vicinity; or
- D. Would the project result in a substantial temporary or periodic increase in ambient noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The construction of the proposed facilities and the daily maintenance activities of agricultural equipment will produce vibration and noise. However, the facility will be required to comply with the Fresno County Noise Ordinance, and this will ensure that any noise produced is not disruptive or harmful. The surrounding area is agricultural in nature and the nearest residence is approximately 660 feet west of the proposed operation. The impact to the surrounding parcels will be less than significant.

- E. Would the project expose people to excessive noise levels associated with a location near an airport or a private airstrip; or
- F. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The nearest airstrip belongs to the Lemoore Naval Air Station, six miles southeast of the project site. This distance will ensure that employees and visitors are not exposed to excessive noise levels from this source.

XIII. POPULATION AND HOUSING

- A. Would the project induce substantial population growth either directly or indirectly; or
- B. Would the project displace substantial numbers of existing housing; or

- C. Would the project displace substantial numbers of people, necessitating the construction of housing elsewhere?

FINDING: NO IMPACT:

The agricultural equipment facility will not induce population growth, eliminate existing housing, or displace anyone from their homes. Population and housing will not be impacted.

XIV. PUBLIC SERVICES

- A. Would the project result in substantial adverse physical impacts associated with the provision of new or physically-altered public facilities in the following areas:

1. Fire protection;
2. Police protection;
3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project will not result in population growth or otherwise require the expansion or alteration of any public facilities.

XV. RECREATION

- A. Would the project increase the use of existing neighborhood and regional parks; or
- B. Would the project require the construction of or expansion of recreational facilities?

FINDING: NO IMPACT:

The proposed agricultural equipment facility will not affect the usage of parks or recreational facilities because it will not affect the population or demographics of the community. No new parks or recreational facilities will be required as a result of the proposed project.

XVI. TRANSPORTATION/TRAFFIC

- A. Would the project conflict with any applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation; or

- B. Would the project conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demands measures?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will not conflict with any transportation plans or result in a substantial congestion impact, based on the anticipated traffic impacts cited in the operational statement.

- C. Would the project result in a change in air traffic patterns?

FINDING: NO IMPACT:

The proposed structure adheres to the maximum building height allowed in the AE-20 Zone District.

- D. Would the project substantially increase traffic hazards due to design features?

FINDING: NO IMPACT:

The proposed structure is a metal building and it will be set back over 500 feet from Mount Whitney Avenue behind an existing metal structure.

- E. Would the project result in inadequate emergency access?

FINDING: LESS THAN SIGNIFICANT IMPACT:

All plans will be approved by the Fresno County Fire Department prior to the issuance of permits.

- F. Would the project conflict with adopted plans, policies or programs regarding public transit, bicycle or pedestrian facilities or otherwise decrease the performance or safety of such facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed operation will be located inside of a fenced area on a single parcel and will not have significant traffic impacts. Pedestrian facilities will not be impacted.

XVII. UTILITIES AND SERVICE SYSTEMS

- A. Would the project exceed wastewater treatment requirements; or
- B. Would the project require construction of or the expansion of new water or wastewater treatment facilities; or
- C. Would the project require or result in the construction or expansion of new storm water drainage facilities; or

- D. Would the project have sufficient water supplies available from existing entitlements and resources, or are new or expanded entitlements needed; or
- E. Would the project result in a determination of inadequate wastewater treatment capacity to serve project demand; or
- F. Would the project be served by a landfill with sufficient permitted capacity; or
- G. Would the project comply with federal, state and local statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Only 8.17% of the parcel will be covered by impermeable surfaces, and the operation will be prohibited from allowing water to drain across property lines. Storm water drainage facilities will not be impacted by the proposed project.

The owner currently purchases water from Westlands Water District, and wastewater is managed with an on-site septic system. It is anticipated that no additional water will be required as a result of the proposed use, and no additional septic system is proposed. If the existing septic system cannot sufficiently handle the wastewater produced on site, the 8.78-acre parcel is large enough to handle a larger septic system or a second septic system.

Additionally, the proposed project will not produce enough waste to affect the capacity of local landfills. Their disposal of solid waste will comply with all levels of regulation.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California prehistory or history?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Potential impacts to biological resources and cultural resources were identified. However, incorporation of the Mitigation Measures indicated in Section IV and V will ensure that these impacts are not significant.

- B. Does the project have impacts that are individually limited, but cumulatively considerable?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No cumulative impacts, such as traffic congestion, greenhouse gas emissions, water quality, or aquifer depletion are expected to be significant by the approval of the proposed project.

- C. Does the project have environmental impacts which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No environmental impacts to human beings, either direct or indirect, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3613, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, and Recreation.

Potential impacts related to Air Quality, Agricultural and Forestry Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Public Services, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant.

Potential impacts relating to Aesthetics, Biological Resources, and Cultural Resources have been determined to be less than significant with compliance with the Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

DTC:

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File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7458	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION	County Clerk File No: E-	
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Danielle Crider, Planner	Area Code: 559	Telephone Number: 600-9669	Extension: N/A
Applicant (Name): Pacific Agriculture Rentals		Project Title: CUP 3613	
Project Description: Allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).			
Justification for Negative Declaration: Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3613, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, and Recreation. Potential impacts related to Air Quality, Agricultural and Forestry Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Public Services, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Biological Resources, and Cultural Resources have been determined to be less than significant with compliance to the mitigation measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 12, 2018		Review Date Deadline: Planning Commission – October 25, 2018	
Date: TBD	Type or Print Signature: Danielle Crider Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 3 October 25, 2018

SUBJECT: Initial Study Application No. 7441 and Unclassified Conditional Use Permit Application No. 3609

Allow a 5 MWac solar photovoltaic power generation facility on a 39-acre portion of a 79.7-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project is located on West Jayne Avenue, 1.2 miles east of its intersection with State Route 33, and northerly adjacent to the nearest city limits of the City of Coalinga (SUP. DIST. 4) (APN 073-060-12).

OWNER: James Anderson
APPLICANT: ForeFront Power

STAFF CONTACT: Danielle Crider, Planner
(559) 600-9669

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7441; and
- Approve Unclassified Conditional Use Permit (CUP) No. 3609 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Mitigation Measures, Conditions of Approval and Project Notes
2. Location Map
3. Zoning Map
4. Land Use Map
5. Site Plan/Elevations
6. Operational Statement
7. “Supplemental Information for Solar Facility Guidelines”
8. Summary of Initial Study Application No. 7441
9. Draft Mitigated Negative Declaration

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Public Facility - Reservoir Reserve Area (Fresno County’s Coalinga Regional Plan, 1974)	No change According to this plan, the reservoir was advocated for by the City of Coalinga. However, a reservoir in this location is not currently included in the City of Coalinga’s land use plan. City representatives have stated that the City is not opposed to the proposed project and that there are no plans for a future reservoir on the project site.
Zoning	AL-20 (Limited Agricultural, 20-acre minimum parcel size)	No change
Parcel Size	79.7 acres	No change
Project Site	Agricultural production	A 5 MWac solar photovoltaic power generation facility on 39 acres of the subject parcel
Structural Improvements	None	<ul style="list-style-type: none"> • Photovoltaic ground-mounted tracking panels • Inverter and transformers • Seven-foot-tall chain-link perimeter fencing (six-foot-tall fence with one foot of barbed wire)

Criteria	Existing	Proposed
Nearest Residence	Pleasant Valley State Prison, 630 feet south of the parcel	No change
Surrounding Development	Pleasant Valley State Prison, Orchards, Field Crops, and Open Space	No change
Operational Features	N/A	The proposed operation will operate for 25-35 years, and when the use ceases, it will be dismantled and the land will be restored to pre-development conditions in accordance with the Reclamation Plan.
Employees	N/A	No on-site employees. There will be infrequent trips for maintenance and security purposes; these will occur less than once per day.
Customers	N/A	N/A
Traffic Trips	Agricultural traffic	Less than one round trip per day for security and maintenance purposes during operational period once construction is complete
Lighting	None	Hooded and downturned outdoor security lighting around electrical equipment
Hours of Operation	N/A	24 hours per day, 365 days a year

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

An Initial Study (IS) was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the IS, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the IS is included as Exhibit 8. Some minor changes were made to the IS after it was circulated to reflect that the project will connect to the power grid via PG&E power lines on the subject property instead of building a new power line to connect the project to a substation on the southerly adjacent parcel (Pleasant Valley State Prison). This change results in less ground disturbance and a slightly smaller project footprint, and it does not affect the proposed use. Therefore the project was only reduced in scope, and the environmental document was not recirculated.

Notice of Intent to Adopt a Mitigated Negative Declaration publication date: September 24, 2018

PUBLIC NOTICE:

Notices were sent to 5 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

An Unclassified Conditional Use Permit (CUP) may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on an unclassified CUP application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

BACKGROUND INFORMATION:

The proposed solar power generation facility will be located on a 39-acre portion of a 79.7-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Photovoltaic (PV) modules with a capacity of generating 5 megawatts alternating current (MW-AC) will convert sunlight into electrical energy. This energy will be transferred to Pacific Gas and Electric Company’s (PG&E) existing facilities via an on-site connection.

The project will result in the installation of photovoltaic module arrays supported by metal frames. These metal frames will either be attached to steel posts driven into the ground, or mounted on skids that will be anchored to the ground with metal screws. The maximum height is approximately 7 feet, the same as the proposed fence.

Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front: 35 feet Side: 20 feet Rear: 20 feet The County-adopted Solar Facility Guidelines require a buffer between the solar arrays and any surrounding uses, this buffer is typically 50 feet or greater.	Front (south): 77.95 feet Side (west): 131.52 feet Side (east): 59.27 feet Rear (north): approx. 1,400 feet	Yes
Parking	No requirement	None	N/A
Lot Coverage	No requirement	N/A	N/A
Separation Between Buildings	Six-foot minimum	N/A	N/A

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Wall Requirements	No requirement	Seven-foot-tall chain-link fencing (including 1 foot of barbed wire) around project site	N/A
Septic Replacement Area	100 percent for existing system	N/A	N/A
Water Well Separation	Building sewer/septic tank: 50 feet; disposal field: 100 feet; seepage pit/cesspool: 150 feet	N/A	N/A

Reviewing Agency/Department Comments Regarding Site Adequacy:

Building and Safety Section of the Fresno County Department of Public Works and Planning: Plans, permits and inspections are required for all on-site improvements.

Any proposed driveway should be a minimum of 24 feet and a maximum of 35 feet in width. If only the driveway is to be paved, the first 100 feet off of the edge of the ultimate right-of-way shall be concrete or asphalt. Additionally, a dust palliative shall be required on all parking and circulation areas. This comment shall be included as a Project Note.

An encroachment permit shall be required from Road Maintenance and Operations for any work on the County right-of-way (drive approach from Jayne Ave). This comment shall be included as a Project Note.

Internal access roads shall comply with required widths by the Fire District for emergency apparatus.

Note: The final project plans must be submitted to and approved by the Fresno County Fire Protection District (FCFPD) prior to the acquisition of building permits. This shall be included as a Project Note.

Any gate that provides initial access (from Jayne Avenue) to this site shall be set back from the ultimate road right-of-way a minimum of 20 feet or the length of the longest vehicle that will be entering the site, whichever is greater. This comment shall be included as a Project Note.

Outdoor lighting shall be hooded and directed away from adjoining streets and properties. This is required as a Mitigation Measure.

All proposed signs must be reviewed by the Department of Public Works and Planning permit counter to verify compliance with the Zoning Ordinance. Off-site advertising for commercial uses is prohibited in the AE (Exclusive Agricultural) Zone District. This comment shall be included as a Project Note.

Development Engineering Section of the Fresno County Department of Public Works and Planning: If not already present, 10-foot by 10-foot corner cutoffs shall be improved for sight distance purposes at the exiting driveway onto Jayne Avenue. This comment shall be included as a project note.

According to FEMA, FIRM Panel 3250H, the parcel is not subject to flooding from the 100-year storm.

According to U.S.G.S. Quad Maps, there are existing natural drainage channels traversing the subject parcel.

California Department of Fish and Wildlife (CDFW): Delineate all streams or other surface water features on and within 500 feet of the project area during construction activities. If any project-related activities will impact surface water features or associated floodplains or vegetation, a Lake and Streambed Alteration (LSA) Agreement must be obtained from CDFW warranted prior to the start of project-related activities. This is required as a Mitigation Measure.

The Department of Conservation's Division of Oil, Gas, and Geothermal Resources (DOGGR) Inland District provided the location of a known oil well on the property, which was properly abandoned to the standards at the time of abandonment. The well is not located within the footprint of the proposed solar facility. This agency offered the following comments:

Access to any well located on the property shall be maintained in the event abandonment or re-abandonment of the well becomes necessary in the future.

Note: The site plan shows 50 feet of unimpeded access from Jayne Avenue along the western parcel boundary around the proposed solar facility, to the estimated location of the abandoned oil well. Adherence to this site plan will be required as a Condition of Approval.

DOGGR recommends that the abandoned oil well be re-abandoned to current standards to minimize the probability of it leaking oil, gas, and/or water in the future. DOGGR has the authority to order the re-abandonment of any well that is hazardous or that poses a danger to life, health, or natural resources. If this occurs, the property owner is responsible for these re-abandonment costs. Additionally, if any unknown wells or soil containing significant amounts of hydrocarbons are discovered during development, DOGGR and all other appropriate authorities shall be notified immediately. This comment shall be included as a Project Note.

Analysis:

Staff review of the site plan demonstrates that the proposed solar panels would be set back from the surrounding property lines by 50 feet or more, which satisfies the minimum required setbacks in the Zone District, and provides a sufficient buffer in accordance with the "Solar Facility Guidelines" approved by the Fresno County Board of Supervisors on May 3, 2011 and amended on March 13, 2012, May 21, 2013 and December 12, 2017.

There is an abandoned oil well on site and a seasonal stream that runs through the northeastern corner of the parcel. The proposed operation will only result in the development of the southern half of the subject parcel, therefore it will not disturb the stream or abandoned oil well. If construction activities come within 500 feet of the stream bed, it must be delineated to ensure that it is not disturbed.

Based on the above information, and with adherence to the Conditions of Approval described above, staff believes the site will be adequate to accommodate the proposed use, vehicle circulation, ingress and egress.

Recommended Conditions of Approval:

See Mitigation Measures, recommended Conditions of Approval, and Project Notes attached as Exhibit 1.

Conclusion:

Finding 1 can be made.

Finding 2: That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use

		Existing Conditions	Proposed Operation
Private Road	No	N/A	N/A
Public Road Frontage	Yes	Jayne Avenue; Poor condition	No change
Direct Access to Public Road	Yes	Jayne Avenue; Poor condition	No change
Road ADT (Average Daily Traffic)		4,600	No change
Road Classification		Expressway	No change
Road Width		39.7 feet	No change
Road Surface		Paved	No change
Traffic Trips		Agricultural	Less than one round trip per day for security and maintenance during operational period
Traffic Impact Study (TIS) Prepared	No	N/A	Not required by Design Division of the Fresno County Department of Public Works and Planning
Road Improvements Required		N/A	Not required

Reviewing Agency/Department Comments:

Road Maintenance and Operations (RMO) Division: Jayne Avenue is classified as an Expressway with 60 feet of existing road right-of-way. An additional 33-feet of road right-of-way is required along the southern property line of development to complete the required 63 feet of ultimate road right-of-way north of the section line. All setbacks for new construction should be based upon the ultimate right-of-way for Jayne Avenue. A Condition of Approval will require the Applicant to enter into an agreement with the County where the southernmost 33 feet of the subject parcel will be

irrevocably offered to the County for future right-of-way expansion. Additionally, the ultimate right-of-way will be used to determine setbacks for the proposed development.

During construction, a transportation permit from the Road Maintenance and Operations Division may be required for oversized loads or particularly heavy haul loads. This comment shall be included as a Project Note.

Design Division of the Fresno County Department of Public Works and Planning: Daily trips are nominal and construction trips are not expected to generate significant impact. Anticipated daily truck traffic during construction will remain under 20 one-way trips.

Analysis:

Based on the above information, and with adherence to the Condition of Approval described above, staff believes that West Jayne Avenue will remain adequate to accommodate the proposed use.

Recommended Conditions of Approval:

See Mitigation Measures, recommended Conditions of Approval, and Project Notes attached as Exhibit 1

Conclusion:

Finding 2 can be made.

Finding 3: *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	140 acres	Public - Undeveloped	AL-20	N/A
South	293.52 acres	Pleasant Valley State Prison	City of Coalinga – Public Facilities	630 feet
East	640 acres	Vacant	AL-20	N/A
West	40 acres	Orchard	AL-20	N/A
	39.1 acres	Field Crop	AL-20	N/A

Reviewing Agency/Department Comments:

Development Engineering Section of the Fresno County Department of Public Works and Planning: Any runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards. This comment shall be included as a Project Note.

A grading permit or voucher shall be required for any grading that has been done without a permit and any grading proposed with this application. This comment shall be included as a Project Note.

The Fresno County Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This comment shall be included as a Project Note.

San Joaquin Valley Air Pollution Control District (Air District): An Air Impact Assessment (AIA) for this project was approved by the Air District contingent upon the specified monitoring and reporting guidelines. With adherence to these guidelines it has been determined that the project will produce less than two tons of NOx and less than two tons of PM10 per year and will therefore have a less than significant impact on the environment and surrounding property owners.

Department of Public Works and Planning, Water and Natural Resources Division: The proposed project is located within a water short area of the county, however the operation is not significantly reliant upon water resources for its operational requirements.

Analysis:

The proposed 5 megawatt solar power generation facility will be located on the southern 39 acres of a 79.7-acre parcel. This parcel is immediately adjacent to the Pleasant Valley State Prison, which is located within the city limits of the City of Coalinga, but is not contiguous with the rest of the City. The parcel is also adjacent to an agricultural operation and undeveloped parcels which are currently unutilized. The previously discussed 50-foot buffer used to satisfy the Solar Facility Guidelines is exceeded by the proposed project. This buffer will ensure that adjacent agricultural operation or any future adjacent uses are not negatively impacted by the solar facility. Additionally, the Applicant submitted a pest management plan, which articulates the ways in which they would address pests on site; this will ensure that the facility does not host pests which could negatively impact surrounding agricultural operations.

Based on the above information, staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 3 can be made.

Finding 4: That the proposed development is consistent with the General Plan

Relevant Policies:	Consistency/Considerations:
<u>Section 403-01:1.00.e of the County-adopted Coalinga Regional Plan:</u> Public Facilities	The project site is designated for a future public facility, specifically for a reservoir, in the County's Coalinga Regional Plan (adopted in 1974). According to this plan,

Relevant Policies:	Consistency/Considerations:
<p>shall mean land designated for location of services and facilities which are necessary to the welfare of the community. Typical uses include liquid and solid waste disposal, ponding basins, parks, schools, civic centers, hospitals and cemeteries.</p>	<p>the City of Coalinga advocated for this reservoir because they believed it would help with storm water management, provide wildlife habitat, and present recreation opportunities. The City of Coalinga reviewed the proposed project, and stated that they did not oppose the project, nor do they have any plans to develop a reservoir in this location.</p>
<p>Policy LU-A.13: The County shall protect agricultural operations from conflicts with non-agricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations.</p>	<p>Typically a 50-foot-minimum buffer area is required between proposed solar facilities and agricultural uses. The only current cultivation in the area is to the west of the subject parcel, and the proposed solar panels will be set back 131 feet from the western property line, more than double the required buffer. The solar panels will also be set back over 50 feet from the other property lines, so any future agricultural operations also would not be impacted.</p>
<p>Policy LU-A.14: The County shall ensure that the review of discretionary permits includes an assessment of the conversion of productive agricultural land and that mitigation be required where appropriate.</p>	<p>Impacts to Agricultural and Forestry Resources were evaluated in the Initial Study (Exhibit 8) and determined to be less than significant. According to the Department of Conservation (DOC, 2014) the agricultural land to be developed upon project approval is of local importance. However, information submitted by the Applicant indicates that in the past 11 years the land has only been cultivated 3 times (wheat cultivation, non-irrigated), and one year there was no yield. The proposed use is expected to operate approximately 25-35 years, and afterwards the land will be returned to its current state according to the reclamation plan. Additionally, the northern 40 acres of the subject parcel, twice the minimum parcel size of the zone district, will not be developed as a part of the project, and could continue to be cultivated.</p>
<p>General Plan Policy PF-C.17: The County shall undertake a water supply evaluation, including determinations of water supply adequacy, impact on other water users in the County, and water sustainability.</p>	<p>There are no wells on site, and none are proposed. The panels will be cleaned with a biodegradable panel cleaning solution which will be trucked to the property. The project will not impact water resources in the area as it is not water-reliant.</p>

City of Coalinga: According to the City of Coalinga's adopted General Plan, there are no plans for a future reservoir or park near the project site. The City of Coalinga does not oppose this project.

Analysis:

The project is consistent with these General Plan policies for the reasons discussed above. With adherence to the recommended Conditions of Approval, staff finds that the proposal is consistent with the General Plan.

Recommended Conditions of Approval:

See Mitigation Measures, recommended Conditions of Approval, and Project Notes attached as Exhibit 1.

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

None.

CONCLUSION:

Staff believes the required Findings for granting Unclassified Conditional Use Permit No. 3609 can be made, based on the factors cited in the analysis and adherence to the recommended Conditions of Approval, Project Notes, and Mitigation Measures. Staff therefore recommends adoption of the Mitigated Negative Declaration prepared for Initial Study Application No. 7441 and approval of Unclassified Conditional Use Permit No. 3609, subject to the recommended Conditions of Approval.

PLANNING COMMISSION MOTIONS:**Recommended Motion** (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7441; and
- Move to determine the required Findings can be made and move to approve Unclassified Conditional Use Permit No. 3609, subject to the Conditions of Approval and Project Notes attached as Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Unclassified Conditional Use Permit No. 3609; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

Mitigation Monitoring and Reporting Program
Initial Study Application No. 7441/Unclassified Conditional Use Permit Application No. 3609
(Including Conditions of Approval and Project Notes)

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	Exterior lighting from dusk until dawn shall be minimized through the installation of the lowest wattage bulb necessary for safety purposes. All outdoor lighting shall also be hooded and directed downward so as not to shine upward or toward adjacent properties and public streets.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PW&P)	During construction and operation
2.	Biological Resources	Species-specific surveys shall be conducted by a qualified biologist and/or botanist no less than 14 days and no more than 30 days prior to the onset of any construction-related activities (including initial construction and decommissioning) for the San Joaquin Kit Fox (SJKF), Blunt-nosed Leopard Lizard (BNLL), Tricolored Blackbird, Nelson's Antelope Squirrel (NAS), Swainson's Hawk (SWHA), Burrowing Owl (BUOW), California Glossy Snake, Northern California Legless Lizard, Blainville's Horned Lizard, Short-nosed Kangaroo Rat (SNKR), San Joaquin Coachwhip, Western Spadefoot, San Joaquin Woollythreads, California Jewelflower, Showy Golden Madia, Pale-yellow Layia, Recurved Larkspur, and Brittle scale. These surveys shall include all areas of proposed ground disturbance and construction activities, any construction staging areas, any area in which equipment will be operated and any additional land used for ingress and egress during construction activities. Additionally, a 500-foot buffer around the defined area will be surveyed for the BUOW, SJKF, NAS, and BNLL; a 50-foot buffer area will be surveyed for the SNKR, California Glossy Snake, Blainville's Horned Lizard, Northern California Legless Lizard, and sensitive plants; and a 0.5-mile buffer around the defined area will be surveyed for SWHA nests and Tricolored Blackbirds. If these buffer areas cannot be maintained, consultation with the California Department of Fish and Wildlife (CDFW) is required to determine how to avoid take.	Applicant	Applicant/PW&P	Prior to construction and decommissioning
3.	Biological Resources	If any species are identified in pre-construction surveys or during construction, operation, or decommissioning activities, the Applicant shall notify CDFW immediately,	Applicant	Applicant/PW&P	Prior to construction through the

EXHIBIT 1

		cease all operation in the area, and consult with CDFW on how to minimize any potential impact to protected species.			completion of decommissioning activities
4.	Biological Resources	If BNLL burrows are identified during the pre-construction survey(s), all burrow openings shall be flagged and mapped, and 50-foot no-disturbance buffer zones around all burrow openings shall be maintained for foraging habitat throughout the project.	Applicant	Applicant/PW&P	Prior to construction and decommissioning
5.	Biological Resources	If small mammal burrows suitable for BUOW are identified on the project site or within 250 feet of the project, additional BUOW surveys shall be conducted by a qualified biologist, and BUOW burrows shall be avoided with required buffers according to the "Staff Report on Burrowing Owl Mitigation" (CDFG, 2012).	Applicant	Applicant/PW&P	Prior to construction and decommissioning
6.	Biological Resources	If any construction activities will occur between March 1 and September 15, the project area and a 0.5-mile buffer around the project area must be surveyed by a qualified biologist within 10 days of the onset of construction activities to identify the presence of any Swainson's Hawk nests. If any nests are identified, no construction may take place within 0.5 mile of that nest until the end of breeding season (September 15) or until a qualified biologist determines that the young have fledged and are no longer dependent on the nest or parents for survival, and CDFW has provided written approval of the biologist's determination. If this 0.5-mile buffer cannot be maintained, consultation with CDFW is required.	Applicant	Applicant/PW&P	Prior to construction and decommissioning
7.	Biological Resources	Implement the January 2011 "U.S. Fish and Wildlife Service Standardized Recommendations for Protection of the Endangered San Joaquin Kit Fox Prior to or During Ground Disturbance" for pre-construction survey protocol and avoidance measures, and maintain habitat permeability for SJKF on all perimeter and interior fencing.	Applicant	Applicant/PW&P	Prior to construction and decommissioning
8.	Biological Resources	If construction commences between January 1 and September 15 (bird nesting season) or lapses during this time for 10 or more days, a qualified biologist must survey for active bird nests within 10 days of the onset or resuming of construction activities to ensure that no active bird nests are in the project area that could be impacted by the construction. If nests are present, they must be monitored for the first 24 hours of any project-related activities so as to detect any behavioral changes that result	Applicant	Applicant/PW&P	Prior to construction and decommissioning

		from project impacts. If behavioral changes are observed, work that is causing this change shall cease, and the Applicant shall consult with the California Department of Fish and Wildlife (CDFW) for additional avoidance and minimization measures. In lieu of monitoring, the Applicant may choose to implement 250-foot no-disturbance buffers around active nests of non-listed, non-raptor bird species until the breeding season is over or a qualified biologist has determined that the birds have fledged and are no longer dependent upon the nest or parental care for survival. Variance from these buffer zones may be granted on a case by case basis, but this decision must be supported by a qualified biologist and CDFW must be notified of this determination prior to construction activities that would otherwise require a no-disturbance buffer.			
9.	Biological Resources	All vertical pipes associated with solar mounts and fencing must be capped immediately upon installation to avoid bird death or injury.	Applicant	Applicant/PW&P	Construction and decommissioning
10.	Biological Resources	If special-status plant species are found, a no-disturbance buffer of at least 50 feet shall be implemented and delineated using flags, stakes, or other highly-visible materials, and it shall be maintained for the duration of the project. If this is not feasible, alternative mitigation shall be agreed upon by the Applicant and CDFW.	Applicant	Applicant/PW&P	Prior to construction and decommissioning
11.	Biological Resources	No rodenticides, pesticides, or herbicides shall be used during construction, maintenance, or decommissioning of the proposed project.	Applicant	Applicant/PW&P	Lifetime of the Project
12.	Biological Resources	The Applicant shall consult with CDFW on the use of biodegradable panel cleaning solution on the project site prior to use so that they may determine if an Incidental Take Permit (ITP) could be warranted.	Applicant	Applicant/PW&P	Prior to the use of biodegradable panel cleaning solutions
13.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be	Applicant	Applicant/PW&P	During ground-disturbing activities

		Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.			
14.	Hydrology and Water Quality	Delineate all surface water features, streams, and associated floodplains and vegetation within 500 feet of the project impact area. No construction may encroach within this area without first obtaining a Lake and Streambed Alteration Agreement (LSA) from the California Department of Fish and Wildlife (CDFW).	Applicant	Applicant/PW&P	Prior to construction and decommissioning

Conditions of Approval

1.	Development of the property shall be in accordance with the Site Plan, Elevation, and Operational Statement approved by the Commission.
2.	A Site Plan Review (SPR) Application shall be submitted for approval by the Director of the Department of Public Works and Planning in accordance with Section 874 of the Fresno County Zoning Ordinance prior to the issuance of Building Permits. The SPR shall be applicable to those portions of the project site(s) to be improved with substations, inverters, perimeter access roads, parking, and driveway access, excluding the solar panel fields. Items to be addressed under the SPR may include, but are not limited to, design of parking and circulation, driveway, access, grading and drainage, fire protection and lighting.
3.	The land owner shall enter into an agreement with the County of Fresno to irrevocably offer the southernmost 33 feet of the subject parcel for future right-of-way expansion.
4.	This land use permit will expire after the proposed use has been in operation for 35 years or after the use has ceased for two years. If the solar lease is extended beyond 35 years, a new land use permit will be required for continued operation.
5.	The project shall comply with the Solar Facility Guidelines (Exhibit 7 of the Staff Report), as approved.
6.	The Reclamation Plan shall be subject to an annual 3% increase, or tied to the Consumer Price Index (CPI), or another mechanism acceptable to the Fresno County Department of Public Works and Planning. Additionally, the applicant shall enter into a Reclamation Agreement with the County of Fresno.

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

Notes

The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.

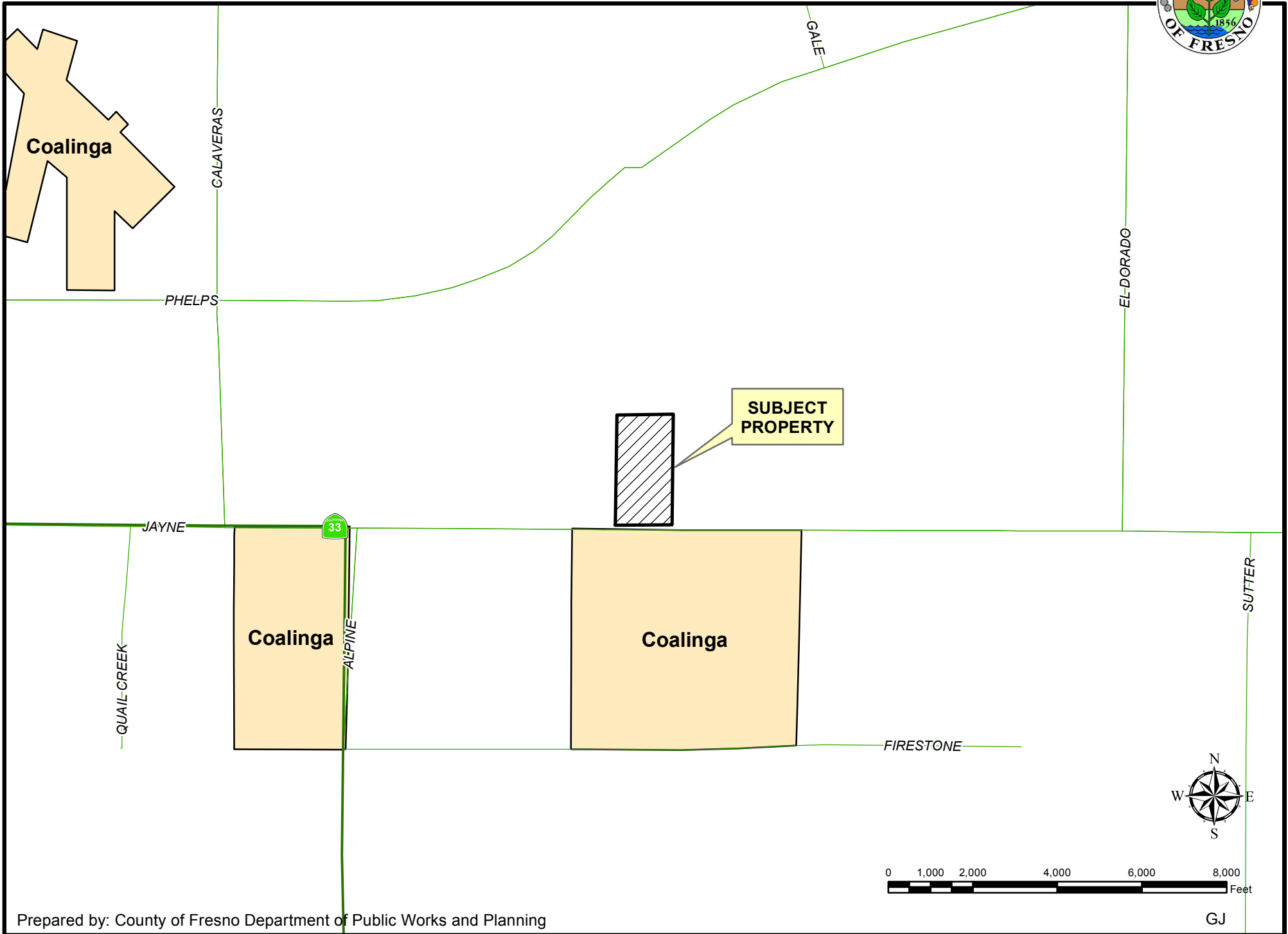
1.	Any proposed driveway should be a minimum of 24 feet and a maximum of 35 feet in width. If only the driveway is to be paved, the first 100 feet off of the edge of the ultimate right-of-way shall be concrete or asphalt. Additionally, a dust palliative shall be required on all parking and circulation areas.
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2.	An encroachment permit shall be required from Road Maintenance and Operations for any work on the County right-of-way (drive approach from Jayne Ave).
3.	The final project plans must be submitted to and approved by the Fresno County Fire Protection District (FCFPD) prior to the acquisition of building permits.
4.	Any gate that provides initial access (from Jayne Avenue) to this site shall be set back from the ultimate road right-of-way a minimum of 20 feet or the length of the longest vehicle that will be entering the site, whichever is greater.
5.	All proposed signs must be reviewed by the Department of Public Works and Planning permit counter to verify compliance with the Zoning Ordinance. Off-site advertising for commercial uses is prohibited in the AE (Exclusive Agricultural) Zone District.
6.	If not already present, 10-foot by 10-foot corner cutoffs shall be improved for sight distance purposes at the exiting driveway onto Jayne Avenue.
7.	DOGGR (Department of Conservation's Division of Oil, Gas, and Geothermal Resources) recommends that the abandoned oil well be re-abandoned to current standards to minimize the probability of it leaking oil, gas, and/or water in the future. DOGGR has the authority to order the re-abandonment of any well that is hazardous or that poses a danger to life, health, or natural resources. If this occurs, the property owner is responsible for these re-abandonment costs. Additionally, if any unknown wells or soil containing significant amounts of hydrocarbons are discovered during development, DOGGR and all other appropriate authorities shall be notified immediately.
8.	During construction, a transportation permit from the Road Maintenance and Operations Division may be required for oversized loads or particularly heavy haul loads.
9.	Any runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards.
10.	A grading permit or voucher shall be required for any grading that has been done without a permit and any grading proposed with this application.
11.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5.

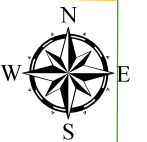
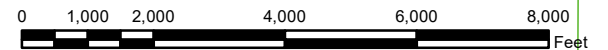
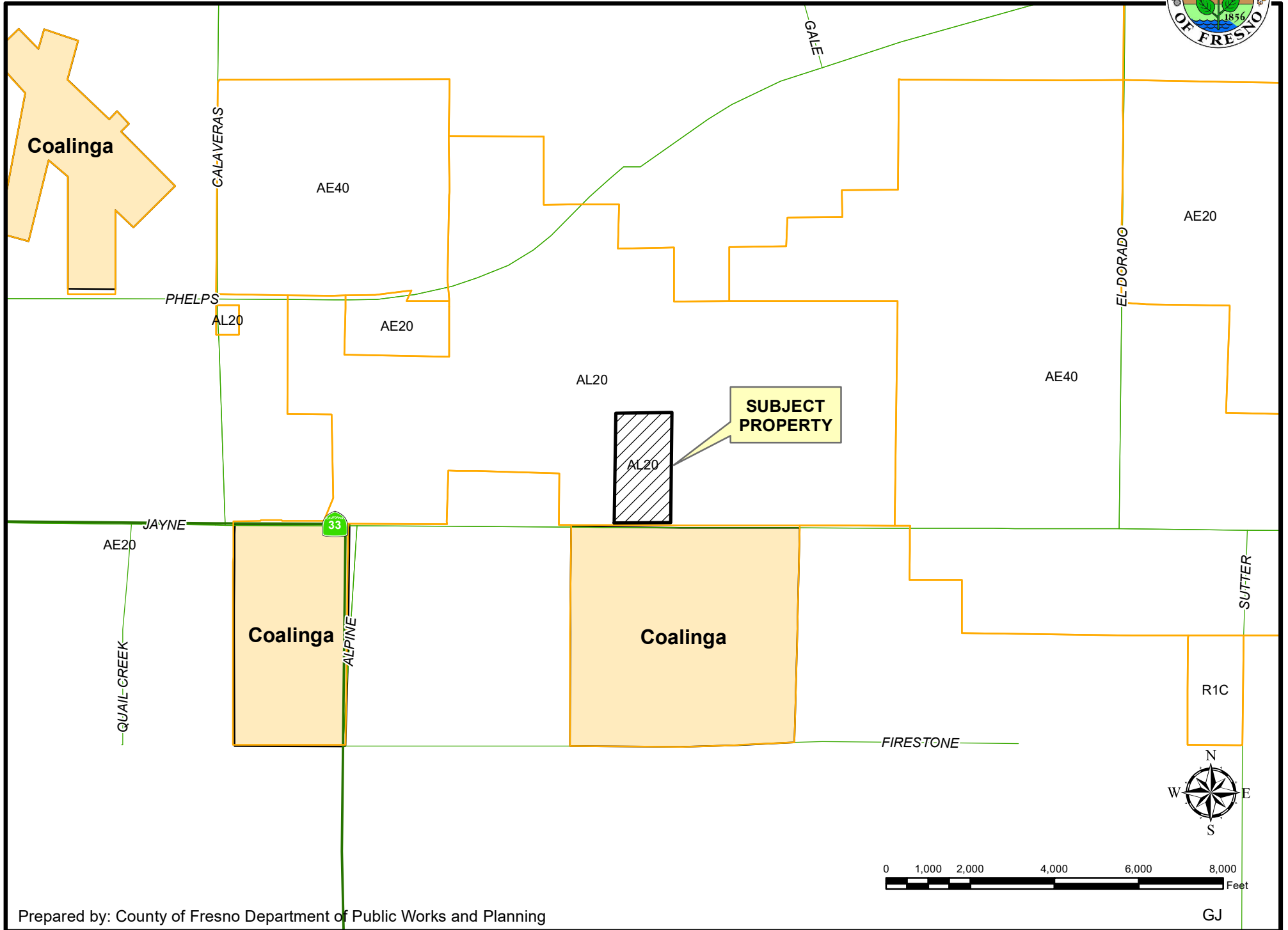
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LOCATION MAP



EXISTING ZONING MAP



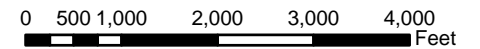
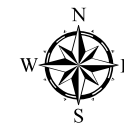
EXISTING LAND USE MAP



LEGEND
FC - FIELD CROP
ORC - ORCHARD
PUB - PUBLICLY OWNED
V - VACANT

LEGEND:

- Subject Property
- Ag Contract Land



Department of Public Works and Planning
Development Services Division



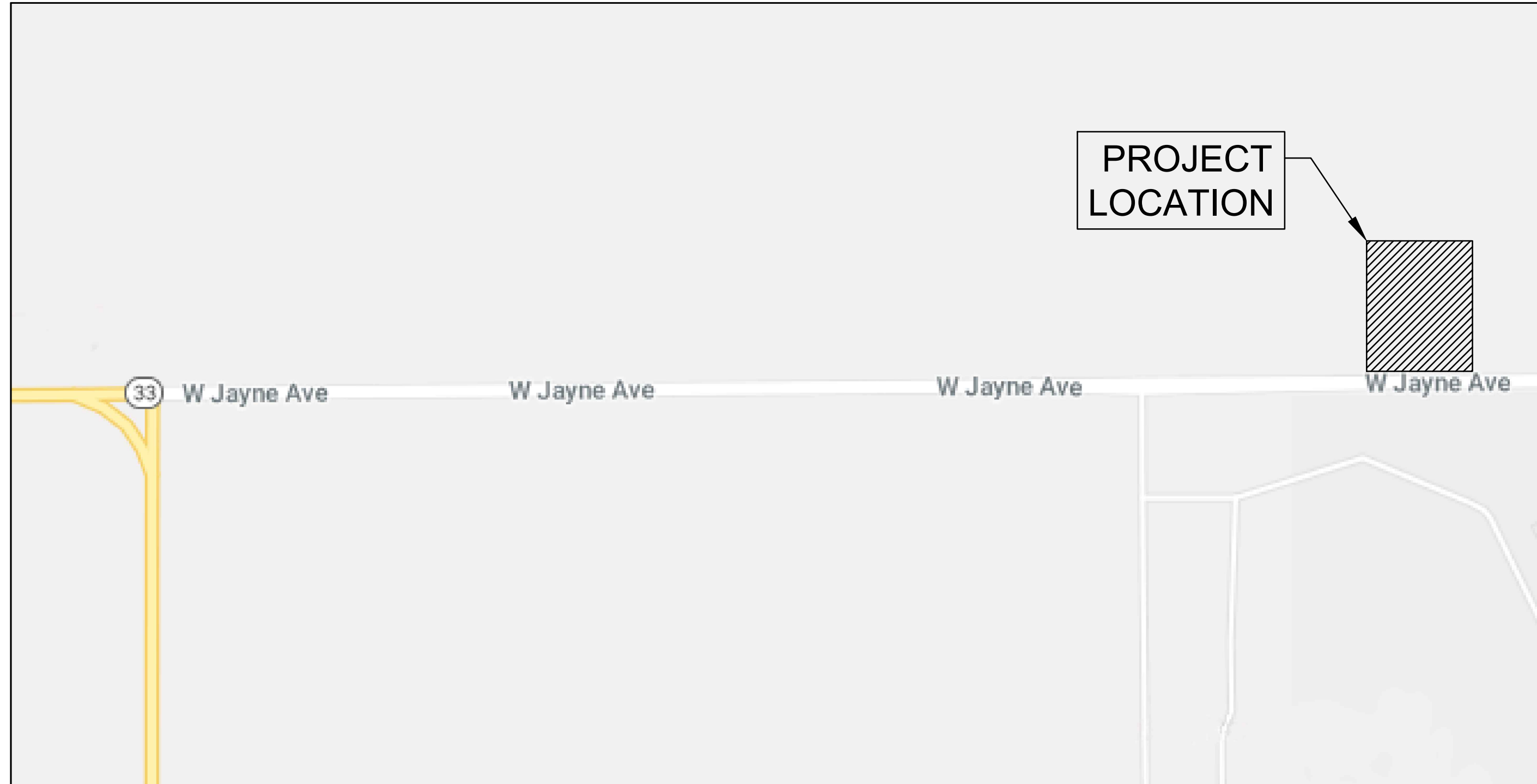
CA-SB43 GATES PV POWER PLANT

JAYNE AVENUE
COALINGA, CA 93210

CUP SUBMITTAL



STAMP:



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
G-001	TITLE SHEET
C-001	CIVIL TITLE SHEET
C-002	EXISTING CONDITIONS
C-003	EXISTING CONDITIONS
C-004	CIVIL NOTES
C-005	EROSION □ SEDIMENT CONTROL NOTES
C-101	SITE PLAN
C-201	SECTIONS □ DETAILS
C-202	FENCE AND GATE DETAILS
C-301	GRADING PLAN
C-302	EROSION □ SEDIMENT CONTROL PLAN
M-001	TRACKING PV ARRAY NOTES
M-101	ARRAY SITE PLAN
M-501	ARRAY INSTALLATION DETAILS
E-001	ELECTRICAL TITLE SHEET
E-002	ELECTRICAL NOTES
E-003	ELECTRICAL NOTES
E-101	ELECTRICAL SITE PLAN
E-201	PV PLANT SINGLE LINE DIAGRAM
E-504	ARRAY STRUCTURE DETAILS
E-505	GROUNDING DETAILS
E-508	TRENCH AND UNDERGROUND DETAILS
E-509	MV ELECTRICAL DETAILS
E-510	MV ELECTRICAL DETAILS
E-511	LABELS □ MARKINGS
E-801	SPECIFICATION SHEETS
EC-100	SCADA BLOCK DIAGRAM
EC-101	SCADA EQUIPMENT PEDESTAL NO.1
EC-102	SCADA EQUIPMENT PEDESTAL NO.2
EC-103	SCADA CABLE SCHEDULE

CA-SB43 GATES PV
POWER PLANT
FOREFRONT POWER LLC
JAYNE AVENUE
COALINGA, CA 93210

PROJECT NUMBER:
CA-17-0102 / J0063

SHEET TITLE:
TITLE SHEET

SHEET SIZE:
ARCH "D"
24" X 36" (610 x 914)

THIS DRAWING IS THE PROPERTY OF FOREFRONT POWER, LLC. THIS INFORMATION IS CONFIDENTIAL AND IS TO BE USED ONLY IN CONNECTION WITH WORK DESCRIBED BY FOREFRONT POWER, LLC. NO PART IS TO BE DISCLOSED TO OTHERS WITHOUT WRITTEN PERMISSION FROM FOREFRONT POWER, LLC.

NO.	REVISION	DATE	INIT.

DATE: 01/16/2018
DRAWN BY: RCS
ENGINEER: KMH
APPROVED BY: KMH

PROJECT PHASE:
CUP SUBMITTAL

SCALE:
NO SCALE

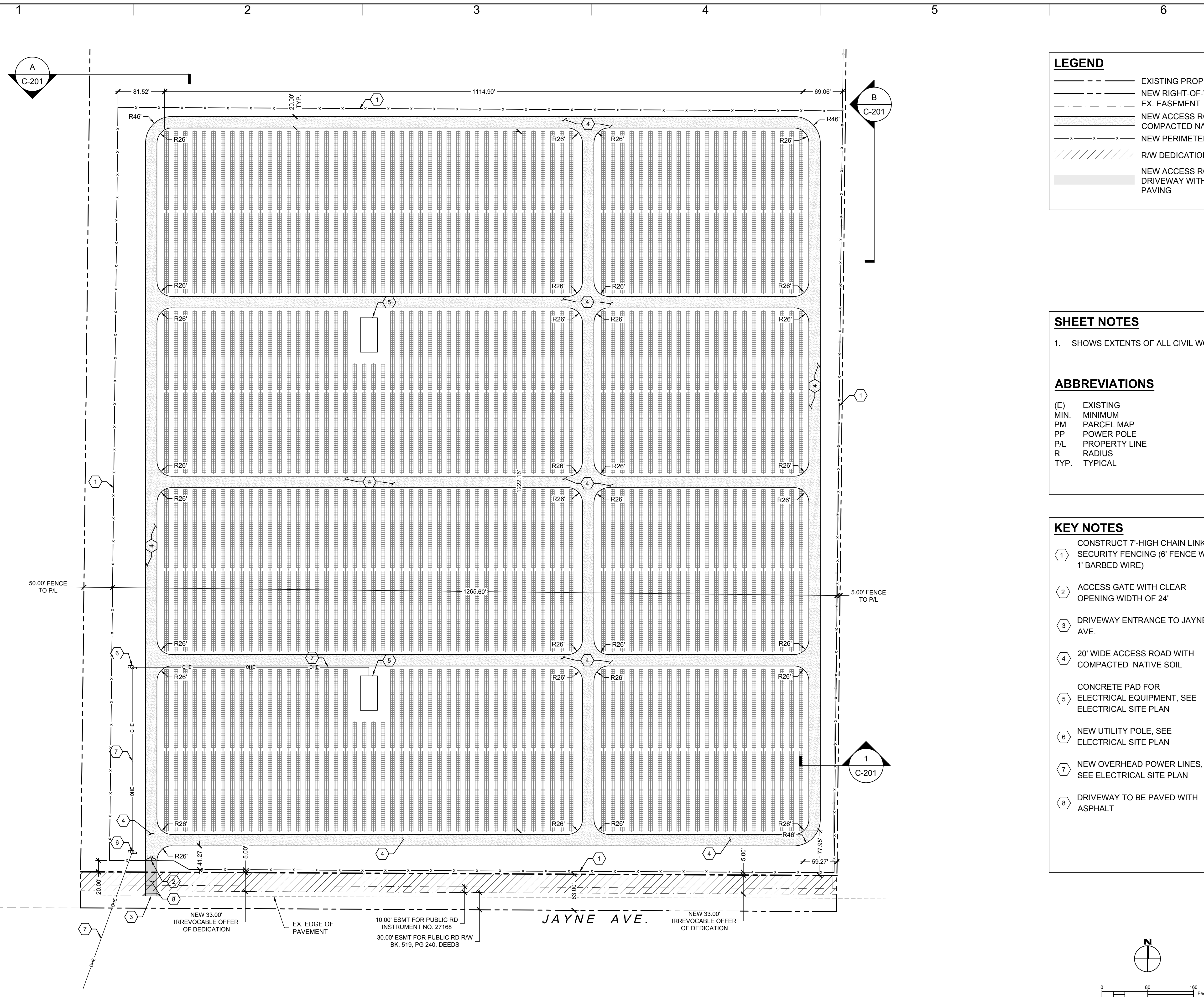
SHEET NO.:
G-001

PROJECT DEVELOPER FOREFRONT POWER LLC 100 MONTGOMERY ST., SUITE 1400 SAN FRANCISCO, CA 94104 (626) 416-6275 PROJECT DEVELOPER: PETE RODRIGUEZ FOREFRONT POWER, INC. PRODRIGUEZ@FOREFRONTPOWER.COM	SITE CONTACT TO BE DETERMINED	SCOPE OF WORK THIS DESIGN PACKAGE PROVIDES DRAWINGS FOR THE INSTALLATION OF A 1330 KW DC RATED PHOTOVOLTAIC SYSTEM AT JAYNE AVENUE IN COALINGA, CA. ENVIRONMENTAL PLANS ARE NOT PART OF THE SCOPE OF THIS PLAN SET.
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CIVIL ENGINEER SAGE CONSULTING ENGINEERS, INC. 12 GEARY STREET SAN FRANCISCO, CA 94108 (415) 890-5250 LICENSED ENGINEER: KIRSTEN HANSON CA PE REG# C 60667 EXPIRATION: 12/31/2018	GEOTECHNICAL ENGINEER GEOTEK, INC. 1548 NORTH MAPLE STREET CORONA, CA 92880 (751) 710-1160 LICENSED ENGINEER: ROBERT RUSSELL CA GE REG# 2042 EXPIRATION: 12/31/2018	PROJECT DESCRIPTION <table border="1"> <tr><td>SYSTEM SIZE (DC)</td><td>1330kW</td></tr> <tr><td>SYSTEM SIZE (AC)</td><td>996kW, 1,942.92kW (CEC)</td></tr> <tr><td>MODULE TYPE</td><td>(21,060) REC REC345TP72 (345W)</td></tr> <tr><td>INVERTER</td><td>(2) POWER ELECTRONICS FS2100CU15 (2100kW)</td></tr> <tr><td>TRANSFORMER</td><td>(2) STEP-UP TRANSFORMERS</td></tr> <tr><td>LATITUDE/LONGITUDE</td><td>36.13831°/-120.2488°</td></tr> <tr><td>PROJECT AREA</td><td>80.20 ACRES</td></tr> </table>	SYSTEM SIZE (DC)	1330kW	SYSTEM SIZE (AC)	996kW, 1,942.92kW (CEC)	MODULE TYPE	(21,060) REC REC345TP72 (345W)	INVERTER	(2) POWER ELECTRONICS FS2100CU15 (2100kW)	TRANSFORMER	(2) STEP-UP TRANSFORMERS	LATITUDE/LONGITUDE	36.13831°/-120.2488°	PROJECT AREA	80.20 ACRES	GENERAL PLAN SYMBOLS REVISION CLOUD CIRCLE CALL-OUT GENERAL KEYNOTE GENERAL GRID COLUMN SECTION CUT REFERENCE ELEVATION VIEW REFERENCE NORTH ARROW DETAIL REFERENCE CALLOUT MATCH LINE PLAN SCALE
SYSTEM SIZE (DC)	1330kW																
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LATITUDE/LONGITUDE	36.13831°/-120.2488°																
PROJECT AREA	80.20 ACRES																

STRUCTURAL ENGINEER TO BE DETERMINED	ELECTRICAL ENGINEER SONOMA ELECTRICAL ENGINEERING, INC. 1125 SHADY OAK PLACE SANTA ROSA, CA 95404 (707) 483-8829 PROJECT ENGINEER: CA PE REG# C EXPIRATION: xx/xx/xxxx	APPLICABLE CODES AND STANDARDS <ul style="list-style-type: none"> CALIFORNIA FIRE CODE 2016 EDITION CALIFORNIA ENERGY CODE 2016 EDITION CALIFORNIA MECHANICAL CODE 2016 EDITION CALIFORNIA PLUMBING CODE 2016 EDITION CALIFORNIA ELECTRICAL CODE 2016 EDITION CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2015 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS) 2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R. TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
SURVEYOR SITETECH, INC 8061 CHURCH STREET P.O. BOX 592 HIGHLAND, CA 92346 (909) 864-3180 PROJECT SURVEYOR: BERNHARD MAYER CA PLS REG# 7319 EXPIRATION: 06/30/2019	CONTRACTOR TO BE DETERMINED	

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LEGEND

- EXISTING PROPERTY LINE
- NEW RIGHT-OF-WAY LINE
- - - EX. EASEMENT
- NEW ACCESS ROAD WITH COMPACTED NATIVE SOIL
- x - x - x - NEW PERIMETER FENCE
- //// R/W DEDICATION
- NEW ACCESS ROAD/ DRIVEWAY WITH ASPHALT PAVING

SHEET NOTES

1. SHOWS EXTENTS OF ALL CIVIL WORKS

ABBREVIATIONS

(E) EXISTING
MIN. MINIMUM
PM PARCEL MAP
PP POWER POLE
P/L PROPERTY LINE
R RADIUS
TYP. TYPICAL

KEY NOTES

- 1 CONSTRUCT 7'-HIGH CHAIN LINK SECURITY FENCING (6' FENCE W/ 1' BARBED WIRE) (4) C-202
- 2 ACCESS GATE WITH CLEAR OPENING WIDTH OF 24' (1) C-202
- 3 DRIVEWAY ENTRANCE TO JAYNE AVE. (1) C-201
- 4 20' WIDE ACCESS ROAD WITH COMPACTED NATIVE SOIL (1) C-201
- 5 CONCRETE PAD FOR ELECTRICAL EQUIPMENT, SEE ELECTRICAL SITE PLAN
- 6 NEW UTILITY POLE, SEE ELECTRICAL SITE PLAN
- 7 NEW OVERHEAD POWER LINES, SEE ELECTRICAL SITE PLAN
- 8 DRIVEWAY TO BE PAVED WITH ASPHALT

FOREFRONT POWER
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100 MONTGOMERY ST. #1400
SAN FRANCISCO, CA 94104
(415) 776-8246
www.ForeFrontPowerLLC.com

SAGE
Consulting Engineers, Inc.
12 Geary Street, Suite 407
San Francisco, CA 94108
(415) 890-5250
www.Sage-CE.com

STAMP:

**CA-SB43 GATES PV
POWER PLANT**

**FOREFRONT POWER LLC
JAYNE AVENUE
COALINGA, CA, 93210**

PROJECT NUMBER:
CA-17-0102 / J0063

SHEET TITLE:
SITE PLAN

SHEET SIZE:
ARCH "D"
24" X 36" (610 x 914)

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NO.	REVISION	DATE	INIT.
1	R/W DEDICATION	9/04/2018	KH

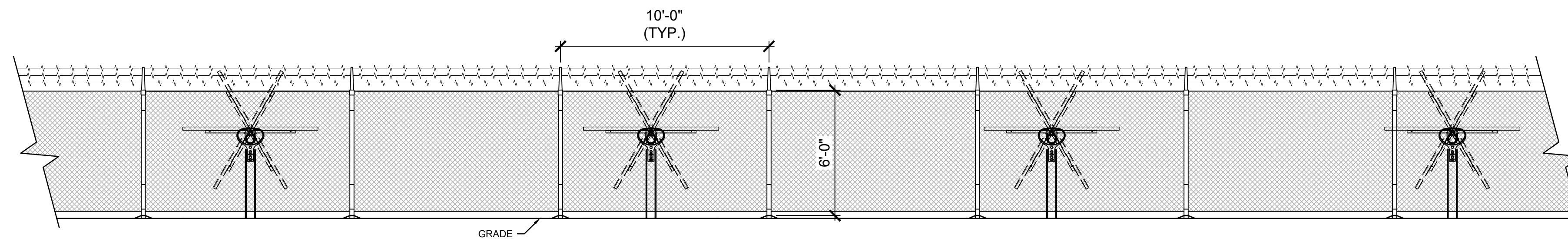
DATE: 9/12/2018
DRAWN BY: RCS
ENGINEER: KMH
APPROVED BY: KMH

PROJECT PHASE:
CUP SUBMITTAL

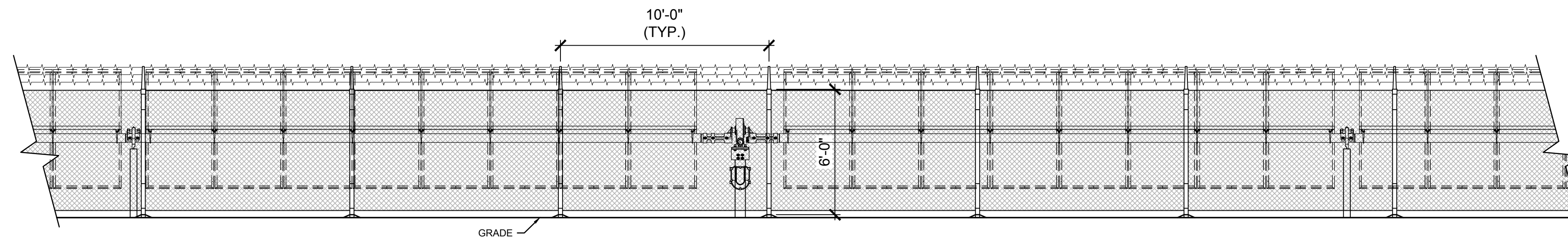
SCALE:
1" = 80'

SHEET NO.:
C-101

s:\3-projects\j0063_ffp_gates_pv (fresno)\5_production\1_drawings\2_sheets\C-201_SECTIONS & DETAILS.dwg
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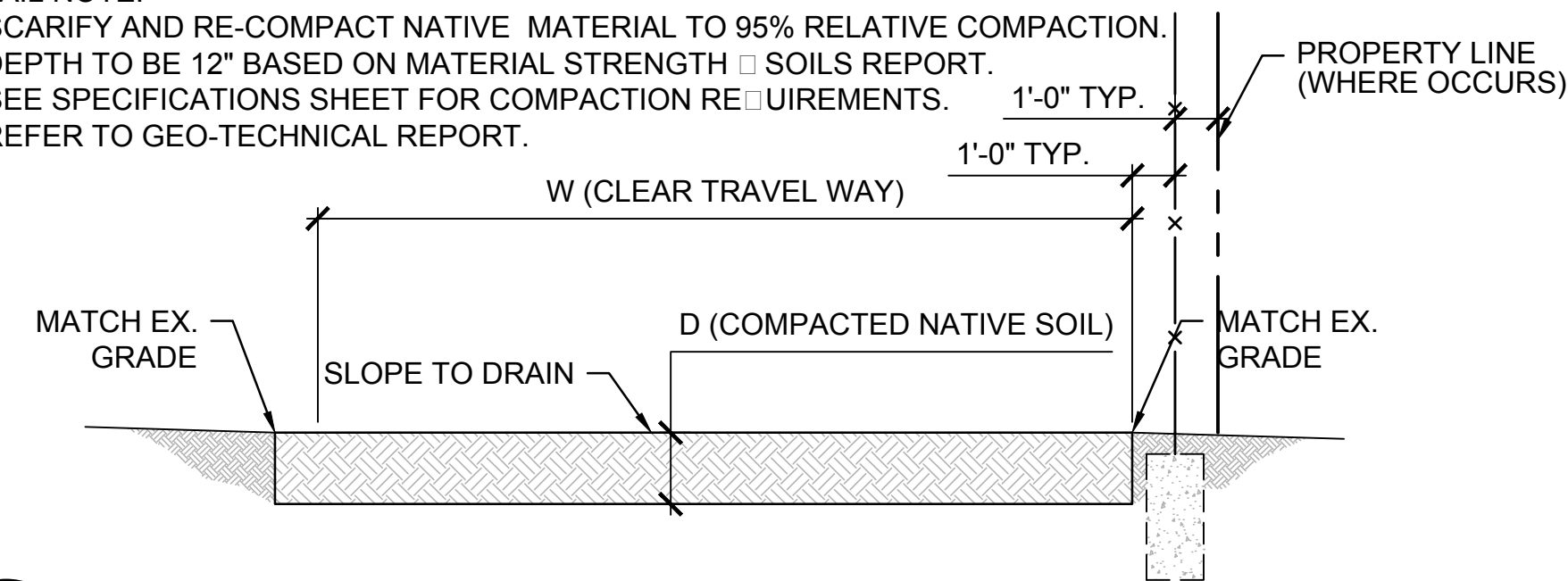
A NORTH-SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



B EAST-WEST ELEVATION
 SCALE: 1/4" = 1'-0"

DETAIL NOTE:

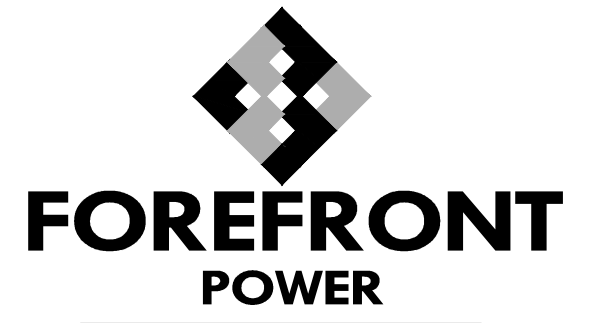
1. SCARIFY AND RE-COMPACT NATIVE MATERIAL TO 95% RELATIVE COMPACTION.
2. DEPTH TO BE 12" BASED ON MATERIAL STRENGTH □ SOILS REPORT.
3. SEE SPECIFICATIONS SHEET FOR COMPACTION REQUIREMENTS.
4. REFER TO GEO-TECHNICAL REPORT.



1 INTERNAL ACCESS ROAD
 SCALE: 1/4" = 1'-0"

SHEET NOTES

1. note □



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 San Francisco, CA 94108
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STAMP:

DATE: XXX/XXXX

**CA-SB43 GATES PV
 POWER PLANT**
 FOREFRONT POWER LLC
 JAYNE AVENUE
 COALINGA, CA, 93210

PROJECT NUMBER:
 CA-17-0102 / J0063

SHEET TITLE:
 SECTIONS □ DETAILS

SHEET SIZE:
 ARCH "D"
 24" X 36" (610 x 914)

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 WRITTEN PERMISSION FROM FOREFRONT POWER, LLC.

NO.	REVISION	DATE	INIT.

DATE: 01/16/2018
 DRAWN BY: RCS
 ENGINEER: KMH
 APPROVED BY: KMH

PROJECT PHASE:
 CUP SUBMITTAL

SCALE:
 AS SHOWN

SHEET NO.:
C-201

Pre-Application Submittal

Project: Gates Solar

Scope: 5 MWac solar photovoltaic energy generation facility on a +/-39-acre portion of a 79.7-acre parcel.

Location: APN 073-060-12

Applicant's Representative:

EPD Solutions, Inc.

c/o Rafik Albert

2030 Main Street, Suite 1200

Irvine, Calif. 92614

(949) 794-1182

rafik@epdsolutions.com

Operational Statement

1. *Nature of the operation—what do you propose to do? Describe in detail.*
The project is a solar photovoltaic power plant. The facility will generate electricity from the sun during daylight hours, and will be unmanned. The project would interconnect with the electrical grid at an existing power line along the north side of Jayne Avenue, along the southern edge of the facility.
2. *Operational time limits:*
The facility will operate during daylight hours year-round. Operations would be automated and not require a staff presence.
3. *Number of customer or visitors:*
The site would not receive customers or visitors.
4. *Number of employees:*
The facility will be unmanned. Occasional site visits (generally less than one per day) would occur for security and maintenance.
5. *Service and delivery vehicles (number, type, frequency):*
The facility would not receive any regular deliveries during operations. Service visits would occur periodically on an as-needed basis, and would generally require only a pick-up truck.
6. *Access to the site (public road, private road, surface, unpaved/paved):*
The site is adjacent to Jayne Avenue, a public, paved road.
7. *Number of parking spaces for employees, customers, and service/delivery vehicles:*
As the facility will be unmanned and not receive customers or visitors, no parking is required or proposed.
8. *Are any goods to be sold on-site? If so, are these goods grown or produced on-site or at some other location?*
No goods would be grown, produced, or sold on-site.

9. *What equipment is used (if appropriate, provide pictures or a brochure):*

Equipment used on the site would include:

- Solar modules mounted on trackers
- Electrical equipment pad with switchgear

10. *What supplies or materials are used and how are they stored?*

No supplies or materials would routinely be used at the site, and no storage would occur at the site. Any items required for periodic maintenance would be carried on maintenance vehicles.

11. *Does the use cause an unsightly appearance (noise, glare, dust, odor, if so explain how this will be reduced or eliminated):*

The use is minimally impactful on the surrounding area. The proposed equipment will generate minimal noise. Solar panels do not generate substantial glare. The project will not generate any dust or odor during operations.

12. *List any solid or liquid wastes to be produced:*

The facility will not generate solid or liquid wastes. No process wastewater is generated during energy generation from a photovoltaic facility. The site will be unmanned so no restrooms would be required and no sewer connection or septic system would be installed. Any solid wastes generated during maintenance activities would be removed by maintenance crews when they depart the site.

13. *Estimated volume of water to be used (gallons per day, source of water):*

The site will be unmanned and no water use would be required. In lieu of water, a commercially available biodegradable solution will be used for panel cleaning.

14. *Describe any proposed advertising including size, appearance, and placement:*

No advertising is proposed.

15. *Will existing buildings be used or will new buildings be constructed (describe type of construction materials, height, color, etc. Provide floor plan and elevations, if appropriate):*

The site contains no existing buildings, and no new habitable structures are proposed. New construction on the site would be limited to solar trackers and related electrical equipment and a perimeter fence. See enclosed plans.

16. *Explain which buildings or what portion of buildings will be used in the operation:*

There are no existing buildings on the site and no new habitable structures are proposed.

17. *Will any outdoor lighting or an outdoor sound amplification system be used (describe and indicate when used):*

Outdoor lighting would be limited to small-scale security lighting at the entry and any domestic fixtures required by Building Code or other Code requirements at electrical equipment, such as transformers.

18. *Landscape or fencing proposed (describe type and location):*

Fencing is proposed to consist of a perimeter chain link fence with barbed wire. No landscaping is proposed.

Gates Solar
 APN 073-060-12
 CUP No. 3609

Project Compliance with Solar Facility Guidelines (eff. 12/12/17)

1. Information shall be submitted regarding the historical agricultural operational/usage of the parcel, including specific crop type and crop yield, for the last ten years (if no agricultural operation in the last ten years, specify when land was last in agricultural use).

The required agricultural information follows:

	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017
Crop	Fallow	Fallow	Fallow	Fallow	Wheat	Fallow	Wheat	Fallow	Fallow	Fallow	Organic Wheat
Yield					26.0 tons		No production				12.4 tons
Water Source					Non-irrigated		Non-irrigated				Non-irrigated
Tilling	August 2007	August 2008	August 2009	Nov 2010	July 2011	Nov 2012	July 2013	August 2014	August 2015	Nov 2016	July 2017

2. Information shall be submitted that identifies the source of water for the subject parcel (surface water from irrigation district, individual well(s), conjunctive system). If the source of water is via district delivery, the applicant shall submit information documenting the allocations received from the irrigation district and the actual disposition of the water (i.e. utilized on-site or moved to other locations) for the last ten years. If an individual well system is used, provide production capacity of each well, water quality data and data regarding the existing water table depth.

The facility will be unmanned and no permanent water source will be required. A commercially available biodegradable solution will be utilized for panel cleaning in lieu of water.

3. Identify the current status of the parcel (Williamson Act Contract, Conservation Easement, retired land, etc.), the purpose of any easement and limitations of the parcel. The applicant shall submit a Title Report or Lot Book Guarantee for verification.

The site is not covered by a Williamson Act contract or Conservation Easement. A title report is provided as part of the application package.

4. Identify (with supporting data) the current soil type and mapping units of the parcel pursuant to the standards of the California State Department of Conservation and the Natural Resources Conservation Service.

Per Exhibit 4 of the project's Biological Habitat Assessment, soils on the site consist of Posochanet clay loam, saline-sodic (0-2% slope); Lethent clay loam (0-1% slope); and Excelsior sandy loam (0-2% slope).

5. List all proposed measures and improvements intended to create a buffer between the proposed solar facility and adjacent agricultural operations (detailed information must be shown on Site Plan) and provide factual/technical data supporting the effectiveness of said proposed buffering measures.

EXHIBIT 7

The solar field is not located immediately adjacent to any agricultural activities; however, the project is designed with substantial buffers on all sides. The Solar Facility Guidelines target a 50-foot buffer from property lines to facility structures, excluding fencing. The project site plan shows the following approximate buffers: over 1,200 feet along the north edge, 60 feet along the east edge, 61 feet along the south edge, and 130 feet along the west edge.

6. Provide a Reclamation Plan detailing the lease life, timeline for removal of the improvements and specific measures to return the site to the agricultural capability prior to installation of solar improvements.

A Reclamation Plan has been provided.

7. Provide information documenting efforts to locate the proposed solar facility on non-agricultural lands and non-contracted parcels and detailed information explaining why the subject site was selected.

The subject site was selected due to the lack of any active Williamson Act Contract or Conservation Easement on the parcel. The site is in a water-constrained area.

8. Develop and submit a project site Pest Management Plan to identify methods and frequency to manage weeds, insects, disease and vertebrate pests that may impact adjacent sites.

A Pest Management Plan has been provided.

9. The applicant must acknowledge the County's Right to Farm Ordinance and shall be required to record a Right to Farm Notice prior to issuance of any permits. This shall be included as a recommended Condition of Approval of the land use entitlement.

The Right to Farm Ordinance is acknowledged. The applicant will comply with any condition of approval imposed on the project requirement recording of such a notice on the parcel.

10. Note: The life of the approved land use permit will expire upon expiration of the initial life of the solar lease. If the solar lease is to be extended, approval of new land use permit will need to be obtained.

The duration of the land use permit is noted.

11. If the project is approved, the applicant shall make all reasonable efforts to establish a point of sale in Fresno County for equipment and construction related items necessary for the project.

The requirement for reasonable efforts to be undertaken to establish a point of sale in Fresno County is noted.

12. If the project is approved, the applicant shall make all reasonable efforts to conduct local recruitment efforts and/or coordinate with employment agencies in an attempt to hire from the local workforce.

The requirement for reasonable efforts to hire from the local workforce is noted.

13. In addition to disclosing the number of trips in the required project Operational Statement, the applicant shall disclose the weight of the shipments anticipated to the site. If the project is approved, pursuant to the CEQA analysis and based upon the existing road conditions and the weight/frequency of shipments to the site, the applicant shall mitigate impacts to County roads.

No shipments will be required to or from the site during operations. Only passenger cars and light trucks would routinely access the site for maintenance and security purposes.

14. If the project is approved, the applicant shall make all reasonable efforts to purchase products and equipment from local (Fresno County) manufacturing facilities and/or vendors.

The requirement for reasonable efforts to purchase products and equipment from local manufacturing facilities and/or vendors is noted.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: ForeFront Power
- APPLICATION NOS.: Initial Study Application No. 7441 and Unclassified Conditional Use Permit Application No. 3609
- DESCRIPTION: Allow a 5 MWac solar photovoltaic power generation facility on a 39-acre portion of a 79.7-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District.
- LOCATION: The project is located on West Jayne Avenue, 1.2 miles east of its intersection with State Route 33, and northerly adjacent to the nearest city limits of the City of Coalinga. (SUP. DIST. 4) (APN 073-060-12).

I. AESTHETICS

- A. Would the project have a substantial adverse effect on a scenic vista; or
- B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway?

FINDING: NO IMPACT:

The project is not located near a scenic vista, scenic highway, or any other scenic resource.

- C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project is located in a rural area, and the only nearby development is the Pleasant Valley State Prison, located directly to the south of the project on West Jayne Avenue. The project will be set back approximately 78 feet from the ultimate road right-of-way behind a 6-foot-tall chain-link fence with an additional foot of barbed wire on top. The angle of the solar panels will adjust with the movement of the sun, and at their maximum height, they will not be taller than the proposed fence.

The project will tie into the existing energy grid **by connecting to a PG&E (Pacific Gas & Electric) facility on the subject property** through a substation located less than one quarter-mile to the south, within the Pleasant Valley State Prison. The connection route will require the installation of new overhead power lines, with up to five new utility poles. There are existing above-ground utility lines running along the southern side of West Jayne Avenue, so the proposed connection will be compatible with the existing aesthetics of the area.

- D. Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The reflection of sunlight off of solar panel surfaces would be the primary source of potential glare from the Project. Solar panels are constituted of many solar cells which are designed to capture solar energy in order to convert it into usable energy. Therefore, solar panels are designed to be as absorptive as possible in order to maximize the efficiency of energy production. Additionally, solar panels are typically covered with a tempered glass layer that is treated with an anti-reflective coating that further reduces the reflectivity of the panels. When compared to common reflective surfaces, solar panels without an anti-reflective coating are found to produce around the same amount of reflectivity as water, which is about half the amount of reflectivity as standard glass that is commonly used in residential or commercial applications (Shields 2010). With the anti-reflective coating, the reflectivity of the panels is reduced to be significantly less than the reflectivity of water.

Lighting will be limited to small-scale lighting fixtures at the access point to the facility on W. Jayne Avenue. To ensure that these lights do not affect the surrounding area, the following mitigation will be included.

* **Mitigation Measure**

1. *Exterior lighting from dusk until dawn shall be minimized through the installation of the lowest wattage bulb necessary for safety purposes. All outdoor lighting shall also be hooded and directed downward so as not to shine upward or toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

- A. Would the project convert prime or unique farmlands or farmland of state-wide importance to non-agricultural use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project would convert 39 acres of locally-important farmland to non-farmland uses. No prime or unique farmland will be affected.

- B. Would the project conflict with existing agricultural zoning or Williamson Act Contracts?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project area is not subject to an existing Williamson Act Contract, but is located in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District. Only 39 of the 79.9 acres will be used for the proposed solar power generation facility; the remaining area could still be used for agricultural purposes. The Fresno County Department of Agriculture expressed no concerns regarding the project.

- C. Would the project conflict with existing zoning for or cause rezoning of forest land, timberland, or timberland zoned Timberland Production; or
- D. Would the project result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The proposed project is not in a forest or timberland area.

- E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural uses or conversion of forest land to non-forest use?

FINDING: LESS THAN SIGNIFICANT:

The proposed project only includes a solar generation facility; it will not create additional housing supply or otherwise affect population growth. A 50-foot or greater buffer between the solar facility and surrounding uses will ensure that the project does not interfere with surrounding agricultural operations.

III. AIR QUALITY

- A. Would the project conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Would the project violate any air quality standard or contribute to an existing or projected air quality violation; or
- C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- D. Would the project expose sensitive receptors to substantial pollutant concentrations; or
- E. Would the project create objectionable odors affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The County of Fresno is a non-attainment area for PM-10 and Ozone. The San Joaquin Valley Air Pollution Control District (SJVAPCD) reviewed an Air Impact Assessment (AIA) submitted by the applicant for this project and determined that it would produce less than two tons NOx per year and less than two tons PM10 per year, and would therefore not meet the threshold of significance. As a result, SJVAPCD determined that the project will have a less than significant impact on air quality and relevant air quality plans. To ensure that this is the case, the applicant will be required to adhere to the mandatory reporting guidelines set forth by the air district as a condition of project approval.

IV. BIOLOGICAL RESOURCES

- A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special-status species?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

A biological assessment submitted by the applicant, and review of the project by the California Department of Fish and Wildlife (CDFW) and U.S. Fish and Wildlife Service (USFWS), indicate that there is potential for protected species to be present in the project impact area and for those species to be affected by the proposed project. These protected species include the San Joaquin Kit Fox (SJKF), Blunt-nosed Leopard Lizard (BNLL), Tricolored Blackbird, Nelson's Antelope Squirrel (NAS), Swainson's Hawk (SWHA), Burrowing Owl (BUOW), California Glossy Snake, Northern California Legless Lizard, Blainville's Horned Lizard, Short-nosed Kangaroo Rat (SNKR), San Joaquin Coachwhip, Western Spadefoot, San Joaquin Woollythreads, California Jewelflower, Showy Golden Madia, Pale-yellow Layia, Recurved Larkspur, and Brittle scale.

The project site includes approximately 39 acres of land ~~and a gene-tie route~~, which could create substantial habitat disturbance to creatures already living or foraging there. However, once construction has ceased, the solar panel arrays and exposed soil should be habitable for creatures that live in the area, and it will still provide foraging opportunities for species such as the Swainson's Hawk. There will be infrequent visits to the site for maintenance purposes, but the proposed maintenance and operation will be substantially less threatening to protected species than previous agricultural activities, such as those allowed by right on this parcel according to the Fresno County General Plan. The following mitigation will ensure that any special-status species located on or near the project site are identified and avoided during construction, operation, and decommissioning.

* **Mitigation Measure(s)**

1. *Species-specific surveys shall be conducted by a qualified biologist and/or botanist no less than 14 days and no more than 30 days prior to the onset of any construction-related activities (including initial construction and decommissioning) for the San Joaquin Kit Fox (SJKF), Blunt-nosed Leopard Lizard (BNLL), Tricolored Blackbird, Nelson's Antelope Squirrel (NAS), Swainson's Hawk (SWHA), Burrowing Owl (BUOW), California Glossy Snake, Northern California*

Legless Lizard, Blainville's Horned Lizard, Short-nosed Kangaroo Rat (SNKR), San Joaquin coachwhip, Western Spadefoot, San Joaquin Woollythreads, California Jewelflower, Showy Golden Madia, Pale-yellow Layia, Recurved Larkspur, and Brittle-scale. These surveys shall include ~~the gene-tie route~~, all areas of proposed ground disturbance and construction activities, any construction staging areas, any area in which equipment will be operated and any additional land used for ingress and egress during construction activities. Additionally, a 500-foot buffer around the defined area will be surveyed for the BUOW, SJKF, NAS, and BNLL, a 50-foot buffer area will be surveyed for the SNKR, California Glossy Snake, Blainville's Horned Lizard, Northern California Legless Lizard, and sensitive plants, and a 0.5-mile buffer around the defined area will be surveyed for SWHA nests and tricolored blackbirds. If these buffer areas cannot be maintained, consultation with CDFW is required to determine how to avoid take.

- 2. If any species are identified in pre-construction surveys or during construction, operation, or decommissioning activities, the applicant shall notify CDFW immediately, cease all operation in the area, and consult with CDFW on how to minimize any potential impact to protected species.*
- 3. If BNLL burrows are identified during the pre-construction survey(s), all burrow openings shall be flagged and mapped, and 50-foot no-disturbance buffer zones around all burrow openings shall be maintained for foraging habitat throughout the project.*
- 4. If small mammal burrows suitable for BUOW are identified on the project site or within 250 feet of the project, additional BUOW surveys shall be conducted by a qualified biologist, and BUOW burrows shall be avoided with required buffers according to the "Staff Report on Burrowing Owl Mitigation" (CDFG, 2012).*
- 5. If any construction activities will occur between March 1 and September 15, the project area and a 0.5-mile buffer around the project area must be surveyed by a qualified biologist within 10 days of the onset of construction of activities to identify the presence of any Swainson's Hawk nests. If any nests are identified, no construction may take place within 0.5-miles of that nest until the end of breeding season (September 15) or until a qualified biologist determines that the young have fledged and are no longer dependent on the nest or parents for survival, and CDFW has provided written approval of the biologist's determination. If this 0.5-mile buffer cannot be maintained, consultation with CDFW is required.*
- 6. Implement the January 2011 "U.S. Fish and Wildlife Service Standardized Recommendations for Protection of the Endangered San Joaquin Kit Fox Prior to or During Ground Disturbance" for pre-construction survey protocol and avoidance measures, and maintain habitat permeability for SJKF on all perimeter and interior fencing.*

7. *If construction commences between January 1 and September 15 (bird nesting season) or lapses during this time for 10 or more days, a qualified biologist must survey for active bird nests within 10 days of the onset or resuming of construction activities to ensure that no active bird nests are in the project area that could be impacted by the construction. If nests are present, they must be monitored for the first 24 hours of any project related activities so as to detect any behavioral changes that result from project impacts. If behavioral changes are observed, work that is causing this change shall cease, and the applicant shall consult with the California Department of Fish and Wildlife (CDFW) for additional avoidance and minimization measures. In lieu of monitoring, the applicant may choose to implement 250-foot no disturbance buffers around active nests of non-listed, non-raptor bird species until the breeding season is over or a qualified biologist has determined that the birds have fledged and are no longer dependent upon the nest or parental care for survival. Variance from these buffer zones may be granted on a case by case basis, but this decision must be supported by a qualified biologist and CDFW must be notified of this determination prior to construction activities that would otherwise require a no-disturbance buffer.*
 8. *All vertical pipes associated with solar mounts and fencing must be capped immediately upon installation to avoid bird death or injury.*
 9. *If special status plant species are found, a no-disturbance buffer of at least 50-feet shall be implemented and delineated using flags, stakes, or other highly visible materials, and it shall be maintained for the duration of the project. If this is not feasible, alternative mitigation shall be agreed upon by the applicant and CDFW.*
 10. *No rodenticides, pesticides, or herbicides shall be used during construction, maintenance, or decommissioning of the proposed project.*
 11. *The applicant shall consult with CDFW on the use of biodegradable panel cleaning solution on the project site prior to use so that they may determine if an Incidental Take Permit (ITP) could be warranted.*
- B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS); or
 - C. Would the project have a substantial adverse effect on federally-protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption or other means; or
 - D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or

- E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

There is an intermittently flooded riverine wetland running through the northeastern corner of the parcel (USFWS, Wetlands Mapper), but it will not be disturbed by construction activities and is not included in an area that will be improved with solar panels. The project will only impact the southern half of the parcel, and will not come within 500 feet of the stream bed. The land that will be disturbed does not exhibit riparian characteristics, such as typical foliage. Additionally, the intermittent nature of the stream and the distance between the project and the stream will ensure that the movement of any native or migratory fish and wildlife are not impacted. No sensitive natural communities are identified in relevant local or regional policies, and the project will not conflict with any other ordinances protecting biological resources.

V. CULTURAL RESOURCES

- A. Would the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5; or
- B. Would the project cause a substantial adverse change in the significance of an archeological resource pursuant to Section 15064.5; or
- C. Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature; or
- D. Would the project disturb any human remains, including those interred outside of formal cemeteries; or
- E. Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The subject parcel has experienced agricultural ground disturbance in the past, most recently in 2017, and the proposed construction of solar arrays on the site should not require ground-disturbance activities substantially greater than that of an agricultural operation. There will also be limited ground disturbance on the southerly adjacent parcel where five utility poles will be installed to connect the proposed facility with an existing substation to facilitate energy transfer. This southerly adjacent parcel is already developed, and due to the limited disturbance that is proposed on this parcel, a less than significant impact is anticipated.

All interested tribes were notified of the proposed project per California Assembly Bill No. 52, and no tribes expressed any concerns or requested to consult on the project. Additionally, it has been determined through a cultural resources assessment and consultation with the Southern San Joaquin Valley Information Center that there are no known historic or cultural resources on site. The archaeological sensitivity of the site is unknown and it has not been previously surveyed. The following mitigation measure will ensure that no cultural resources are lost should they be encountered during the development of the proposed project.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. GEOLOGY AND SOILS

- A. Would the project expose people or structures to potential substantial adverse effects, including risk of loss, injury or death involving:
 1. Rupture of a known earthquake;
 2. Strong seismic ground shaking;
 3. Seismic-related ground failure, including liquefaction; or
 4. Landslides?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The probabilistic seismic hazard (10% probability in 50 years) for the project area is 40-60%, so seismic activity is a possibility in the area. There are no steep slopes in the vicinity, so landslides are unlikely. However, the facility will be unmanned and no residential structures are proposed as a part of the project, so risk of loss, injury, and death related to these phenomena will be less than significant.

- B. Would the project result in substantial erosion or loss of topsoil; or
- C. Would the project result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Some grading will be completed as a part of the project to provide a flat surface for the mounting of the solar arrays. The subject parcel and the surrounding area is already relatively flat, and all grading activities proposed will be reviewed and permitted by the County of Fresno's Department of Public Works and Planning. The existing conditions and required oversight will ensure that the project does not contribute to erosion, landslides, spreading, subsidence, liquefaction, or collapse.

- D. Would the project be located on expansive soils, creating substantial risks to life or property?

FINDING: NO IMPACT:

The project is not proposed in an area of expansive soils.

- E. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative disposal systems where sewers are not available for wastewater disposal?

FINDING: NO IMPACT:

No septic systems are proposed as a part of the project.

VII. GREENHOUSE GAS EMISSIONS

- A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Would the project conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project will produce greenhouse gas emissions during construction and decommissioning. However, these are short-term impacts and they do not meet the significance threshold level of two tons per year set forth by the Central Valley Air Quality Control Board. Therefore, they will not conflict with applicable plans and policies, nor will they have a significant effect on the environment. Only infrequent maintenance trips made in a single pickup truck will take place during the operation of the solar energy production facility.

VIII. HAZARDS AND HAZARDOUS MATERIALS

- A. Would the project create a significant public hazard through routine transport, use or disposal of hazardous materials; or

- B. Would the project create a significant public hazard involving accidental release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The construction, operation, and decommissioning of the proposed facility would require the limited use of hazardous materials. The Fresno County Department of Public Health, Environmental Health Division requires that facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Additionally, any business that handles hazardous materials or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95, and all hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CRR), Title 22, Division 4.5. Adherence to these guidelines is legally required and the impact is determined to be less than significant.

- C. Would the project create hazardous emissions or utilize hazardous materials, substances or waste within one quarter-mile of a school?

FINDING: NO IMPACT:

The proposed project is 5.9 miles away from the nearest school.

- D. Would the project be located on a hazardous materials site?

FINDING: LESS THAN SIGNIFICANT IMPACT:

There are no hazardous waste facilities on the subject parcel, but the southerly adjacent parcel is a reported small quantities generator of hazardous materials. ~~The southerly adjacent parcel (APN 085-020-35ST) is also where the substation that the project will connect to is located, and where five new utility poles will be installed to connect the proposed solar facility to the existing substation.~~ Federal records hosted by the Environmental Protection Agency (EPA) indicate that the facility is in compliance with all federal regulations. ~~Due to the very limited impact that the project will have on this parcel~~ **No ground disturbance will occur on the southerly adjacent parcel as a result of the proposed project, so** these hazardous materials should not be impacted. Additionally, the proposed facility will be unmanned and does not include any new housing. As a result, it can be determined that there will be a less than significant impact.

- E. Would a project located within an airport land use plan or, absent such a plan, within two miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area; or
- F. Would a project located within the vicinity of a private airstrip result in a safety hazard for people residing or working in the project area?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is located approximately 2.2 miles southeast of the Coalinga Municipal Airport. No housing is proposed and no employees will regularly be on site.

- G. Would the project impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Improvements will be made to the subject parcel, but no housing will be built and no employees will routinely be onsite. Additionally, no existing routes of travel will be blocked as a result of the proposed development. Therefore, the project will not interfere with any adopted emergency plans.

- H. Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project area is partially classified as being in Fire Hazard Class Non-Wildland/Non-Urban and is partially classified as having a Moderate Fire Hazard Class. Due to the 50-foot required buffer between the solar arrays and neighboring uses, the potential for a fire to start on site and spread to the surrounding area is reduced. No housing will be created and there will be no employees at the facility. Additionally, all plans must be approved by the Fresno County Fire Protection District (FCFPD) prior to permitting. Risk of loss, injury or death involving wildland fires will not be significantly impacted by the proposed project.

IX. HYDROLOGY AND WATER QUALITY

- A. Would the project violate any water quality standards or waste discharge requirements or otherwise degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The solar panels will be washed intermittently with a biodegradable panel cleaning solution that will be trucked in from off site. This solution will not be used within 500 feet of the seasonal stream that crosses the northeastern corner of the site. All water quality standards and waste discharge requirements will be adhered to.

- B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge so that there would be a net deficit in aquifer volume or a lowering of the local groundwater table?

FINDING: NO IMPACT:

There are no existing wells on site and no wells will be drilled. No water will be used during the operation of this facility. The local groundwater table and the aquifer will not be impacted.

- C. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site; or
- D. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in flooding on or off site?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

There is a seasonal stream that runs through the northeastern corner of the property (USFWS, Wetlands Mapper). However, only the southern half of the 79.7-acre property will be developed as a result of the project, and all construction activities will occur at least 500 feet from the streambed. To ensure a less than significant impact, the following mitigation will be incorporated.

* **Mitigation Measure**

1. *Delineate all surface water features, streams, and associated floodplains and vegetation within 500 feet of the project impact area. No construction may encroach within this area without first obtaining a Lake and Streambed Alteration Agreement (LSA) from the California Department of Fish and Wildlife (CDFW).*

- E. Would the project create or contribute run-off which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted run-off; or
- F. Would the project otherwise substantially degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No water will be used on site and most of the parcel's surface will remain permeable. Existing storm water drainage flows will not be significantly impacted, and a new drainage system will not be necessary as a result of the project.

- G. Would the project place housing within a 100-year floodplain; or
- H. Would the project place structures within a 100-year flood hazard area that would impede or redirect flood flows; or
- I. Would the project expose persons or structures to levee or dam failure; or
- J. Would the project cause inundation by seiche, tsunami or mudflow?

FINDING: NO IMPACT:

No housing is proposed and the subject parcel is located in an area of minimal flood hazard (FEMA Panel 06019C3250H). There will be no employees or residents on site, and there are no nearby levees or dams. The project is not near the ocean, a lake, or any steep slopes. The location and scope of the project precludes it from causing inundation by seiche, tsunami or mudflow.

X. LAND USE AND PLANNING

- A. Will the project physically divide an established community?

FINDING: NO IMPACT:

The project is located four miles west of the community of Coalinga and will result in the development of an agricultural parcel. The surrounding area includes the Pleasant Valley State Prison and agricultural land. No established communities will be divided.

- B. Will the project conflict with any Land Use Plan, policy or regulation of an agency with jurisdiction over the project?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project does conflict with Fresno County's Coalinga Regional Plan, which was adopted in 1974. This land use plan indicates that the project site should be reserved for a proposed reservoir. According to this plan, the reservoir was advocated for by the City of Coalinga. However, a reservoir in this location is not currently included in the City of Coalinga's land use plan, and the City has stated that it is not opposed to the proposed project and that they have no plans for a future reservoir or park near the project site. The project will not interfere with the future development plans of any local agencies.

- C. Will the project conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

FINDING: NO IMPACT:

There are no conservation plans applicable to the project area.

XI. MINERAL RESOURCES

- A. Would the project result in the loss of availability of a known mineral resource; or
- B. Would the project result in the loss of availability of a locally-important mineral resource recovery site designated on a General Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County General Plan Background Report (FCGPBR) indicates that the project is located on a known oil field. State Division of Oil, Gas, and Geothermal Resources records indicate that an oil well was previously drilled on the subject parcel, and that it was properly abandoned in 1954. The proposed development will not impact the availability of oil in the area, and the northern half of the parcel will remain undeveloped and could provide access to underground oil reserves if desired.

XII. NOISE

- A. Would the project result in exposure of people to severe noise levels; or
- B. Would the project result in exposure of people to or generate excessive ground-borne vibration or ground-borne noise levels; or
- C. Would the project cause a substantial permanent increase in ambient noise levels in the project vicinity; or
- D. Would the project result in a substantial temporary or periodic increase in ambient noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Construction activities will produce noise and vibration, but this will be a short-term impact. Once construction has been completed, minimal noise will be produced by infrequent maintenance activities and electrical equipment.

- E. Would the project expose people to excessive noise levels associated with a location near an airport or a private airstrip; or
- F. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is approximately 2.2 miles southeast of Coalinga Municipal Airport. The proposed solar facility will have no employees and will create no new housing. No people will be exposed to excessive air traffic noise as a result of the project.

XIII. POPULATION AND HOUSING

- A. Would the project induce substantial population growth either directly or indirectly; or
- B. Would the project displace substantial numbers of existing housing; or
- C. Would the project displace substantial numbers of people, necessitating the construction of housing elsewhere?

FINDING: NO IMPACT:

No housing will be created or destroyed, and no employees will work on site. Population and housing will not be impacted.

XIV. PUBLIC SERVICES

A. Would the project result in substantial adverse physical impacts associated with the provision of new or physically-altered public facilities in the following areas:

1. Fire protection;
2. Police protection;
3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: NO IMPACT:

The generation of solar energy will not affect any public facilities or services, nor will it create an increased demand for such services.

XV. RECREATION

- A. Would the project increase the use of existing neighborhood and regional parks; or
- B. Would the project require the construction of or expansion of recreational facilities?

FINDING: NO IMPACT:

The proposed project will not affect the population or demographics of the area. Recreational facilities will not be affected.

XVI. TRANSPORTATION/TRAFFIC

- A. Would the project conflict with any applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation; or
- B. Would the project conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demands measures; or
- C. Would the project result in a change in air traffic patterns?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Less than one traffic trip per day will be made for security and maintenance purposes. Circulation, congestion, and air traffic volume will not be impacted.

D. Would the project substantially increase traffic hazards due to design features?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The solar arrays are oriented to be perpendicular to West Jayne Avenue so that sunlight will not be reflected toward the road. The project will not create traffic hazards.

E. Would the project result in inadequate emergency access?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The only nearby development is the Pleasant Valley State Prison, and emergency access to this facility will not be impacted because it is located across the street from the project. The proposed facility will be gated, but no housing will be built, and all plans will be subject to the approval of the Fresno County Fire Protection Department.

F. Would the project conflict with adopted plans, policies or programs regarding public transit, bicycle or pedestrian facilities or otherwise decrease the performance or safety of such facilities?

FINDING: NO IMPACT:

Ridership, access, and safety of public transit and pedestrian facilities will not be impacted by the installation of a solar energy facility on an undeveloped parcel in a sparsely-developed area.

XVII. UTILITIES AND SERVICE SYSTEMS

- A. Would the project exceed wastewater treatment requirements; or
- B. Would the project require construction of or the expansion of new water or wastewater treatment facilities; or
- C. Would the project require or result in the construction or expansion of new storm water drainage facilities; or
- D. Would the project have sufficient water supplies available from existing entitlements and resources, or are new or expanded entitlements needed; or
- E. Would the project result in a determination of inadequate wastewater treatment capacity to serve project demand; or
- F. Would the project be served by a landfill with sufficient permitted capacity; or

- G. Would the project comply with federal, state and local statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No solid waste will be generated during the operation of the facility. Any solid waste produced during construction will be carried off site and disposed of appropriately.

No wastewater will be produced because no water will be used on site, no structures will be built on site, and no people will live or work on site. A biodegradable panel cleaning solution will be used to clean the solar panels instead of water.

The installation of solar panels will slightly reduce permeability, but not to the extent that storm water drainage facilities would be necessary.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California prehistory or history?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Potential impacts to Aesthetics, Biological Resources, Cultural Resources, and Hydrology and Water Quality were identified. However, incorporation of the Mitigation Measures indicated in Section I, IV, V, and IX will ensure that these impacts are not significant.

- B. Does the project have impacts that are individually limited, but cumulatively considerable?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No cumulative impacts, such as traffic congestion, greenhouse gas emissions, water quality, or aquifer depletion were identified during the review of this project.

- C. Does the project have environmental impacts which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No adverse impacts to human beings, either direct or indirect, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Unclassified Conditional Use Permit Application No. 3609, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, Public Services, and Recreation.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Land Use Planning, Mineral Resources, Noise, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant.

Potential impacts relating to Aesthetics, Biological Resources, Cultural Resources, and Hydrology and Water Quality have been determined to be less than significant with compliance with the Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

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File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7441	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Danielle Crider, Planner	Area Code: 559	Telephone Number: 600-9669	Extension: N/A
Applicant (Name): Forefront Power		Project Title: CUP 3609	
Project Description: Allow a 5 MWac solar photovoltaic power generation facility on a 39-acre portion of a 79.7-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District. This project is located on West Jayne Avenue, 1.2 miles east of its intersection with State Route 33, and northerly adjacent to the nearest city limits of the City of Coalinga. (SUP. DIST. 4) (APN 073-060-12).			
Justification for Negative Declaration: Based upon the Initial Study prepared for Unclassified Conditional Use Permit Application No. 3609, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, Public Services, and Recreation. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Land Use Planning, Mineral Resources, Noise, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Biological Resources, Cultural Resources, and Hydrology and Water Quality have been determined to be less than significant with compliance with the mitigation measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 24, 2018		Review Date Deadline: Planning Commission – October 25, 2018	
Date: TBD	Type or Print Signature: Danielle Crider Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**