



PLANNING COMMISSION AGENDA

Room 301, Hall of Records
2281 Tulare Street
Northwest Corner of Tulare & M
Fresno, CA 93721-2198

Contact: Planning Commission Clerk
Phone: (559) 600-4497
Email: knovak@fresnocountyca.gov
Call Toll Free: 1-800-742-1011 – Ext. 04497

Web Site: <http://www.co.fresno.ca.us/PlanningCommission>

AGENDA October 10, 2019

8:45 a.m. - CALL TO ORDER

INTRODUCTION

Explanation of the REGULAR AGENDA process and mandatory procedural requirements. Staff Reports are available on the table near the room entrance.

PLEDGE OF ALLEGIANCE

ROLL CALL

CONSENT AGENDA

Items listed under the Consent Agenda are considered to be routine in nature and not likely to require discussion. Prior to action by the Commission, the public will be given an opportunity to comment on any consent item. The Commission may remove any item from the Consent Agenda for discussion.

There are no consent agenda items for this hearing.

REGULAR AGENDA

1. **PUBLIC PRESENTATIONS** (This portion of the meeting is reserved for persons desiring to address the Planning Commission on any matter within the Commission's jurisdiction and not on this Agenda.)
2. **INITIAL STUDY APPLICATION NO. 7655; AMENDMENT APPLICATION NO. 3837 and VARIANCE APPLICATION NO. 4073** filed by **MICHAEL BLAS** on behalf of **HARRIS FARMS INC.**, proposing to rezone a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District and include a Variance to allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District. The subject parcel is located on the east side of E. Trimmer Springs Road approximately 4.3 miles north of its intersection with Belmont Avenue and 7.8 miles northeast of the nearest city limits of the City of Sanger (Sup. Dist. 5) (APN 158-070-40S). Adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7655, and take action on Amendment Application No. 3837 and Variance Application No. 4073 with Findings and Conditions.

-Contact person, Ejaz Ahmad (559) 600-4204, email: eahmad@fresnocountyca.gov

- Staff Report Included

-Individual Noticing

3. **INITIAL STUDY APPLICATION NO. 7611** and **UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3648** filed by **JASON OSBORNE** on behalf of **CROWN CASTLE**, proposing to allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the unincorporated community of Caruthers (SUP. DIST. 4) (APN 042-200-06S). Adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7611, and take action on Unclassified Conditional Use Permit Application No. 3648 with Findings and Conditions.

-Contact person, Thomas Kobayashi (559) 600-4224, email: tkobayashi@fresnocountyca.gov

-Staff Report Included

-Individual Noticing

4. **INFORMATION/DISCUSSION ITEM:**

Report from staff on prior Agenda Items, status of upcoming Agenda, and miscellaneous matters.

-Contact person, Marianne Mollring (559) 600-4569, email: mmollring@fresnocountyca.gov

PROGRAM ACCESSIBILITY AND ACCOMMODATIONS: The Americans with Disabilities Act (ADA) Title II covers the programs, services, activities and facilities owned or operated by state and local governments like the County of Fresno ("County"). Further, the County promotes equality of opportunity and full participation by all persons, including persons with disabilities. Towards this end, the County works to ensure that it provides meaningful access to people with disabilities to every program, service, benefit, and activity, when viewed in its entirety. Similarly, the County also works to ensure that its operated or owned facilities that are open to the public provide meaningful access to people with disabilities.

To help ensure this meaningful access, the County will reasonably modify policies/ procedures and provide auxiliary aids/services to persons with disabilities. If, as an attendee or participant at the meeting, you need additional accommodations such as an American Sign Language (ASL) interpreter, an assistive listening device, large print material, electronic materials, Braille materials, or taped materials, please contact the Current Planning staff as soon as possible during office hours at (559) 600-4497 or at knovak@fresnocountyca.gov. Reasonable requests made at least 48 hours in advance of the meeting will help to ensure accessibility to this meeting. Later requests will be accommodated to the extent reasonably feasible.

MM:ksn

G:\4360Devs&PIn\PROJSEC\PLANNING COMMISSION\Agendas\2019 Agendas & Action Summaries\2019-10-10 Agenda.docx



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 2 October 12, 2019

SUBJECT: Initial Study Application No. 7655 and Amendment Application No. 3837; Variance Application No. 4073

Rezone a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District and include a Variance to allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District.

LOCATION: The subject parcel is located on the east side of E. Trimmer Springs Road approximately 4.3 miles north of its intersection with Belmont Avenue and 7.8 miles northeast of the nearest city limits of the City of Sanger (Sup. Dist. 5) (APN 158-070-40S).

OWNER: Harris Farms, Inc.; Hazelton Farms, Inc.
APPLICANT: Michael Blas

STAFF CONTACT: Ejaz Ahmad, Planner
(559) 600-4204

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Recommend that the Board of Supervisors adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7655; and
- Recommend that the Board of Supervisors find that the proposed rezone of a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District is consistent with the General Plan and Kings River Regional Plan, and approve a Variance to allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size in the AE-20 Zone District and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District; and
- Direct the Secretary to prepare a Resolution to forward Amendment Application (AA) No. 3837 and Variance (VA) Application No. 4073 to the Board of Supervisors with a recommendation of approval, subject to the Mitigation Measures and Conditions of Approval as listed in the Staff Report.

EXHIBITS:

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Uses Allowed Under the Current AL-40 (Limited Agricultural) Zoning
6. Uses Allowed Under the Proposed AE-20 (Exclusive Agricultural) Zoning
7. Approved Variance within One-Mile Radius
8. Applicant’s Statement of Variance Findings for VA No. 4073
9. Existing and Proposed Parcel Configuration
10. Summary of Initial Study Application No. 7655
11. Draft Mitigated Negative Declaration

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agriculture in the Kings River Regional Plan	No change
Zoning	AL-40 (Limited Agricultural), 40-acre minimum parcel size	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)
Parcel Size	15.10 acres	<ul style="list-style-type: none"> • 2.5 acres • 12.6 acres
Project Site	Orchard	<ul style="list-style-type: none"> • Rezone a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District; and • Allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size in the

Criteria	Existing	Proposed
		AE-20 Zone District and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District.
Structural Improvements	None	None
Nearest Residence	235 feet to the west	None
Surrounding Development	Orchard; Kings River packing and storage facility	No change
Operational Features	N/A	N/A
Employees	N/A	N/A
Customers	N/A	N/A
Traffic Trips	N/A	N/A
Lighting	N/A	N/A
Hours of Operation	N/A	N/A

Setback, Separation and Parking

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	AL-40 Zone District: Front: 35 feet Sides: 20 feet Rear: 20 feet	AE-20 Zone District: Front: 35 feet Sides: 20 feet Rear: 20 feet	N/A. No development proposed
Parking	No requirement	No requirement	N/A. No development proposed
Lot Coverage	No requirement	No requirement	N/A. No development proposed
Separation Between Buildings	No requirement	No requirement	N/A. No development proposed
Wall Requirements	Per Section 855-H.2 of the Zoning Ordinance	Per Section 855-H.2 of the Zoning Ordinance	N/A. No development proposed

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Septic Replacement Area	100 percent for the existing system	100 percent for the existing system	N/A. No development proposed
Water Well Separation	Building sewer/septic tank: 50 feet; disposal field: 100 feet; seepage pit/cesspool: 150 feet	Building sewer/septic tank: 50 feet; disposal field: 100 feet; seepage pit/cesspool: 150 feet	N/A. No development proposed

Circulation and Traffic

		Existing Conditions	Proposed Operation
Public Road Frontage	Yes	Trimmer Springs Road; Good condition	No change
Direct Access to Public Road	Yes	Trimmer Springs Road; Good condition	No change
Road ADT		1200	No change
Road Classification		Arterial	No change
Road Width		40-foot right-of-way east of the centerline of Trimmer Springs Road (minimum Arterial right-of-way east of centerline is 42 feet)	Two (2) feet additional right-of-way required east of centerline required
Road Surface		Asphalt concrete paved	No change
Traffic Trips		N/A	N/A. No development proposed
Traffic Impact Study (TIS) Prepared	Yes	N/A	No TIS required by the Design Division of the Fresno County Department of Public Works and Planning
Road Improvements Required		Good	No change

Surrounding Properties

	Size:	Use:	Zoning:	Nearest Residence:
North	19.78 acres	Fruit Packing Facility	AE-20	None

	Size:	Use:	Zoning:	Nearest Residence:
South	42 acres	Orchard	AL-20	None
East	N/A	Kings River	O	N/A
West	581.7 acres	Orchard; Single-family residences	AE-20	235

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

Initial Study No. 7655 was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is included as Exhibit 10.

PUBLIC NOTICE:

Notices were sent to four property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

A rezoning is a legislative act requiring action by the Board of Supervisors. A decision by the Planning Commission in support of a rezoning request is an advisory action requiring an affirmative vote of the majority of its total membership. Should the Planning Commission recommend approval, a subsequent hearing date before the Board of Supervisors will be scheduled as close to the Commission’s action as practical to make the final decision on the Amendment Application. Information for that hearing will be provided under separate notice.

A Variance (VA) Application may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

Both Applications (AA and VA) represent an interrelated request for a single project and must be approved concurrently or denied concurrently.

BACKGROUND INFORMATION:

County records indicate that the subject 15.10-acre parcel was zoned Interim A-2 (General Agricultural District) on September 25, 1962 and was later rezoned to AE-40 (Exclusive Agricultural; 40-acre minimum parcel size). On May 4, 1982 Amendment Application No. 3244 (Ord. No. R-3244) was approved, which changed the parcel zoning from the AE-40 Zone District to an AL-40 (Limited Agricultural, 40-acre minimum parcel size) Zone District. The parcel currently holds AL-40 zoning.

Under the subject proposal, the Applicant is proposing to rezone a 2.5-acre portion of the subject 15.10-acre parcel from the AL-40 Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District and include a Variance to allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size in the AE-20 Zone District

and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District.

The subject parcel contains orchard with no improvements. The adjacent parcel to the north is developed with a fruit packing and storage facility and the parcels to the south and west contain orchard. Kings River flows to the east of the parcel.

Should the subject rezone and Variance requests be approved, Hazelton Farms, Inc. will acquire the proposed 2.5-acre parcel from its owner (Harris Farms, Inc.) and merge it with the adjacent 19.78-acre parcel developed with a fruit packing and storage facility (Kings River Packing). The merger will provide additional land to the facility for its future expansion. The Applicant will submit a Property Line Adjustment (PLA) application with the County to adjust the property boundaries between the two parcels, resulting in an adjusted 22.28-acre parcel in the AE-20 Zone District. The PLA process will be completed only after the approval of the subject rezone and Variance requests.

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy LU-A.12: In adopting land use policies, regulations and programs, the County shall seek to protect agricultural activities from encroachment of incompatible land uses.</p> <p>General Plan Policy LU-A.13: The County shall protect agricultural operations from conflicts with non-agricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations.</p> <p>General Plan Policy LU-A.14: The County shall ensure that the review of discretionary permits include an assessment of the conversion of productive agricultural land and that mitigation be required where appropriate.</p>	<p>The subject proposal entails rezoning of a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The subject parcel contains orchard with no improvements. With no development proposed by this application and the rezoned parcel to remain in farming operation, no impact on adjacent agricultural operations is expected from this proposal. The proposal is consistent with Policies LU-A.12, 13 and 14.</p>
<p>General Plan Policy PF-C.17: County shall, prior to consideration of any discretionary projects related to land use, undertake a water supply evaluation. The evaluation shall include a determination that the water supply is adequate to meet the highest demand that could be permitted on the lands in question and if groundwater is proposed, a hydrological investigation may be required to confirm the availability of water in amounts necessary to meet project demand.</p>	<p>The project site is not located in a water-short area. Due to no development proposed, there will be no impact on groundwater resources. The Water and Natural Resources Division of the Fresno County Department of Public Works and Planning expressed no water-related concerns with the project.</p>

Reviewing Agency/Department Comments:

Southern San Joaquin Valley Information Center: A professional archeologist shall conduct an archeological survey prior to any ground-disturbance activities resulting from future development proposals on the property. This has been included as a Mitigation Measure.

State Water Resources Control Board, Division of Drinking Water (SWRCB-DDW): The Applicant shall submit a preliminary technical report to SWRCB-DDW in compliance with Senate Bill 1263 six months prior to any water-related construction for the future development on the property.

Development Engineering Section of the Fresno County Department of Public Works and Planning: On-site turnarounds shall be required for vehicles leaving the site to enter Trimmer Springs Road in a forward motion. No new access points shall be allowed without prior approval. Any development within the area identified as Zone A per FEMA, FIRM Panel 1645H shall comply with the County Flood Hazard Ordinance (Title 15.48). Any improvements constructed near the canal that runs through the subject parcel shall be coordinated with the owners of the canal. Any additional runoff generated by the proposed development of this site shall be retained or disposed of per County Standards. Future development proposals shall require an Engineered Grading and Drainage Plan to show how additional storm water runoff generated by the development will be handled without adversely affecting adjacent properties and a grading permit will be required prior to site grading.

Fresno County Fire Protection District: Future development proposals shall adhere to the Fire and Building Code and shall require annexation to Community Facilities District No. 2010-01 of the District.

Zoning Section of the Fresno County Department of Public Works and Planning: A mapping procedure shall be required for the merger of the proposed 2.50-acre parcel with the 19.78-acre parcel.

The aforementioned requirements have been included as Project Notes.

Table Mountain Rancheria Tribal Government; Native American Heritage Commission; Regional Water Quality Control Board; California Department of Fish and Wildlife; U.S. Fish and Wildlife Service; Fresno County Department of Public Health, Environmental Health Division; Fresno County Department of Agriculture; Water and Natural Resources Division; Road Maintenance and Operations Division, Design Division, Site Plan Review Section, Mapping Section, and Building and Safety Sections of the Fresno County Department of Public Works and Planning: No concerns with the project.

ANALYSIS/GENERAL PLAN CONSISTENCY:

The subject 15.10-acre parcel is designated Agriculture in the Kings River Regional Plan and zoned AL-40 (Limited Agricultural, 40-acre minimum parcel size) in the County Zoning Ordinance. The subject proposal would allow the rezone of a 2.5-acre portion of the subject parcel from an AL-40 Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

The subject parcel contains orchard with no improvements. The adjacent parcel to the north is developed with a fruit packing and storage facility and the parcels to the south and west contain orchard. The Kings River flows to the east of the parcel.

One fundamental issue regarding any rezone request is whether the proposed zone change is consistent with the General Plan. According to the Zoning Compatibility Matrix for the General Plan, the proposed AE-20 Zone District is conditionally compatible with land designated Agriculture.

The “AE” District is an exclusive agricultural district intended for agriculture, and for those uses which are necessary and an integral part of the agricultural operation. Likewise, the “AL” District is a limited agricultural district intended to protect the general welfare of the agricultural community by limiting intensive uses in agricultural areas where such uses may be incompatible with, or injurious to, other less intensive agricultural operations. The subject proposal is located in an area zoned for exclusive agricultural and limited agricultural uses.

Although the AE-20 Zone District allows more agricultural uses than those allowed in the AL-40 Zone District, the difference between the two districts, however, is insignificant. As such, the proposed rezone of a 2.5-acre portion of a 15.10-acre parcel from the AL-40 to an AE-20 Zone District will have less impact on the surrounding land uses. The proposed rezoning involves no development and matches with the AE-20 zoning on the adjacent 19.78-acre parcel and other parcels near the proposal. Surrounding parcels are zoned AE-20, AL-20 and AL-40 and designated Agriculture in the Kings River Regional Plan.

An Initial Study (IS) prepared for this proposal has identified potential impacts related to cultural resources. To mitigate the impact, an archeological survey will be required prior to any ground-disturbing activities and any cultural resources or human remains discovered during ground-disturbance activities will require all work to be stopped and findings to be evaluated by an archeologist. Potential impacts related to aesthetics, hydrology and water quality, land use and planning, public services, tribal cultural resources, and utilities and service systems have been determined to be less than significant. As no development is proposed by the subject applications, the Mitigation Measures, Conditions of Approval and Project Notes (mandatory project requirements) as noted in Exhibit 1 of this report would more appropriately apply to the future development on the property.

Pursuant to AB (Assembly Bill) 52, the subject proposal was routed to the Santa Rosa Rancheria Tachi Yokut Tribe, Picayune Rancheria of the Chukchansi Indians, Dumna Wo Wah Tribal Government, and Table Mountain Rancheria, providing them an opportunity to consult under Public Resources Code (PRC) Section 21080.3(b). No tribe responded with a request for consultation. As the project site is located in an area designated to be highly sensitive for archeological resources, the Mitigation Measures included in Exhibit 1 of this report will safeguard Tribal Cultural Resources (TCRs) prior to and during any ground-disturbance activities.

Based on the above information, and with adherence to the Mitigation Measures, Conditions of Approval, and mandatory Project Notes, staff believes that the subject rezoning from the AL-40 Zone District to an AE-20 Zone District will not have an adverse effect upon surrounding properties. The proposal is consistent with the Fresno County General Plan and Kings River Regional Plan.

Recommended Conditions of Approval:

See Mitigation Measures, Conditions of Approval and Project Notes attached as Exhibit 1.

ANALYSIS/DISCUSSION – VARIANCE APPLICATION NO. 4074 to allow a 2.5-acre parcel in the AE-20 Zone District and a 12.6-acre parcel in the AL-40 Zone District as legal non-conforming parcels

County records indicate that one Variance Application pertaining to lot size was filed within a one-mile radius of the subject property (Exhibit 7). The following table provides a brief summary of that Variance request, staff recommendation, and final action by the Planning Commission:

Application/Request	Staff Recommendation	Final Action	Date of Action
Variance No. 3564 – Allow a 6.23-acre parcel and a 8.98-acre parcel resulting from a property line adjustment between a 4.80-acre parcel and a 10.41-acre parcel, and allow reduced area and frontage/width and an excessive depth-to-width ratio for zoning areas within the above-referenced parcels in the AE-20, AE-160, RC-40, and “O” Zone Districts.	Approval if the Commission makes Findings 1 and 2	Planning Commission Approved	March 20, 1997

Finding 1: There are exceptional or extraordinary circumstances or conditions applicable to the property involved which do not apply generally to other property in the vicinity having the identical zoning classification; and

Finding 2: Such Variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the vicinity having the identical zoning classification.

Reviewing Agencies/Department Comments:

Zoning Section of the Fresno County Department of Public Works and Planning: A Variance shall be required to allow the creation of a 2.5-acre parcel in the AE-20 Zone District and a 12.6-acre parcel in the AL-40 Zone District as legal non-conforming parcels.

No other Agencies or Departments, including the Fresno County Department of Agriculture, offered comments specific to the proposal.

Analysis:

In support of Finding 1, the Applicant states that they seeks to acquire a 2.5-acre portion of a 15.10-acre parcel to merge to the adjacent 19.78-acre parcel for future expansion of Kings River Packing (KRP) facilities. The merged 2.5 acres will retain its agricultural land use with an AE-20 zoning and will allow for improved circulation to the facility and its access points. The rezone of the 2.5-acre parcel from AL-40 to AE-20 would match the adjacent parcel, make this merger possible, and allow the remaining 12.6 acres to maintain AL-40 Zoning.

In support of Finding 2, the Applicant states that the acquisition of a 2.5-acre parcel would square the current odd shaped parcel to Trimmer Springs Road and allow for safer, more efficient access for employees and large trucks servicing the facility. The Applicant further states that squaring the parcel would significantly improve the circulation of the facility and accommodate the turning template of the large freight vehicles accessing from Trimmer Springs Road.

In order to make Findings 1 and 2, it must be demonstrated that there are exceptional circumstances relating to the physical characteristics of the property and that the Variance is needed to avoid a loss of a substantial property right. In this case, the Applicant is proposing to allow the creation of a 2.5-acre parcel in the AE-20 Zone District and a 12.6-acre parcel in the AL-40 Zone District through the subject Variance and rezone requests. The 2.5-acre AE-20-zoned parcel will merge with an adjacent 19.78-acre AE-20-zoned parcel developed with a fruit packing and storage facility. The adjusted 22.28-acre parcel will accommodate the future expansion of the facility.

With regard to Finding No. 1 and 2, upon reviewing the current parcel configuration (Exhibit 9) and aerial view of the parcel and its surrounding, staff concurs with the Applicant regarding the parcel's irregular shape and its location in reference to the adjacent parcel. The subject parcel is triangular and its most northerly portion abuts with Trimmer Springs Road and southern boundary of the adjacent 19.78-acre parcel containing a fruit packing and storage facility. Acquisition of a 2.5-acre parcel through the subject proposal and merging it with the abutting parcel will make the westerly half of the southern boundary of the new parcel parallel to its northern boundary and perpendicular to Trimmer Springs Road. Staff believes that squaring off the parcel as desired by the Applicant and shown on Exhibit 9 of this report will help improve site access points off Trimmer Springs Road and on-site circulation for vehicles and trucks serving the facility.

A consideration in addressing Findings 1 and 2 is whether there are alternatives available that would avoid the need for the Variance. Given the circumstances described by the Applicant in "Applicant's Submitted Findings" (Exhibit 8), there appears to be no other alternative that would meet the Applicant's desire to create a 2.5-acre AE-20-zoned parcel to merge with the 19.78-acre AE-20-zoned parcel to provide for additional land for improved traffic circulation for the future expansion of the existing fruit packing facility.

Based on the above analysis and considering the site's physical characteristics and need to improve traffic circulation for the expansion of the existing fruit packing facility, staff believes Findings 1 and 2 can be made.

Recommended Condition of Approval:

None.

Conclusion:

Findings 1 and 2 can be made.

Finding 3: *The granting of a Variance will not be materially detrimental to the public welfare or injurious to property and improvement in the vicinity in which the property is located.*

Reviewing Agencies/Department Comments:

See above **Reviewing Agency/Department Comments** for AA No. 3837

Analysis:

In support of Finding 3, the Applicant states that the rezoning of a 2.5-acre parcel from AL-40 to AE-20 will conform with the Fresno County’s General Plan Agricultural use designation and will have no detrimental effects on public well-being. Similarly, the creation of a 12.6-acre parcel with current AL-40 zoning will conform to the Fresno County’s General Plan Agricultural use designation and will have no detrimental effects on public well-being. Furthermore, granting the rezone and Variance requests will help the fruit packing and storage facility improve its quality of service to the surrounding area.

With regard to Finding 3, staff notes that the subject parcel and the abutting parcels to the south and west contain orchard with single-family dwellings and related improvements. A fruit packing facility is located on the north side and Kings River is located on the east side of the subject parcel. Should the proposed rezone and Variance requests be granted approval, the proposed 2.5-acre parcel, upon merging with the adjacent 19.78-acre parcel through a property line adjustment, will retain its agricultural use (orchard). Likewise, the 12.6-acre parcel (balance of the 15.10-acre parcel) will also retain its agricultural use (orchard) for an unforeseeable period. Considering the parcel’s agricultural compatibility with the surrounding agricultural uses, staff is unaware of any adverse impact that the granting of this Variance will cause.

Recommended Conditions of Approval:

See Mitigation Measures, Conditions of Approval and Project Notes attached as Exhibit 1.

Conclusion:

Finding 3 can be made.

Finding 4: The granting of such a Variance will not be contrary to the objectives of the General Plan.

Relevant Policies:	Consistency/Considerations:
Policy LU-A.6: The County shall maintain twenty (20) acres as the minimum permitted parcel size in areas designated Agriculture, except as provided in Policy LU-A.9, LU-A.10 and LU-A.11.	The subject proposal involves the creation of two parcels less than 20 acres in the AE-20 Zone District. The proposal does not qualify for an exception under Policies LU-A.9, due to the parcel not being a financing parcel, gift lot, or owned by the property owner prior to the date the policies were implemented. The proposal also lacks qualifications for exemptions provided in Policy LU-A.10 (entails development of an agricultural commercial center) and Policy LU-A. 11 (entails recovery of mineral resources).
Policy LU-A. 7: The County shall generally deny requests to create parcels less than the minimum size specified in Policy LU-A.6 based on concerns that these parcels	The subject 15.10-acre parcel contains orchard. This Variance, in conjunction with a rezone request, proposes to create a 2.5-acre parcel in the AE-20 Zone District and a 12.6-acre parcel

Relevant Policies:	Consistency/Considerations:
<p>are less viable economic farming units, and that the resultant increase in residential density increases the potential for conflict with normal agricultural practices on adjacent parcels. Evidence that the affected parcel may be an uneconomic farming unit due to its current size, soil conditions, or other factors shall not alone be considered a sufficient basis to grant an exception. The decision-making body shall consider the negative incremental and cumulative effects such land divisions have on the agricultural community.</p>	<p>in the AL-40 Zone District. The 2.5-acre parcel will merge with the adjacent 19.78-acre parcel to make a 22.28-acre parcel in the AE-20 Zone District. Both parcels will remain in the farming operation consistent with agricultural operations on adjacent parcels. Additionally, the proposal will not create additional parcels or increase residential density in the area.</p>

Reviewing Agencies/Department Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The subject parcel is not enrolled in the Williamson Act Program. The Agriculture and Land Use Element of the General Plan maintains 20 acres as the minimum parcel size in areas designated for Agriculture. Policies LU-A.6 and LU-A.7 state that the County shall generally deny requests to create parcels less than the minimum size specified in areas designated Agriculture.

Analysis:

In support of Finding 4, the Applicant states that granting a rezone for a 2.5-acre parcel will allow it to keep its current agricultural use and granting of a Variance for the creation of a 12.6-acre parcel will allow it to keep its current land use. The project will have no impact on the Fresno County General Plan Agricultural use designation.

The subject property is designated Agriculture in the Kings River Regional Plan. General Plan Policies LU-A.6 and LU-A.7 require a minimum parcel size of 20 acres as a means of encouraging continued agricultural production and minimizing the amount of land converted to non-agricultural uses. The subject proposal involves the creation of a 2.5-acre parcel that is less than the minimum 20-acre parcel size required in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District and a 12.6-acre parcel that is less than the minimum 40-acre size required in the AL-40 (Limited Agricultural, 40-acre minimum parcel size) Zone District.

With regard to Finding 4, General Plan policies seek to minimize the loss of productive agricultural land and generally provide for a minimum parcel size of 20 acres. In the case of the subject proposal, the proposed 2.5-acre parcel is currently planted in orchard and will merge with the adjacent parcel to form a new 22.28-acre parcel exceeding the minimum parcel size required in the AE-20 Zone District. The proposed 12.6-acre parcel is also planted in orchard and will remain in agricultural use.

Staff notes that the parcel merger will not result in the creation of additional parcels and, as the parcels' current agricultural use will remain intact, there will be no negative impact or any conflict with agricultural uses on the adjacent farmland. As such, the subject Variance request and related rezone does not appear to violate the intention of the General Plan Policies. Furthermore, this proposal was reviewed by the Fresno County Department of Agriculture,

which raised no concerns regarding the effect of the proposed parcelization to agriculture.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 4 can be made.

CONCLUSION:

Staff believes that the proposed rezone from the AL-40 (Limited Agricultural, 40-acre minimum parcels size) Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District is consistent with the Fresno County General Plan and the Kings River Regional Plan and recommends approval of Amendment Application No. 3837 and Variance No. 4073, subject to the Mitigation Measures, Conditions of Approval and Project Notes attached as Exhibit 1.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Recommend that the Board of Supervisors adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7655; and
- Recommend that the Board of Supervisors find that the proposed rezone of a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District is consistent with the General Plan and Kings River Regional Plan, and approve the Variance to allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size in the AE-20 Zone District and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District; and
- Direct the Secretary to prepare a Resolution to forward Amendment Application No. 3837 and Variance Application No. 4073 to the Board of Supervisors with a recommendation of approval, subject to the Mitigation Measures and Conditions of Approval as listed in the Staff Report.

Alternative Motion (Denial Action)

- Determine the proposed rezone of a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District is inconsistent with the General Plan and Kings River Regional Plan and deny Amendment Application No. 3837 and Variance No. 4073 (state basis for denial); and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

EA:ksn

G:\4360Devs&PIn\PROJSEC\PROJDOCS\AA\3800-3899\3837 - See VA 4073\SR\AA 3837 VA 4074 SR.docx

**Mitigation Monitoring and Reporting Program
Initial Study Application No. 7655
Amendment Application (AA) No. 3837; Variance Application No. 4073
(Including Conditions of Approval and Project Notes)**

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Cultural Resources	A professional archeologist shall conduct an archeological survey prior to any ground-disturbing activities resulting from development activities on the 2.5-acre parcel.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PW&P)	As noted
2.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/ PW&P	As noted
Conditions of Approval					
1.	A mapping procedure is required to merge the proposed 2.5-acre parcel with the 19.78-acre parcel. The project proponent shall file a Property Line Adjustment (PLA) application with the Development Engineering Section of the Fresno County Department of Public Works and Planning.				
2.	<p>Trimmer Springs Road is classified as an Arterial with an existing 40-foot right-of-way east of the centerline along the parcel frontage. The minimum width for an Arterial right-of-way east of the centerline is 42 feet. The owner of the subject property shall record a document irrevocably offering the northerly 2 feet of the subject property to the County of Fresno as future right-of-way for Trimmer Springs Road.</p> <p>Note: A preliminary title report or lot book guarantee is required before the irrevocable offer of dedication can be processed. The owner is advised that where deeds of trust or any other type of monetary liens exist on the property, the cost of obtaining a partial reconveyance, or any other document required to clear title to the property, shall be borne by the owner or developer.</p>				

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

Project Notes

The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.

1.	The Applicant shall submit a preliminary technical report to the State Water Resources Control Board – Division of Drinking Water in compliance with Senate Bill 1263 six months prior to any water-related construction for the future development on the property.
2.	Future development proposals shall adhere to the Fire and Building Codes and shall annex to Community Facilities District No. 2010-01 of the Fresno County Fire Protection District.
3.	<p>To address grading and drainage impacts resulting from future development proposals, the Development Engineering Section of the Fresno County Department of Public Works and Planning requires the following:</p> <ul style="list-style-type: none">• An Engineered Grading and Drainage Plan to show how additional storm water runoff generated by the development will be handled without adversely affecting adjacent properties• A Grading Permit or Voucher for site grading• On-site turnarounds for vehicles leaving the site to enter the Arterial road in a forward motion• No new access points shall be allowed without prior approval.• Any development within the area identified as Zone A per FEMA, FIRM Panel 1645H shall comply with the County Flood Hazard Ordinance (Title 15.48).• Any improvements constructed near the canal that runs through the subject parcel shall be coordinated with the owners of the canal.• Any additional runoff generated by the proposed development of this site shall be retained or disposed of per County Standards.

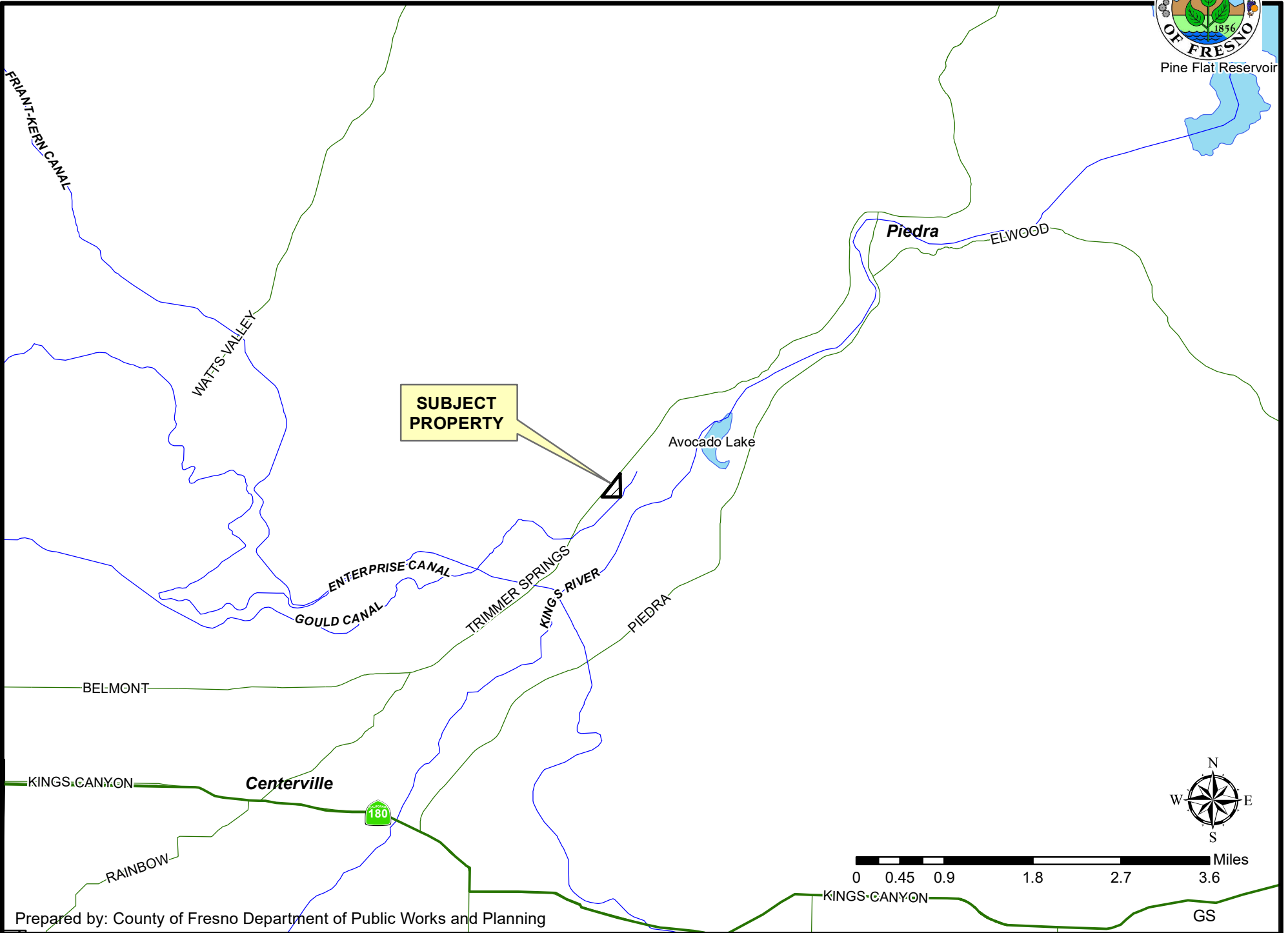
EA:ksn

G:\4360Devs&Pln\PROJSEC\PROJDOCS\AA\3800-3899\3837 - See VA 4073\SR\AA 3837 VA 4074 MMRP (Ex 1).docx

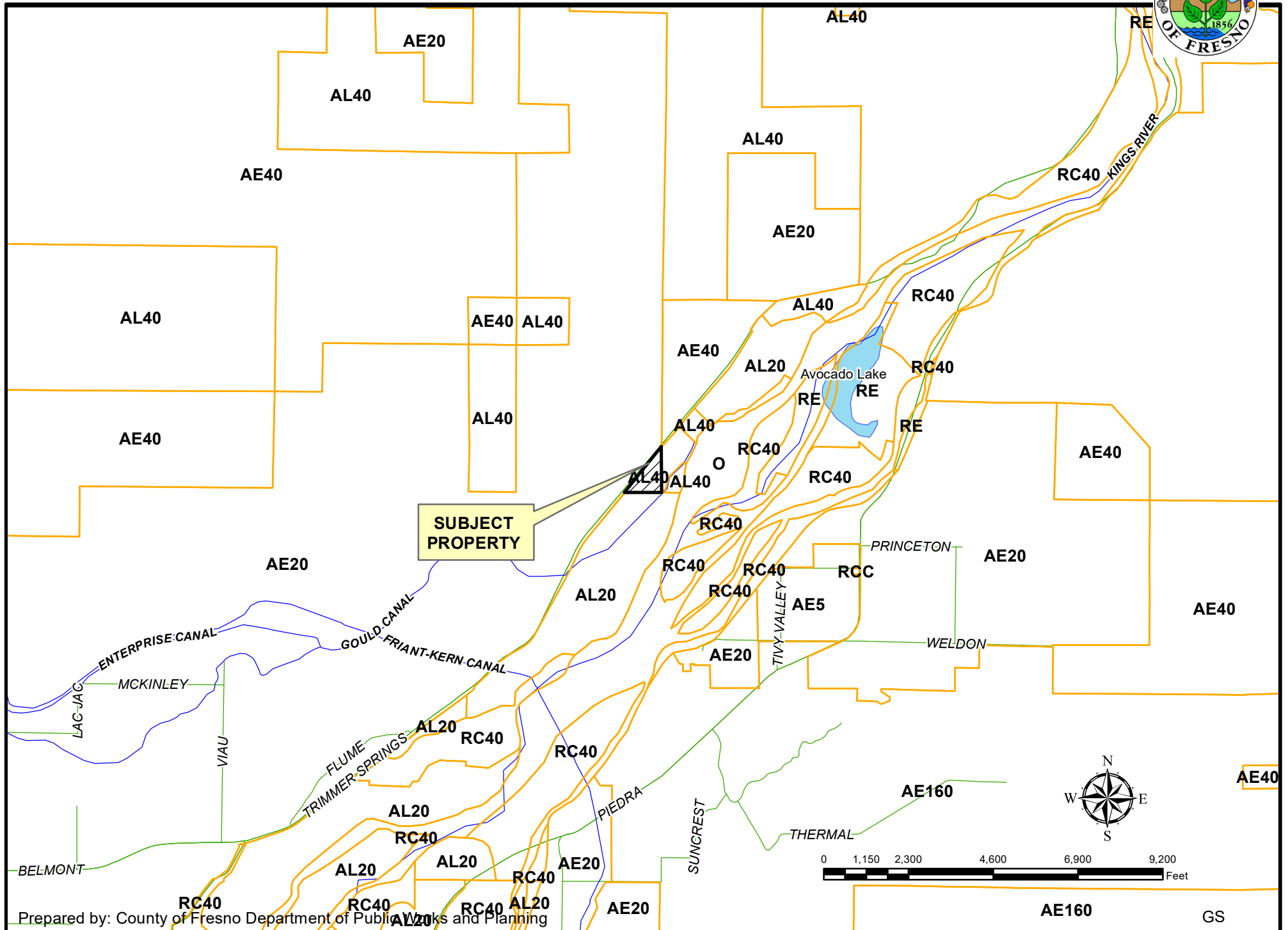
LOCATION MAP



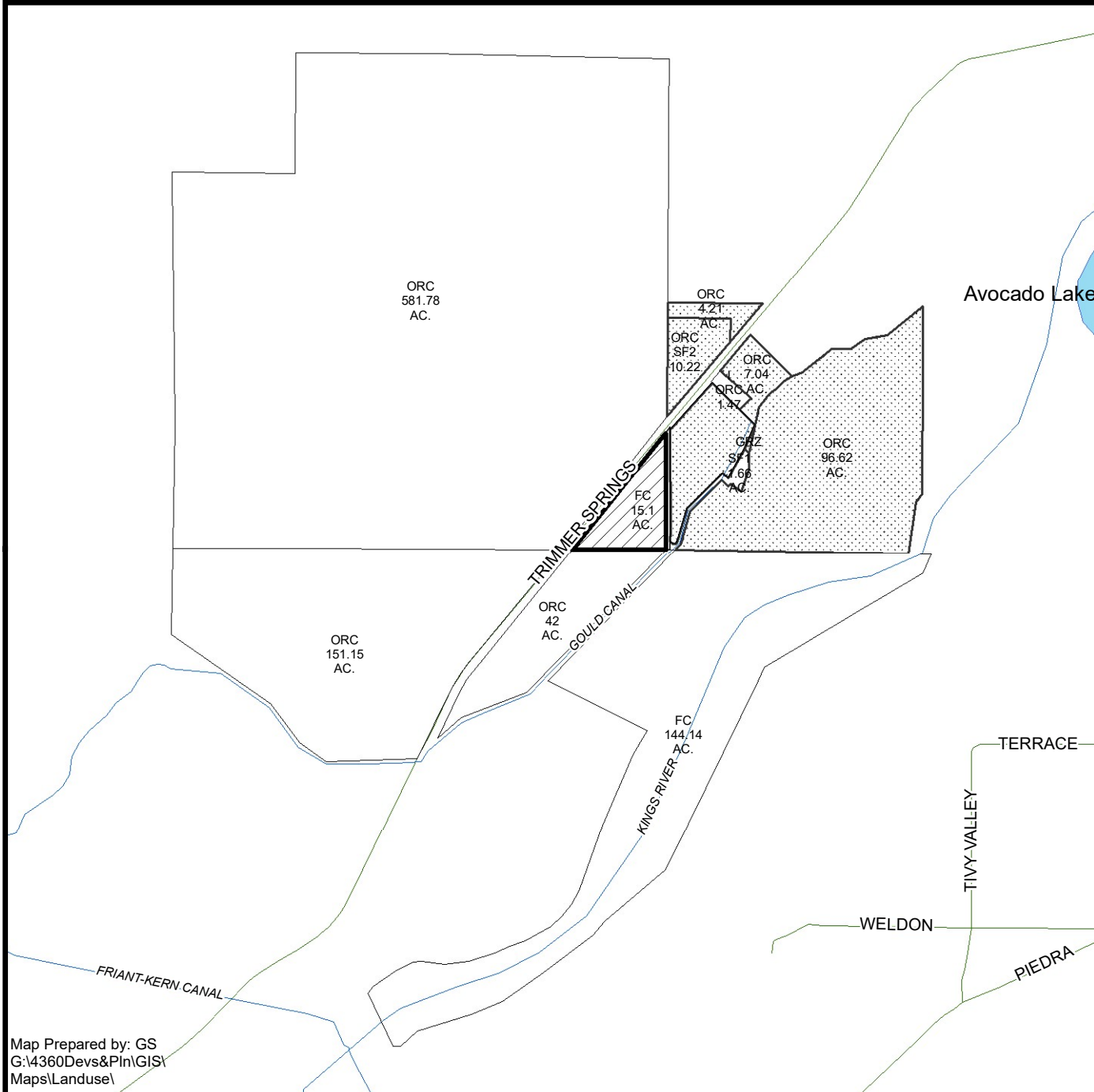
Pine Flat Reservoir



EXISTING ZONING MAP



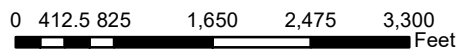
EXISTING LAND USE MAP



LEGEND	
FC	FIELD CROP
GRZ	GRAZING
I	INDUSTRIAL
ORC	ORCHARD
SF#	SINGLE FAMILY RESIDENCE
V	VACANT

LEGEND:

- Subject Property
- Ag Contract Land



Department of Public Works and Planning
Development Services Division

Map Prepared by: GS
G:\4360Devs&Plan\GIS\Maps\Landuse\

SECTION 817

"AL" - LIMITED AGRICULTURAL DISTRICT

The "AL" District is a limited agricultural district. It is intended to protect the general welfare of the agricultural community by limiting intensive uses in agricultural areas where such uses may be incompatible with, or injurious to, other less intensive agricultural operations. The District is also intended to reserve and hold certain lands for future urban use by permitting limited agriculture and by regulating those more intensive agricultural uses which, by their nature, may be injurious to non-agricultural uses in the vicinity or inconsistent with the express purpose of reservation for future urban use.

The "AL" District shall be accompanied by an acreage designation which establishes the minimum size lot that may be created within the District. Acreage designation of 640, 320, 160, 80, 40, and 20 are provided for this purpose. Parcel size regulation is deemed necessary to carry out the intent of this District.

(Section 817 added by Ord. 490.117 adopted 10-5-76; amended by Ord. 490.188 adopted 10-29-79)

SECTION 817.1 - USES PERMITTED

The following uses shall be permitted in the "AL" Districts. All uses shall be subject to the Property Development Standards in Section 817.5.

(Amended by Ord. 490.174 re-adopted 5-8-79; Ord. 490.188 adopted 10-29-79)

- A. The maintaining, breeding and raising of bovine and equine animals except dairies, feed lots and uses specified in Sections 817.2 and 817.3.

(Amended by Ord. 490.174 re-adopted 5-8-79)

- B. The keeping of rabbits and other similar small fur-bearing animals for domestic use.

(Amended by Ord. T-038-306 adopted 5-22-90)

- C. The maintaining, breeding, and raising of poultry for domestic use not to exceed five hundred (500) birds and the maintaining, breeding, and raising of poultry for FFA, 4-H, and similar organizations.

(Added by Ord. T-038-306 adopted 5-22-90).

- D. The raising of tree, vine, field, forage, and other plant life of all kinds, except mushroom growing.

(Added by Ordinance 490.174 re-adopted 5-8-79)

- E. One family dwellings, accessory buildings, and farm buildings of all kinds, when located upon farms and occupied or used by the owner, farm tenant, or other persons employed thereon or the non-paying guests thereof; provided, however, that a residence once constructed and used for one of the foregoing uses, and no longer required for such use shall acquire a nonconforming status and may be rented for residential purposes without restriction.

- F. Home Occupations, Class I, subject to the provisions of Section 855-N.
(Amended by Ord. T-288 adopted 2-25-86)
- G. The use, storage, repair, and maintenance of tractors, scrapers, and land leveling and development equipment devoted primarily to agricultural uses when operated in conjunction with, or as part of, a bona fide agricultural operation.
- H. Apiaries and honey extraction plants subject to the provisions of Section 855-N.
- I. Signs, subject to the provisions of Section 817.5-K.
- J. Temporary or permanent telephone booths.
- K. Storage of petroleum products for use by the occupants of the premises but not for resale or distribution.
- L. Mobile home occupancy consisting of one or more mobile homes, subject to the provisions of Section 856 and Section 817.1-D.
- M. Historic and monument sites.
- N. The harvesting curing, processing, packaging, packing, shipping, and selling of agricultural products produced upon the premises, or where such activity is carried on in conjunction with, or as a part of, a bona fide agricultural operation.

(Added by Ord. T-052-286 adopted 3-8-94)

SECTION 816

"AE" EXCLUSIVE AGRICULTURAL DISTRICT

The "AE" District is intended to be an exclusive district for agriculture and for those uses which are necessary and an integral part of the agricultural operation. This district is intended to protect the general welfare of the agricultural community from encroachments of non-related agricultural uses which by their nature would be injurious to the physical and economic well-being of the agricultural district.

The "AE" District shall be accompanied by an acreage designation which establishes the minimum size lot that may be created within the District. Acreage designations of 640, 320, 160, 80, 40, 20, 5 are provided for this purpose. Parcel size regulation is deemed necessary to carry out the intent of this District.

(Amended by Ord. 490.38 adopted 11-21-67)

SECTION 816.1 - USES PERMITTED

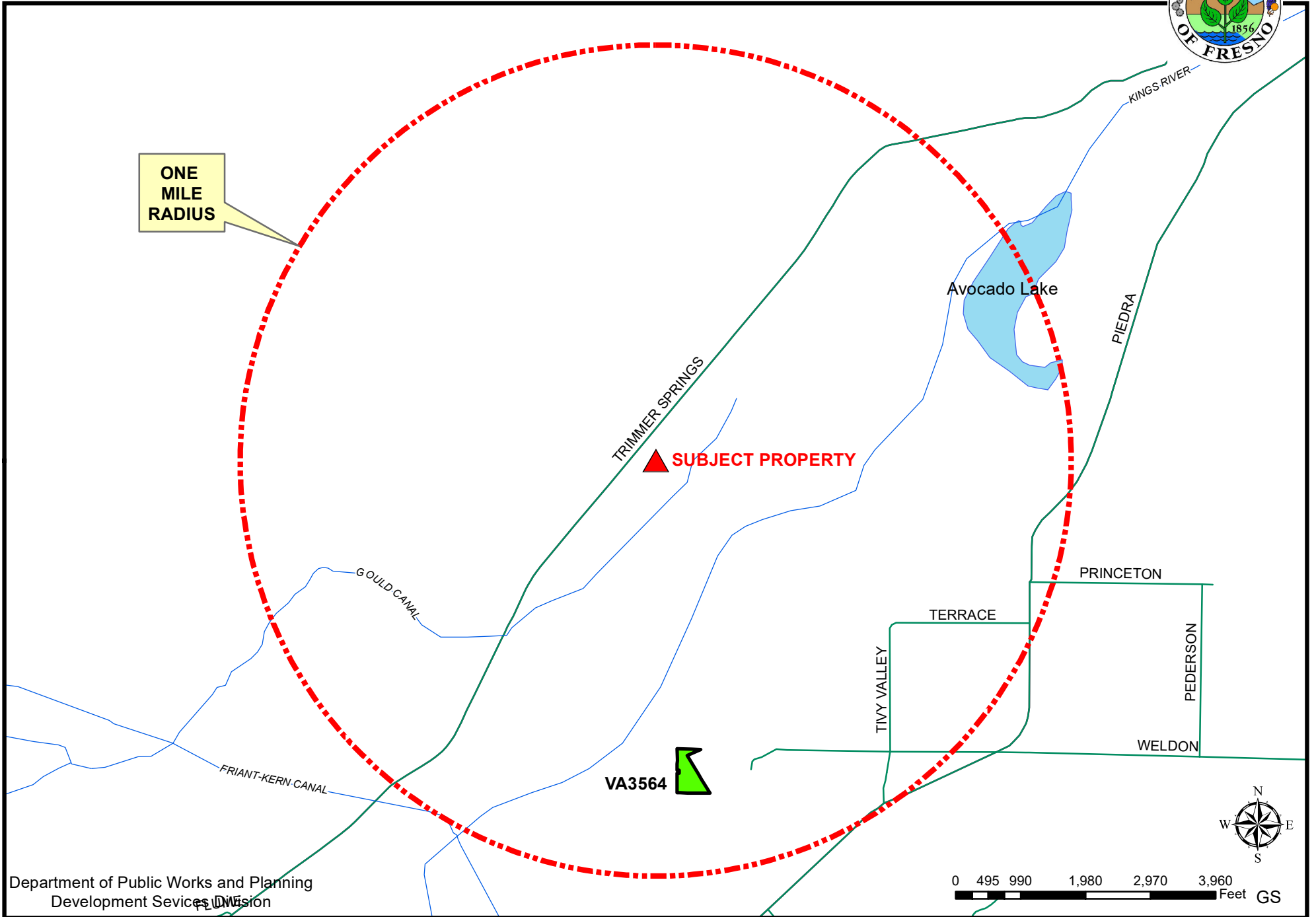
The following uses shall be permitted in the "AE" Districts, except as otherwise provided in Subsection K of Section 816.2 for Interstate Interchange Impact Areas. All uses shall be subject to the Property Development Standards in Section 816.5

(Amended by Ord. 490.95 adopted 11-27-73; Ord. 490.174 re-adopted 5-8-79)

- A. The maintaining, breeding, and raising of livestock of all kinds, except as provided in Sections 816.2 and 816.3.
(Amended by Ord. 490.117 adopted 10-5-76; Ord. T-038-306 adopted 5-22-90)
- B. The maintaining, breeding, and raising of poultry of all kinds, subject to the provisions of Section 868.
(Added by Ord. T-038-306 adopted 5-22-90)
- C. The raising of tree, vine, field, forage, and other plant life crops of all kinds.
(Amended by Ord. T-077-352, adopted 3-2-04)
- D. One family dwellings and accessory buildings and farm buildings of all kinds, when located upon farms and occupied or used by the owner, farm tenant or other persons employed thereon or the non-paying guests thereof; provided, however, that a residence once constructed and used for one of the foregoing uses, and no longer required for such use shall acquire a nonconforming status and may be rented for residential purposes without restriction.
- E. Home Occupations, Class I, subject to the provisions of Section 855-N.
(Amended by Ord. T-288 adopted 2-25-86)
- F. The harvesting, curing, processing, packaging, packing, shipping, and selling of agricultural products produced upon the premises, subject to the provisions of 855-N.32
(Amended by Ord. T-077-352, adopted 3-2-04).
- G. When carried on as a clearly secondary occupation in conjunction with a bona fide agricultural operation, where no more than ten (10) percent of the total land is used and where no more than three (3) persons other than the owner are employed in such activities, and which are owned and operated by the owner or occupant of the premises, any of the following uses:

1. The manufacturing, maintenance, repair, servicing, storage, sale or rental of agricultural machinery, implements and equipment of all kinds.
 2. The manufacture, storage or sale of farm supplies of all kinds, including but not limited to fertilizers, agricultural minerals and insecticides.
 3. The transportation of agricultural products, supplies or equipment together with the maintenance, storage, repair and servicing of the necessary trucks and equipment therefor.
 4. Horticultural and landscaping services, when operated in conjunction with horticultural nurseries.
(Added by Ord. 490.65 adopted 8-4-70)
- H. The maintenance of temporary and permanent farm labor camps when carried on as a secondary function in conjunction with a bona fide agricultural operation. The density standards of Section 816.5-C shall not apply.
(Amended by Ord. 490.31 adopted 10-11-66)
- I. The use, storage, repair and maintenance of tractors, scrapers, and land leveling and development equipment when operated in conjunction with, or as part of, a bona fide agricultural operation;
(Amended by Ord. 490.117 adopted 10-5-76)
- J. Apiaries and honey extraction plants subject to the provisions of Section 855-N.
- K. Signs, subject to the provisions of Section 816.5-K.
- L. Temporary or permanent telephone booths.
- M. Storage of petroleum products for use by the occupants of the premises but not for resale or distribution.
- N. Trailer house occupancy consisting of one or more trailers, subject to the provisions of Section 856 and 816.1-C.
(Amended by Ord. 490.18 adopted 12-29-64; Ord. 490.81 adopted 10-24-72)
- O. Breeding and personal kennels.
(Added by Ord. 490.36 adopted 7-25-67)
- P. Historic and monument sites.
(Added by Ord. 490.117 adopted 10-5-76)
- Q. Water-well drilling or pump installation service.
(Added by Ord. 490.117 adopted 10-5-76; amended by Ord. 490.157 adopted 9-19-78)
- R. Welding and blacksmith shops and farm equipment and machinery sales, rental storage, and maintenance facilities when in conjunction with welding and blacksmith shops.
(Added by Ord. 490.117 adopted 10-5-76)
- S. Value-added agricultural uses and facilities subject to the provisions of Section 855-N.32 and Section 874.
(Added by Ord. T-077-352, adopted 3-2-04)

VARIANCES WITHIN A ONE-MILE RADIUS



Variance Findings

1. There are exceptional or extraordinary circumstances or conditions applicable to the property involved which do not apply generally to other properties in the vicinity having the identical zoning classification;
 - Hazelton Farms, Inc. seeks to acquire the north-east 2.5-acres of APN: 158-080-40s to merge to the adjacent property APN: 158-070-79. The merging of these two parcels is essential to create room within the new parcel for necessary future expansion of Kings River Packing (KRP) facilities. KRP services many of the surrounding farmlands and the 2.5-acre addition will make future expansion possible to keep up with demand. The merged 2.5-acres would retain its agricultural land use with an AE-20 zoning and would allow for improved circulation to the facility and its access points.
 - A rezone of the 2.5-acre parcel from AL-40 to AE-20 would match the adjacent parcel and make this merger possible.
 - Granting the Variance will allow the remaining 12.6-acres of APN: 158-080-40s to keep its current zoning.

2. Such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the vicinity having the identical zoning classification;
 - Adding the 2.5-acres from APN: 158-080-40s to APN: 158-070-79 would allow KRP to expand its current operations. As the main packing service provider for farms in the area, KRP will need to expand its facilities to keep up with future demand.
 - Acquisition of the 2.5-acres would help to square the current odd shaped parcel to Trimmer Springs Road and allow for safer, more efficient access for employees and large trucks servicing the facility. Squaring the parcel would significantly improve the circulation of the facility and accommodate the turning template of the large freight vehicles accessing from Trimmer Springs Road.

3. The granting of the variance will not be materially detrimental to the public welfare or injurious to property and improvement in the vicinity in which the property is located;
 - Granting the 2.5-acre rezone to AE-20 will not affect the general public and will remain in conformance with Fresno County's General Plan Agricultural use designation.
 - Granting the variance to keep the remaining 12.6-acres AL-40 zoning will not affect the general public and will remain in conformance with Fresno County's General Plan Agricultural use designation.
 - Granting the rezone and variance of the parcels in question will allow for KRP to improve its quality of service to the surrounding farm lands.

AA3837/VA4073

RECEIVED
COUNTY OF FRESNO

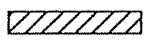

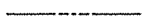
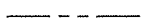
SEP 25 2019

EXHIBIT 8

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

4. The granting of such variance will not be contrary to the objectives of the Fresno County General Plan.
 - Granting of a Rezone for the 2.5 -acre parcel in question will allow it to keep its current land use and would therefore not impact the Fresno County's General Plan.
 - Granting of a Variance for the 12.6-acre parcel in question will allow it to keep its current land use and would therefore not impact the Fresno County's General Plan.

LEGEND:

-  ADJUSTED PARCEL LINE
-  SUBJECT PROPERTY BOUNDARY
-  SECTION LINE
-  EXISTING PROPERTY LINE

AA3037/VA4073

RECEIVED
COUNTY OF FRESNO

JUL 03 2019

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

APN 158-070-39S

EAST TRIMMER SPRINGS ROAD

PORTION OF PARCEL TO
BE REZONED TO AE-20
AREA=2.50 ACRES

APN 158-070-40s

PORTION OF PARCEL
TO REMAIN AL-40
AREA=12.6 ACRES

APN 158-011-03S

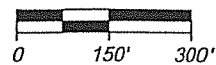
APN 158-070-76

APN 158-070-65

APN 158-070-79



SCALE 1" = 300'



P:\CIVIL 3D PROJECTS\201818-285\DOCUMENTS\EXHIBITS\18-285 EXHIBITS.DWG 6/22/2019 9:35:17 AM



<i>EXHIBIT</i>
DESCRIPTION: PROPERTY REZONE

PROJECT NAME:	
KINGS RIVER PACKING	
06/26/2019	17-205

SHEET
1 OF 2

EXHIBIT 9

AA 3037/VA 4073

RECEIVED
COUNTY OF FRESNO

JUL 03 2019

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

APN 158-070-29

APN 158-070-76

APN 158-070-65

APN 158-070-79

APN 158-070-39S

APN 158-070-40s

EAST TRIMMER SPRINGS ROAD

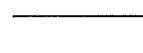


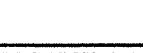
PORTION OF PARCEL
TO BE ADJUSTED



SCALE 1" = 300'



LEGEND:

-  ADJUSTED PARCEL LINE
-  SUBJECT PROPERTY BOUNDARY
-  SECTION LINE
-  EXISTING PROPERTY LINE

EXHIBIT

PROJECT NAME:

SHEET



DESCRIPTION:
PROPERTY LINE ADJUSTMENT
ONSITE LOCATION

KINGS RIVER PACKING

2 OF 2

06/26/2019

17-205

P:\CIVIL 3D PROJECTS\10181814-246\DOCUMENTS\EXHIBITS\18-285 EXHIBITS.DWG 07/03/19 9:16:07 AM



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Michael Blas on behalf of Harris Farms Inc.
- APPLICATION NOS.: Initial Study Application No. 7655, Amendment Application No. 3837 and Variance Application No. 4073
- DESCRIPTION: Rezone a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District and include a Variance to allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District.
- LOCATION: The subject parcel is located on the east side of E. Trimmer Springs Road approximately 4.3 miles north of its intersection with Belmont Avenue and 7.8 miles northeast of the City of Sanger (Sup. Dist. 5) (APN 158-070-40S).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

The subject parcel is located in an agricultural area marked by large-size parcels. No scenic vistas or scenic resources, including rock outcroppings, or historic buildings were identified on or near the subject parcel. The parcel is located along Trimmer Springs Road, which is identified as a Scenic Drive in the County General Plan. General Plan Policy OS-L.3 requires that scenic drives shall adhere to a 200-foot setback of natural open space. Due to no development proposed, no impact on scenic quality of the road would occur from this proposal.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are

DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION
2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 600-4497 / 600-4022 / 600-4540 / FAX 600-4200
The County of Fresno is an Equal Employment Opportunity Employer

experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel contains orchard with no improvements. Agricultural fields are located to the west of the subject parcel and the water channels of Kings River flow along the easterly side of the parcel. The adjacent parcel to the north is developed with a fruit packing and storage facility and the parcel to the south contains orchard.

The "AE" District is an exclusive agricultural district intended for agriculture and for those uses which are necessary and an integral part of the agricultural operation. Likewise, the "AL" District is a limited agricultural district intended to protect the general welfare of the agricultural community by limiting intensive uses in agricultural areas where such uses may be incompatible with, or injurious to, other less intensive agricultural operations. The subject proposal is located in an area zoned for exclusive agricultural and limited agricultural uses.

Although the AE-20 Zone District allows more agricultural uses than those allowed in the AL-40 Zone District, the difference between the two districts, however, is insignificant. As such, the proposed rezone of a 2.5-acre portion of a 15.10-acre parcel from the AL-40 to an AE-20 Zone District will have less impact on the surrounding land uses. The proposed rezoning on the subject parcel involves no development and matches with the AE-20 zoning on the adjacent 19.78-acre parcel. Any use requiring land use entitlement under the AE-20 Zone District will be assessed as to its visual impact based on the use being proposed and adherence to the above-noted General Plan Policy OS-L.3.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: NO IMPACT:

The subject applications propose no development. As such, no lighting impacts will result from this proposal.

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and

forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use; or
- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract; or
- C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or
- D. Result in the loss of forest land or conversion of forest land to non-forest use; or
- E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The subject parcel is not forest land or timberland and is classified as Prime Farmland and Farmland of Statewide Importance on the Fresno County Important Farmland Map 2014. In addition, the land is not enrolled in the Williamson Act Program.

Per the County Ordinance, the project site is currently zoned AL-40 (Limited Agricultural, 40-acre minimum parcel size) and is designated Agriculture in the Kings River Regional Plan. The proposed rezoning from the AL-40 Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District is compatible with the Agriculture designation.

The Fresno County Department of Agriculture (Ag Commissioner's Office) reviewed the subject proposal and expressed no concerns with the subject rezoning and Variance requests.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard; or
- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: NO IMPACT:

The San Joaquin Valley Air Pollution Control District reviewed the subject proposal and expressed no concerns related to air quality. No impact would occur.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: NO IMPACT:

The San Joaquin Valley Air Pollution Control District review of the proposal identified no impact on air quality.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: NO IMPACT:

The subject 15.10-acre parcel is located in an agricultural area and has been previously disturbed due to agricultural activities. Currently, it contains orchard.

The proposal was routed to the U.S. Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) for review and comments. No concerns were expressed by either agency. Therefore, no impacts were identified concerning any candidate, sensitive, or special-status species; or any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by CDFW or USFWS.

- C. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

No impacts were identified in regard to federally-protected wetlands. A canal that runs approximately 350 feet south of the subject 2.5-acre parcel subject to this rezone request is not a protected wetland and does not provide habitat for sensitive species.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

The project area cannot be characterized as an area for migratory wildlife species or suitable for migratory wildlife corridors. The project site has been farmed for a number of years. The surrounding lands have also been in farming operations and disturbed by farming activities.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The subject proposal involves no development and does not conflict with any biological resources related to tree preservation policy or any adopted Conservation Plans.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION
INCORPORATED:

The project is located within an area designated to be highly sensitive for archeological resources. The Southern San Joaquin Valley Information Center (SSJVIC) reviewed the subject proposal and recommended no archeological survey of the property except for prior to any ground-disturbing activities. The Native American Heritage Commission (NAHC) also conducted a Sacred Lands Search for the project site and reported negative results in its search for any sacred sites. The following mitigation measure will be incorporated to address cultural resources prior to any ground-disturbing activities or in the event that resources are identified during any ground-disturbing activities.

* **Mitigation Measure**

1. *A professional archeologist shall conduct an archeological survey prior to any ground-disturbing activities resulting from development activities on the 2.5-acre parcel.*
2. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: NO IMPACT:

The subject proposal involves no development. No environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources would occur.

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault; or
 2. Strong seismic ground shaking; or
 3. Seismic-related ground failure, including liquefaction; or
 4. Landslides?

FINDING: NO IMPACT:

The project site is not located near a fault line. Per Figure 9-2 of the Fresno County General Plan Background Report (FCGPBGR), the nearest San Andreas fault is more than 40 miles southwest of the site. Likewise, per Figure 9-6 of FCGPBGR, the project site is not in an identified area of landslide hazard.

B. Result in substantial soil erosion or loss of topsoil?

FINDING: NO IMPACT:

Per Figure 7-3 of the Fresno County General Plan Background Report, the project area is prone to erosion hazard. However, no erosion or loss of topsoil would occur from the proposal, which involves no site development.

C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse; or

D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

Per Figure 7-1 of the Fresno County General Plan Background Report, the project site is near moderately-high to high expansive soils due to its proximity to Kings River and Friant Kern canal. However, the project site itself is not located on expansive soil.

E. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

FINDING: NO IMPACT:

There are no septic systems associated with this proposal. No impact relating to disposal of wastewater would occur.

F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion above in Section V. CULTURAL RESOURCES.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: NO IMPACT:

No impacts related to greenhouse gas emission were identified in the project analysis. The subject proposal involves no development.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment; or
- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one quarter-mile of an existing or proposed school?

FINDING: NO IMPACT:

The subject proposal does not involve transport, use, disposal, release, or handling of hazardous materials. No impact would occur.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

The project site is active farmland and not a hazardous material site. No agency expressed any concerns regarding the subject rezone and Variance requests.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The subject proposal entails no development, thereby resulting in no impact related to air traffic. The project site is outside of an airport land use plan area, and the nearest

private airstrip, Harris River Ranch Airport, is located approximately 0.7 mile southwest of the site.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The subject proposal will not impair implementation or physically interfere with an adopted emergency response plan or emergency evacuation plan. The Fresno County Fire Protection District expressed no concerns in that regard.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: NO IMPACT:

The project site is not located in an identified area of wildfire hazards.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?

FINDING: NO IMPACT:

See discussion above in Section VII, GEOLOGY AND SOILS.

- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject property is not located in a low-water area. The Water and Natural Resources Division of the Fresno County Department of Public Works and Planning reviewed the proposal and expressed no water-related concerns with the project.

Per the State Water Resources Control Board, Division of Drinking Water (SWRCB-DDW) review of the proposal, a Project Note would require that if the subject property will result in the formation of a public water system, it must comply with Senate Bill 1263, which requires all new applications to submit a preliminary technical report before being permitted by SWRCB-DDW.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:
 - 1. Result in substantial erosion or siltation on or off site; or
 - 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site; or
 - 3. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
 - 4. Impede or redirect flood flows?

FINDING: NO IMPACT:

The subject proposal will have no impact on any existing drainage pattern on or near the property. The United States Geological Survey Quad Maps show that a canal runs through the subject parcel. The 2.5-acre portion of a 15.10-acre parcel, which is subject to this rezone request, is approximately 350 feet north of the canal and 440 feet west of the nearest water channel of the Kings River. No impact would occur.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to FEMA, FIRM Panel 1645H, portions of the subject parcel are in Zone A that is subject to flooding from the 100-year storm. A Project Note would require that any development within the area identified as Zone A must comply with the County Flood Hazard Ordinance (Title 15.48).

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The project is not in conflict with any water quality control plan or sustainable groundwater management plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project will not physically divide an established community. The project site is outside of any city or unincorporated community.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject applications entail rezoning of a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agriculture, 40-acre minimum parcel size) Zone District to an AE-20 (Exclusive Agriculture, 20-acre minimum parcel size) Zone District and a Variance to allow the remaining 12.6 acres as a legal non-conforming parcel in the AL-40 Zone District. The subject parcel is designated Agriculture in the Kings River Regional Plan. If approved, the 2.5-acre parcel will be merged with the adjacent 19.78-acre parcel, also zoned AE-20.

This proposal is subject to General Plan Policy LU-A.6, which requires that the County shall maintain twenty (20) acres as the minimum parcel size in areas designated Agriculture, except as provided in Policies LU-A.9, LU-A.10, and LU-A.11. The creation of a 12.6-acre parcel in the AL-40 Zone District where the minimum parcel size required is 40-acres does not conform to Policy LU-A-6 except with the approval of the subject Variance and the concurrent rezone request.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

No mineral resource impacts were identified in the project analysis. The project site is not located in a mineral resources area identified in General Plan Policy OS-C.2.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or

- B. Generation of excessive ground-borne vibration or ground-borne noise levels; or
- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

The Fresno County Department of Public Health, Environmental Health Division reviewed the proposal and expressed no concerns related to noise.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure); or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project will not result in an increase of housing, nor will it otherwise induce population growth.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

1. Fire protection?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Fire Protection District (CalFire) expressed no concerns with the subject proposal. Any future development on the property will adhere to the requirements of the Fire Code and Building Code and be subject to annexation to Community Facilities District No. 2010-01 of the District.

2. Police protection; or

- 3. Schools; or
- 4. Parks; or
- 5. Other public facilities?

FINDING: NO IMPACT:

The project will have no impact on police protection, schools, parks or other public facilities.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project will have no impact on recreational facilities in the area.

XVII. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?

FINDING: NO IMPACT:

The subject proposal, involving rezone and Variance requests, will not be in conflict with any traffic circulation system, which includes transit, roadway, bicycle and pedestrian facilities.

The Design and Road Maintenance and Operations Divisions of the Fresno County Department of Public Works and Planning expressed no concerns with the proposal nor identified need for a Traffic Impact Study (TIS).

- B. Be in conflict or be inconsistent with the California Environmental Quality Act (CEQA) Guidelines Section 15064.3, subdivision (b)?

FINDING: NO IMPACT:

The subject proposal involves no development. The proposal entails rezoning of a parcel and recognizing a substandard parcel through a Variance.

The Design Division of the Fresno County Department of Public Works and Planning and California Department of Transportation reviewed the subject proposal and expressed no concerns related to CEQA Guidelines Section 15064.3, subdivision (b) noted above.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment); or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

With no development proposed, the project is not subject to emergency access review.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
 - 1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k); or
 - 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is located in an area designated to be highly sensitive for archeological resources. Per Assembly Bill 52 (AB52), participating Native American tribes were provided an opportunity to review and enter consultation with the County regarding the subject proposal. Table Mountain Rancheria, Santa Rosa Rancheria Tachi Yokut Tribe, Picayune Rancheria of the Chukchansi Indians and Dumna Wo Wah Tribal Government reviewed the proposal and expressed no concerns with the project. The Mitigation Measures included in Section V.

CULTURAL RESOURCES of this report will safeguard Tribal Cultural Resources (TCRs) prior to and during any ground disturbance activities.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: NO IMPACT:

See discussion above in Section VI. E. GEOLOGY AND SOILS. Additionally, the project will not result in the relocation or construction of new or expanded electric power, natural gas, or telecommunications facilities.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion above in Section X. B. HYDROLOGY AND WATER QUALITY.

- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: NO IMPACT:

See discussion above in Section VI. E. GEOLOGY AND SOILS.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

No such impacts were identified in the project analysis.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

The project site is not located in an identified area of wildfire hazards.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will have no impact on sensitive biological resources. Impacts on cultural resources will be addressed with the Mitigation Measures discussed in Section V. A. B. C. D. of this analysis.

- B. Have impacts that are individually limited, but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will adhere to the permitting requirements and rules and regulations set forth by the Fresno County Grading and Drainage Ordinance, San Joaquin Air Pollution Control District, and California Code of Regulations Fire Code. No cumulatively considerable impacts were identified in the project analysis.

- C. Have environmental effects which will cause substantial adverse effects on human beings either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the analysis.

CONCLUSION/SUMMARY

Based upon Initial Study (IS) No. 7655 prepared for Amendment Application No. 3837 and Variance Application No. 4073, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to agriculture and forestry resources, air quality, biological resources, energy, greenhouse gas emissions, hazards and hazardous materials, mineral resources, noise, recreation, transportation, and wildfire.

Potential impacts related to aesthetics, geology and soils, hydrology and water quality, land use and planning, population and housing, public services, tribal cultural resources, and utilities and service systems have been determined to be less than significant.

Potential impacts to cultural resources have been determined to be less than significant with the identified Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Streets, Fresno, California.

EA:ksn

G:\4360Devs&PIn\PROJSEC\PROJDOCS\IAA\3800-3899\3837 - See VA 4073\IS-CEQA\IAA 3837 VA 4073 IS wu.docx

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: Initial Study (IS) No 7655	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Ejaz Ahmad, Planner	Area Code: 559	Telephone Number: 600-4204	Extension: N/A
Project Applicant/Sponsor (Name): Michael Blas	Project Title: Amendment Application (AA) No. 3837; Variance Application No. 4073		
Project Description: Rezone a 2.5-acre portion of a 15.10-acre parcel from the AL-40 (Limited Agricultural, 40-acre minimum parcel size) to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District and include a Variance to allow the 2.5-acre portion to be created with less than the required 20-acre minimum parcel size and the remaining 12.6-acre portion of the parcel to remain as a legal non-conforming parcel in the AL-40 Zone District. The project site is located on the east side of E. Trimmer Springs Road approximately 4.3 miles north of its intersection with Belmont Avenue and 7.8 miles northeast of the City of Sanger (Sup. Dist. 5) (APN 158-070-40S).			
Justification for Negative Declaration: Based upon the Initial Study (IS 7655) prepared for Amendment Application No. 3837 and Variance Application No. 4073, staff has concluded that the project will not have a significant effect on the environment. No impacts were identified related to agriculture and forestry resources, air quality, biological resources, energy, greenhouse gas emissions, hazards and hazardous materials, mineral resources, noise, recreation, transportation, and wildfire.. Potential impacts related to aesthetics, geology and soils, hydrology and water quality, land use and planning, population and housing, public services, tribal cultural resources, and utilities and service systems have been determined to be less than significant. Potential impact related to cultural resources have been determined to be less than significant with the identified mitigation measure. The Initial Study and MND is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southeast corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 9, 2019		Review Date Deadline: Planning Commission – October 10, 2019	
Date:	Type or Print Signature: Marianne Mollring, Senior Planner	Submitted by (Signature): Ejaz Ahmad	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**

G:\4360Devs&Pln\PROJSEC\PROJDOCS\AA\3800-3899\3837 - See VA 4073\IS-CEQA\AA 3837 MND (Draft).docx

EXHIBIT 11



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 3 October 10, 2019

SUBJECT: Initial Study Application No. 7611 and Unclassified Conditional Use Permit Application No. 3648

Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of South Elm Avenue approximately 1,764 feet north of its nearest intersection with East Elkhorn Avenue and is located approximately 3.36 miles southeast of the unincorporated community of Caruthers (16629 S. Elm Avenue, Caruthers, CA) (SUP. DIST. 4) (APN 042-200-06S).

OWNER: Iva M. Arthur, Trustee
APPLICANT: Jason Osborne on behalf of Crown Castle

STAFF CONTACT: Thomas Kobayashi, Planner
(559) 600-4224

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7611; and
- Approve Unclassified Conditional Use Permit No. 3648 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Cell Tower Vicinity Map
6. Site Plans, Elevations, and Detail Drawings
7. Service Coverage Maps (with and without project)
8. Project Description, Operational Statement, and Response to Fresno County Wireless Communication Guidelines
9. Summary of Initial Study Application No. 7611
10. Draft Mitigated Negative Declaration

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agricultural	No change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District	No change
Parcel Size	1.45 acres	No change
Project Site	N/A	40-foot by 50-foot fenced area
Structural Improvements	Single-Family Residences, Accessory Building, Domestic Well	150-foot lattice tower and associated wireless telecommunications equipment
Nearest Residence	Approximately 49 feet north	No change
Surrounding Development	Residential, Agricultural, and Southwest Transportation Agency	No change
Operational Features	N/A	Operates 24 hours per day, 7 days per week, 52 weeks per year

Criteria	Existing	Proposed
Employees	N/A	One off-site service employee
Customers	N/A	None
Traffic Trips	Residential	Up to two round trips/four total trips per month for service after construction
Lighting	Residential	Tower lighting
Hours of Operation	N/A	24 hours per day

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

Initial Study No. 7611 was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is included as Exhibit 9.

Notice of Intent of Mitigated Negative Declaration publication date: September 9, 2019

PUBLIC NOTICE:

Notices were sent to 7 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

An Unclassified Conditional Use Permit may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on an Unclassified CUP Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission's action.

BACKGROUND INFORMATION:

The proposal entails the construction of an unmanned wireless telecommunications facility consisting of a 150-foot lattice tower, and related antennas and equipment. The project will be built on a 40-foot by 50-foot fenced portion of a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The Applicant intends to replace the existing tower approximately 1,688 feet south of the proposed tower to maintain the coverage needs of the carriers installed on the existing tower. The existing tower will be decommissioned and removed upon construction of the new wireless facility.

On March 4, 1972, the Fresno County Parcel Map Ordinance went into effect requiring a mapping procedure be completed for the subdivision of land into four or less parcels. Prior to

the implementation of the Parcel Map Ordinance, a parcel of any size and dimension could be created through the recordation of a deed. However, parcels created in such a manner were still subject to the development standards prescribed by the Zoning Ordinance. The subject parcel is in the same configuration as shown on the 1971-72 Assessor Map Rolls. This indicates that the parcel was created prior to the Parcel Map Ordinance coming into effect.

On June 8, 1960, the Fresno County Zoning Ordinance was adopted by the Board of Supervisors and the subject parcel was initially zoned Interim R-A (Single-Family Residential Agricultural, 36,000 square-foot minimum parcel size). Amendment Application No. 2870, pursued by the County of Fresno, was approved by the Board of Supervisors on August 31, 1976. Amendment Application No. 2870 (AA No. 2870) rezoned the subject parcel from the Interim R-A (Single-Family Residential Agricultural, 36,000 square-foot minimum parcel size) Zone District to an AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

Building permit records indicate the presence of two residences, a detached garage, and an animal cover. Additional structures on the property shown in the site plan have been determined to be pre-1958 structures and not subject to building permits. According to the California Building Code, structures 120 square feet or under, and used for storage purposes, are not subject to building permits. Therefore, it has been determined that the additional structures meet either requirement and are not subject to building permits.

Finding 1: *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood.*

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	AE-20 Zone District Front: 35 feet Side: 20 feet Rear: 20 feet	Front: Approximately 347 feet Side: Approximately 30 feet Rear: Approximately 20 feet	Y
Parking	No requirement	No change	Y
Lot Coverage	No requirement	No change	Y
Space Between Buildings	No animal or fowl pen, coop, stable, barn or corral within 40 feet of any dwelling or other building used for human habitation	Proposal not used for human habitation	Y
Wall Requirements	No requirement	No change	Y
Septic Replacement Area	100 percent replacement	No change	Y
Water Well Separation	Septic Tank: 100 feet	No new septic system proposed	Y

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
	Disposal Field: 100 feet Seepage Pit: 150 feet		

Reviewing Agency/Department Comments Regarding Site Adequacy:

Building and Safety Section of the Fresno County Department of Public Works and Planning: Plans, permits, and inspections will be required for all on-site improvements. **This shall be included as a Project Note.**

Mapping Section of the Fresno County Department of Public Works and Planning: Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks and Triangulation Stations, etc. – within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act and Section 6730.2 of the Professional Engineers Act. **This shall be included as a Project Note.**

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Analysis:

Staff review of the submitted site plan shows that the proposed 40-foot by 50-foot fenced area will be located in the southwest corner of the subject 1.45-acre parcel. The 150-foot lattice tower will be located outside of setbacks established by the AE-20 Zone District. Based on the conducted analysis, staff believes that the project site is adequate in shape and size to accommodate the proposed use.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 1 can be made.

***Finding 2:** That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.*

		Existing Conditions	Proposed Operation
Private Road	No	An existing on-site access road	The existing access road will be improved with a 12-foot-wide access easement to access the project site.

		Existing Conditions	Proposed Operation
Public Road Frontage	No	The subject parcel fronts Elm Avenue, a County-maintained road.	The project site does not directly front Elm Avenue and will utilize an existing access road and proposed access easement.
Direct Access to Public Road	Yes	An existing access road and driveway provide access to Elm Avenue.	Existing access road and proposed access easement will be utilized for access to Elm Avenue.
Road ADT		900 ADT	No change
Road Classification		Local Road	No change
Road Width		60 feet	No change
Road Surface		Paved asphalt	No change
Traffic Trips		Residential	2 round trips; 4 one-way trips per month
Traffic Impact Study (TIS) Prepared	No	N/A	No significant increase in traffic expected
Road Improvements Required		N/A	None required.

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

Development Engineering Section of the Fresno County Department of Public Works and Planning: Elm Avenue is classified as a Local road with an existing 30-foot right-of-way west of the section line along the parcel frontage, per Plat Book. The minimum width for a Local road right-of-way south of the section line is 30 feet.

Elm Avenue is a County-maintained road. Records indicate this section of Elm, from Clarkson to Highway 41, has an ADT of 900, pavement width of 25 feet, structural section of 0.5 AC, and is in fair condition.

If not already present, 10' x 10' corner cutoffs should be improved for sight distance purposes at the existing driveway onto Elm Avenue. **This shall be included as a Project Note.**

According to FEMA, FIRM Panel the parcel is not subject to flooding from the 100-year storm.

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels traversing the subject parcel.

A grading voucher is required. **This shall be included as a Project Note.**

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

Analysis:

Per the Applicant’s Operational Statement, they estimate that the unmanned wireless telecommunications facility will require at least two maintenance trips a month. This indicates a total of four one-way traffic trips a month. The Applicant also indicates that the purpose of this project is to replace an existing tower that is on a different parcel, but is located in close proximity to the project site. The existing tower is located on Elkhorn Avenue, and it can be assumed that the existing tower produces the same amount of traffic trips as the proposed replacement tower. The proposed project will redistribute trips to Elm Avenue, but will not significantly increase traffic above current conditions. Based on this information, staff believes that Finding 2 can be made.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 2 can be made.

Finding 3: *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	37.74 acres	Orchard	AE-20	1,590 feet northeast
South	37.74 acres	Orchard	AE-20	520 feet south
East	36.81 acres	Southwest Transportation Agency	AE-20 and AE-40	N/A
West	37.74 acres	Orchard	AE-20	N/A

Reviewing Agency/Department Comments:

Fresno County Department of Agriculture: The amount of acres lost to the project are minimal and would not have a significant impact to the overall agricultural production.

The Applicant should acknowledge the Fresno County Right-to-Farm Notice. Fresno County Right-to Farm-Notice: “It is the declared policy of Fresno County to preserve, protect, and encourage development of its agricultural land and industries for the production of food and other agricultural products. Residents of property in or near agricultural districts should be prepared to accept the inconveniences and discomfort associated with normal farm activities.” Consistent with this policy, California Civil Code 3482.5 (right-to-farm law) provides that an

agricultural pursuit, as defined, maintained for commercial uses shall not become a nuisance due to a changed condition in a locality after such agricultural pursuit has been in operation for three years.” **This shall be included as a Condition of Approval.**

Fresno County Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. The default State reporting thresholds that apply are: ≥ 55 gallons (liquids), ≥ 500 pounds (solids), ≥ 200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances. **This shall be included as a Project Note.**

All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes. **This shall be included as a Project Note.**

The proposed construction has the potential to expose residents to short-term elevated noise levels. Considerations should be given to the County of Fresno Noise Ordinance Code. **This shall be included as a Project Note.**

Fresno County Fire Protection District: The project shall comply with California Code of Regulations Title 24 – Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval, the Applicant must submit construction plans to the Fresno County Department of Public Works and Planning for review. It is the Applicant’s responsibility to deliver a minimum of three sets of plans to FCFPD. **This shall be included as a Project Note.**

Project/Development, including Single-Family Residential (SFR) property of three or more lots, Multi-Family Residential (MFR) property, Commercial property, Industrial property, and/or Office property, shall annex into Community Facilities District No. 2010-01 of the Fresno County Fire Protection District. **This shall be included as a Project Note.**

Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. **This shall be included as a Project Note.**

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

Analysis:

The project site is located in an agricultural area. The subject parcel is zoned for agricultural, but is utilized mainly for single-family residential purposes. The subject 1.45-acre parcel is surrounded by a 37.74-acre parcel to the north, west and south and is actively farmed. The eastern parcel contains the Southwest Transportation Agency. The proposed lattice tower will be similar to the existing lattice tower. Ground equipment will be screened from public view, as the project site is located towards the rear of the subject property and various structures are orientated to break line of sight to the project area. Additionally, the subject parcel is surrounded by orchards that further screen the use. Staff believes that aesthetic impacts are limited, as there is an existing tower that will be decommissioned if the proposed project is

approved, and the project location will be properly screened by existing buildings and orchards from the surrounding agricultural operations.

Mitigation Measures discussed in the Initial Study prepared for the project address the potential installation of outdoor lights. In the even that outdoor lighting is installed, a Mitigation Measure has been implemented that all outdoor lighting shall be hooded and directed downward so as not to shine on public roads or surrounding properties.

The Department of Agriculture, Department of Public Health, and the Fresno County Fire Protection District have reviewed the project and provided requirements that further reduce the potential of adverse effects that the project could have on abutting properties and the surrounding agricultural community.

Due to the height of the proposed tower and proximity to Lemoore Naval Air Station, a Condition of Approval has been added requiring the Applicant to file and receive approval of the tower by the Federal Aviation Administration (FAA) prior to obtaining permits for the construction of the tower.

Based on the above information, staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 3 can be made.

Finding 4: *That the proposed development is consistent with the General Plan.*

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy LU-A.3: The County may allow by discretionary permit in areas designated as Agricultural, special agricultural uses and agriculturally-related activities, including value-added processing facilities, and certain non-agricultural uses. Approval of these and similar uses in areas designated as Agricultural shall be subject to the following criteria:</p> <p>Policy LU-A.3.a: The use shall provide a needed service to the surrounding agricultural area which cannot be provided more efficiently within urban areas or which requires location in a non-urban area because of unusual site requirements or operational characteristics.</p>	<p>In regard to Policy LU-A.3, the subject proposal is allowed in Agricultural areas, subject to an Unclassified Conditional Use Permit.</p> <p>In regard to Policy LU-A.3.a, the proposal will maintain wireless coverage for the surrounding agricultural community, as an existing wireless communications tower in the vicinity is set to be decommissioned and removed. As wireless telecommunications coverage is based on the location of the tower and associated equipment, the project cannot be located more efficiently in an urban area.</p> <p>In regard to Policy LU-A.3.b, the subject parcel is utilized for residential purposes and is not actively farmed.</p> <p>In regard to Policy LU-A.3.c, the project is proposing an unmanned facility and will not</p>

Relevant Policies:	Consistency/Considerations:
<p>Policy LU-A.3.b: The use should not be sited on productive agricultural lands if less productive land is available in the vicinity.</p> <p>Policy LU-A.3.c: The operational or physical characteristics of the use shall not have a detrimental impact on water resources or the use or management of surrounding properties within a least one quarter (1/4)-mile radius.</p> <p>Policy LU-A.3.d: A probable workforce should be located nearby or be readily available.</p>	<p>require the use of water resources to operate. Therefore, the project will not have a detrimental impact on water resources.</p> <p>In regard to Policy LU-A.3.d, the project site is located approximately 3.36 miles southeast of the unincorporated community of Caruthers. Additionally, the project site is located near Highway 41, which provides efficient access from larger population areas.</p>
<p>General Plan Policy PF-J.4: The County shall require compliance with the Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County.</p>	<p>Applicants are required to submit evidence regarding alternative sites being considered for colocation opportunities and evidence of due diligence on negotiating for colocation. Additional guidelines are related to placement and aesthetics of the tower.</p> <p>The Applicant has submitted an Alternative Site Analysis and explanation for the new tower. An old tower is set to be decommissioned and removed and the Applicants would like to replace the tower on a nearby property to ensure coverage throughout the area. The Alternative Site Analysis also stated that the only other available tower in the vicinity that would meet coverage needs is a guyed wire tower, and the Applicant has concerns regarding structural issues for colocating additional equipment. The proposed tower will be located on a residential parcel and located at the rear (southwest edge) of the property, minimizing aesthetic impacts.</p> <p>After staff review of the design and Alternative Site Analysis, it has been determined that sufficient evidence has been presented to be consistent with the County of Fresno Wireless Communications Guidelines, and therefore be consistent with General Plan Policy PF-J.4.</p>

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The subject parcel is designated as Agricultural in the Fresno County General Plan and is not enrolled in the Williamson Act program.

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

Analysis:

General Plan Policy PF-J.4 requires compliance with the Wireless Communications Guidelines, which address several concerns related to the development of cell towers, including site placement, colocation opportunities, and alternative site locations. The Applicant indicates that the proposal will maintain coverage for the area, as an existing tower is set to be decommissioned and removed. County records indicate that there are seven approved cell towers located within a five-mile radius of the project site. This count includes the aforementioned tower that is set to be decommissioned. As a Condition of Approval, the Applicant will be required to obtain and finalize a demolition permit for the existing tower that is set to be decommissioned prior to finalization of the proposed wireless telecommunications facility.

Fresno County Wireless Communication Guidelines require that towers should be sited to minimize aesthetic impact to adjacent properties. Based on the submitted site plans, the proposed tower is set back approximately 347 feet from the front property line, approximately 30 feet from the closest side property line, and approximately 20 feet from the rear property line. Existing buildings and surrounding orchards will screen ground equipment from the public right-of-way.

Based on the prepared Alternative Site Analysis, the colocation opportunities for the existing equipment would not meet the needs of the Applicant and carrier, as coverage is being provided from the existing tower. With the decommissioning of the existing tower, the Applicant has proposed another site that would maintain coverage. Colocation opportunities for this site is shown on the Site Plan and Elevations of the project, and a Condition of Approval will be implemented to provide colocation opportunities for other carriers.

Based on the above analysis, staff believes that the proposed project is consistent with the General Plan and County Wireless Communications Guidelines.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

None.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Unclassified Conditional Use Permit can be made. Staff therefore recommends approval of Unclassified Conditional Use Permit No. 3648, subject to the recommended Conditions and Project Notes.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7611; and
- Move to determine the required Findings can be made and move to approve Unclassified Conditional Use Permit No. 3648, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Unclassified Conditional Use Permit No. 3648; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

TK:ksn

G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3600-3699\3648\SR\CUP 3648 SR.docx

Mitigation Monitoring and Reporting Program
Initial Study Application No. 7611/Unclassified Conditional Use Permit Application No. 3648
(Including Conditions of Approval and Project Notes)

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.	Applicant	Applicant/Department of Public Works and Planning (PW&P)	Ongoing
2.	Cultural Resources/ Tribal Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities
3.	Energy	The idling of on-site vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.	Applicant	Applicant/PW&P	During construction activities
Conditions of Approval					
1.	Development of the property shall be in accordance with the Site Plan, Flood Plan, Elevations, and Operational Statement approved by the Commission.				
2.	<p>The approval shall expire in the event that use of the tower ceases for a period in excess of two years. At such time, the tower and related facilities shall be removed and the lease area shall be restored as nearly as practical to its original condition. This stipulation shall be recorded as an Agreement.</p> <p>Note: This Department will prepare the Agreement upon receipt of the standard processing fee, which is currently \$243.50.</p>				
3.	The Applicant must apply for and receive a demolition permit, and acquire final inspection of the demolition of the existing tower located on APN: 042-200-35S prior to finalization of the building permits associated with the proposed unmanned wireless telecommunications facility.				

EXHIBIT 1

4.	Prior to the issuance of permits, evidence shall be submitted showing provisions have been made to accommodate colocation, such as provision for colocation in a signed lease agreement and additional area within the lease area for colocation of equipment, or other information that demonstrates the facility shall make itself available for colocation.
5.	Prior to the issuance of a building permit, the Applicant shall obtain Federal Aviation Administration (FAA) approval of the tower.
6.	<p>Prior to the issuance of a building permit, the Applicant shall enter into a Covenant acknowledging the Fresno County Right-to-Farm Notice. Fresno County Right-to-Farm Notice: "It is the declared policy of Fresno County to preserve, protect, and encourage development of its agricultural land and industries for the production of food and other agricultural products. Residents of property in or near agricultural district should be prepared to accept the inconveniences and discomfort associated with normal farm activities." Consistent with this policy, California Civil Code 3482.5 (right-to-farm law) provides that an agricultural pursuit, as defined, maintained for commercial uses shall not become a nuisance due to a changed condition in a locality after such agricultural pursuit has been in operation for three years.</p> <p>Note: This Department will prepare the Covenant upon receipt of the standard processing fee, which is currently \$243.50.</p>

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

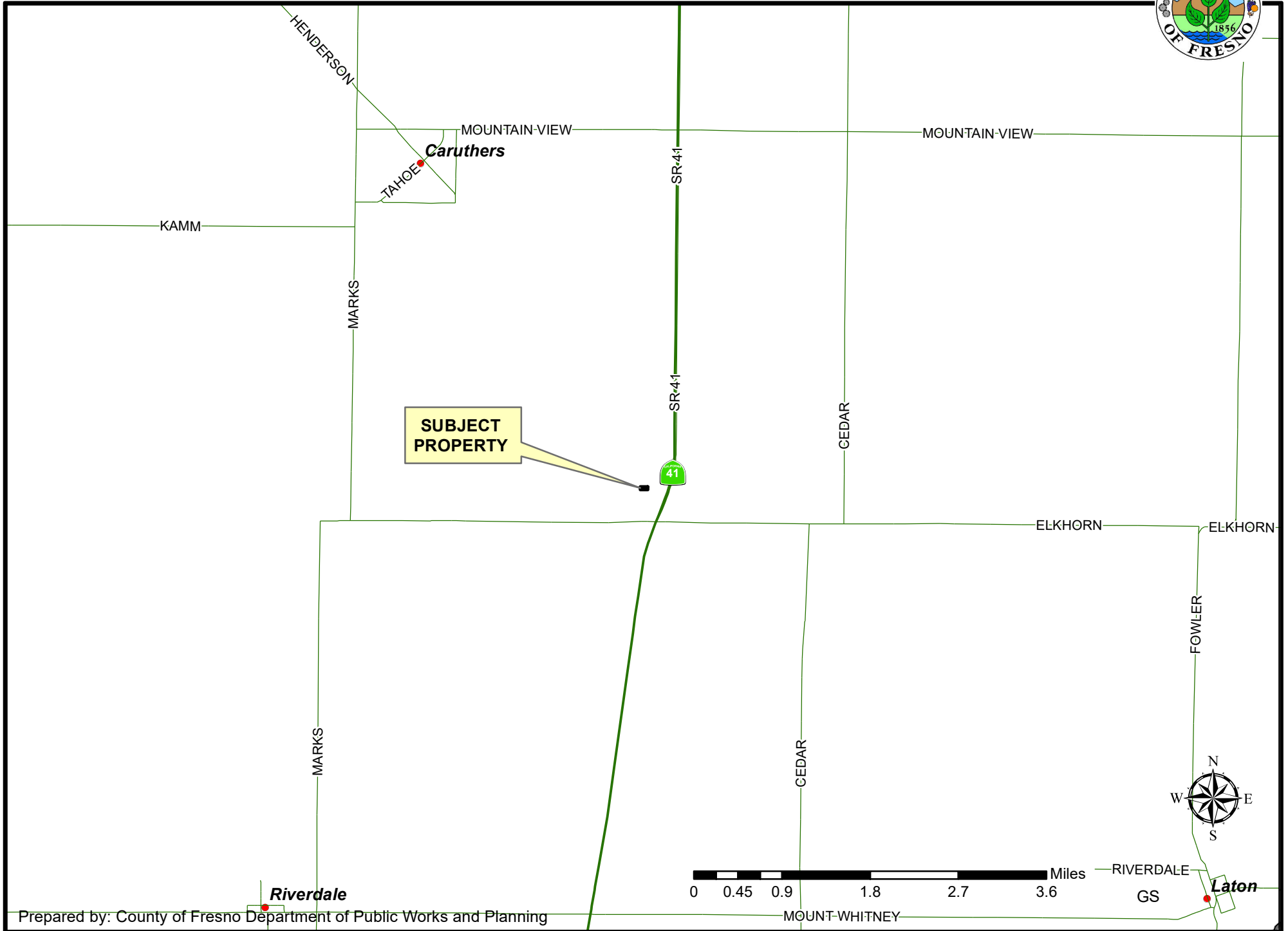
Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	Plans, permits, and inspections will be required for all on-site improvements.
2.	Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks, and Triangulation Stations, etc. – within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act and Section 6730.2 of the Professional Engineers Act.
3.	If not already present, 10' x 10' corner cutoffs should be improved for sight distance purposes at the existing driveway onto Elm Avenue.
4.	A grading voucher is required.
5.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. The default State reporting thresholds that apply are: ≥ 55 gallons (liquids), ≥ 500 pounds (solids), ≥ 200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.
6.	All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.
7.	The proposed construction has the potential to expose residents to short-term elevated noise levels. Considerations should be given to the County of Fresno Noise Ordinance Code.

Notes	
8.	The project shall comply with California Code of Regulations Title 24 – Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval, the Applicant must submit construction plans to the Fresno County Department of Public Works and Planning for review. It is the Applicant’s responsibility to deliver a minimum of three sets of plans to FCFPD.
9.	Project/Development, including Single-Family Residential (SFR) property of three or more lots, Multi-Family Residential (MFR) property, Commercial property, Industrial property, and/or Office property, shall annex into Community Facilities District No. 2010-01 of the Fresno County Fire Protection District.
10.	Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.

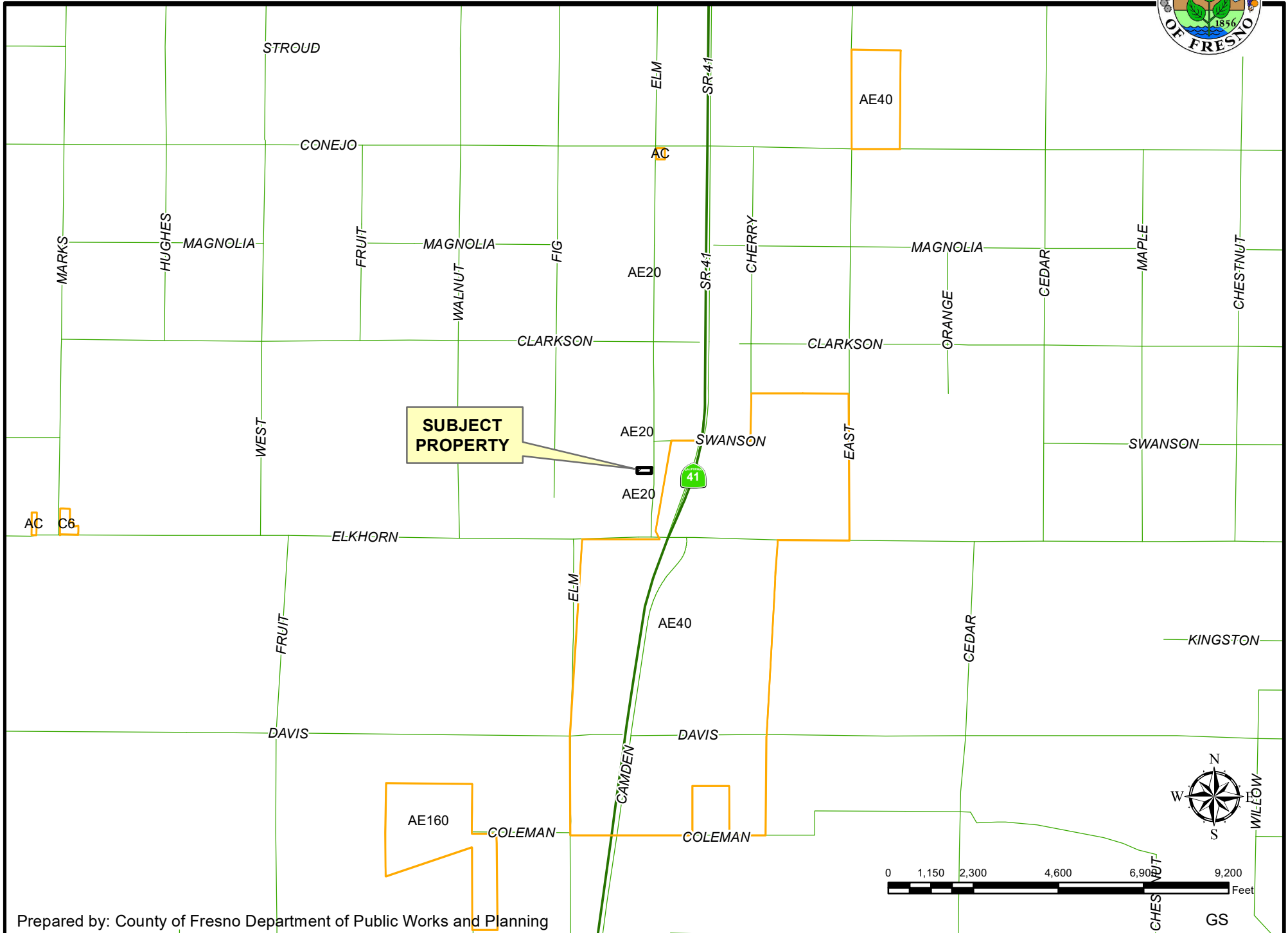
TK:ksn

G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3600-3699\3648\SR\CUP 3648 MMRP (Ex 1).docx

LOCATION MAP



EXISTING ZONING MAP





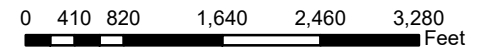
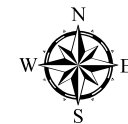
EXISTING LAND USE MAP



LEGEND	
ORC - ORCHARD	
SF#- SINGLE FAMILY RESIDENCE	
V - VACANT	
VIN - VINEYARD	

LEGEND:

-  Subject Property
-  Ag Contract Land



Department of Public Works and Planning
Development Services Division

Map Prepared by: GS
G:\4360Devs&PIn\GIS\
Maps\Landuse\

APPROVED CELL TOWERS WITHIN A FIVE MILE RADIUS

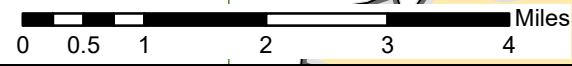
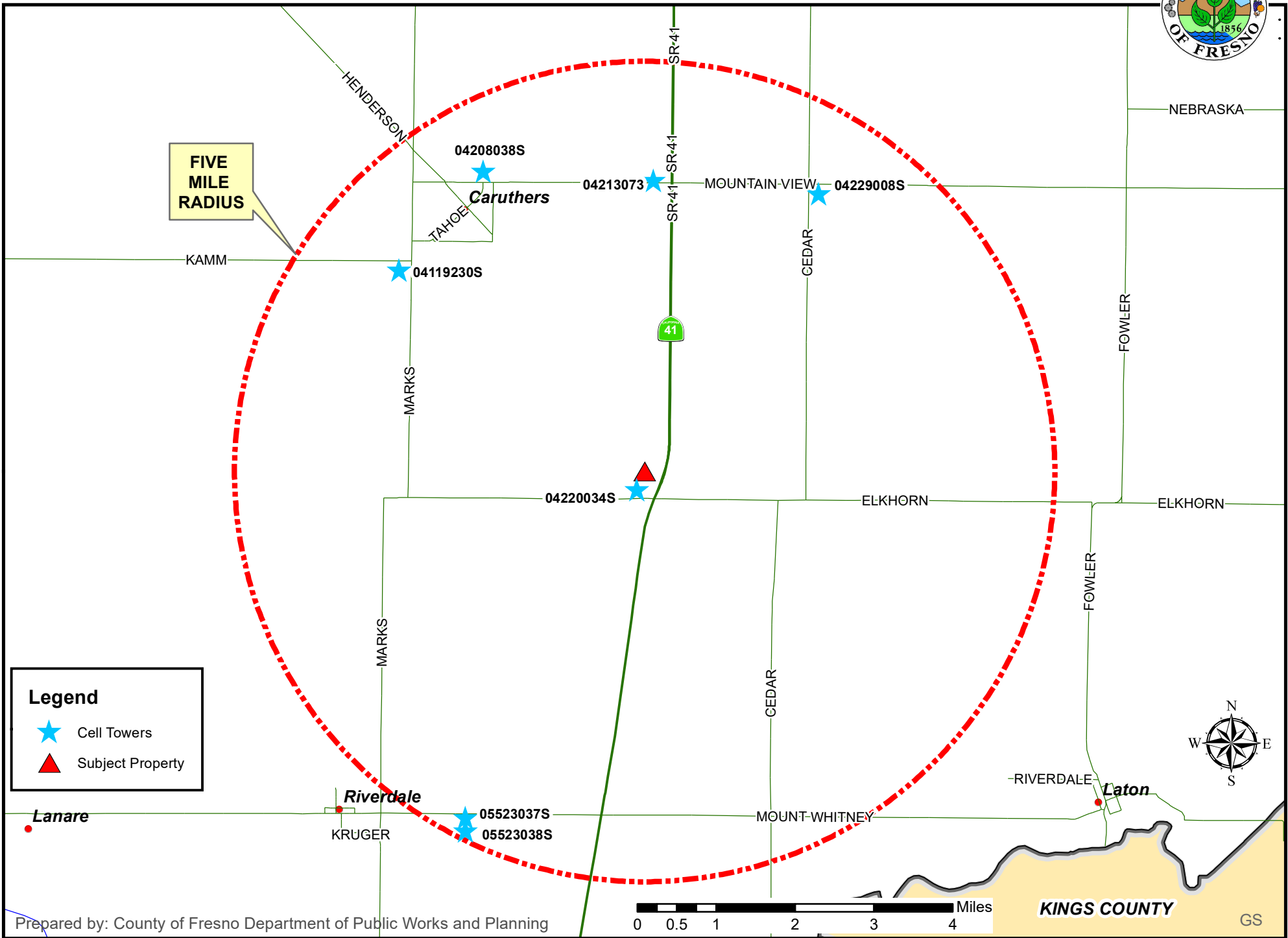


EXHIBIT 5



SITE NUMBER: 831105
SITE NAME: FIVE POINTS
SITE TYPE: LATTICE TOWER
TOWER HEIGHT: 150'-0"

ADDRESS: 16629 S. ELM AVENUE
 CARUTHERS, CA 93609
COUNTY: FRESNO
JURISDICTION: CITY OF FRESNO

PROJECT INFORMATION:

831105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

100% CONSTRUCTION DRAWINGS

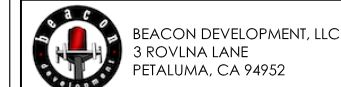
REV. DATE DESCRIPTION BY:

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
I	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: CHK.: APV.:

SJS MIF MIF

LICENSER:



SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

PROJECT SUMMARY:

SITE ADDRESS:

16629 S. ELM AVENUE
 CARUTHERS, CA 93609

PROPERTY OWNER:

CLAUDIA HILDERBRAND
 16629 S. ELM AVE.
 CARUTHERS, CA 93609
 PHONE: (559) 923-4894
 EMAIL: childerbrand@hotmail.com

TOWER OWNER:

CROWN CASTLE
 1 PARK PLACE, SUITE 300
 DUBLIN, CA 94568

BUILDING SUMMARY:

OCCUPANCY CLASSIFICATION:	EXCLUSIVE AGRICULTURE
TYPE OF CONSTRUCTION:	-
ZONING:	-
AREA OF CONSTRUCTION:	-
ASSESSORS PARCEL NUMBER:	042-200-065
LATITUDE:	36° 29' 39.49" N.
LONGITUDE:	-119° 47' 33.10" W.

SHEET INDEX:

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES
S-1	SITE SURVEY
A-1	OVERALL SITE PLAN
A-2	PROJECT AREA PLAN
A-3	ANTENNA LAYOUT
A-4	ELEVATIONS
A-5	DETAILS
A-6	DETAILS
A-7	DETAILS
A-8	DETAILS
E-1	UTILITY SITE PLAN
E-2	SINGLE LINE DIAGRAM AND PANEL SCHEDULE
G-1	GROUNDING PLANS
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
GN-1	GENERAL NOTES
GN-2	SITE SIGNAGE

POWER AND TELCO DESIGN INFORMATION

A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
E-1	ELECTRICAL PLAN

TOWER DRAWINGS & FOUNDATION INFORMATION

229805-01-D1	TOWER DRAWING
229805-01-F1	TOWER FOUNDATION

PROJECT DESCRIPTION:

CROWN CASTLE PROPOSES TO CONSTRUCT A WIRELESS ANTENNA SITE. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- NEW 150'-0" TALL LATTICE TOWER
- NEW 40'-0" x 50'-0" CHAINLINK FENCE WITH BARBED WIRE EQUIPMENT ENCLOSURE
- NEW ELECTRICAL 400 METER WITH FUSED DISCONNECT, INTERSECT CABINET.
- INSTALL NEW ANTENNAS 3- PER SECTOR, 9 TOTAL
- INSTALL NEW RRU's 1- PER SECTOR, 3 TOTAL
- INSTALL NEW (3) DC-6's MOUNTED TO EXISTING LATTICE TOWER.

APPROVALS:

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

	PRINT NAME	SIGNATURE	DATE
PROJ. MANAGER			
CONST. PM.			
RF ENGINEER			
SAC REP.			
PLAN. CONSULTANT			
PROP. OWNER			
CROWN CASTLE REP.			

APPLICABLE CODES:

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE (2015 IBC)
- TIA-EIA-222-G OR LATEST EDITION
- NFPA 780 - LIGHTNING PROTECTION CODE
- 2017 NATIONAL ELECTRIC CODE OR LATEST EDITION
- ANY OTHER NATIONAL OR LOCAL APPLICABLE CODES, MOST RECENT EDITIONS
- CALIFORNIA CODE OF REGULATIONS
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- LOCAL AMENDMENTS TO THE ABOVE, WHERE APPLICABLE
- CITY/COUNTY ORDINANCES
- LIFE SAFETY CODE NFPA-101



Know what's below.
 Call before you dig.
 www.call811.com

GENERAL CONSTRUCTION NOTES

- PLANS ARE INTENDED TO BE DIAGRAMMATIC OUTLINE ONLY, UNLESS OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC / UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
- THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OR REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF THE PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH INSTRUCTIONS MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY DRAIN AND / OR FIELD TILE ENCOUNTERED / DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATIONS AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- INCLUDE MISC. ITEMS PER CROWN CASTLE SPECIFICATIONS.

GENERAL NOTES FOR EXISTING CELL SITES

- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
- SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWING MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
- THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
- SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND TI CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
- SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

APPLICABLE CODES, REGULATIONS AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION [AHJ] FOR THE LOCATION.

THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION.
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEER (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
- IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND " HIGH SYSTEM EXPOSURE")

TIA 407 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK
EQUIPMENT-BUILDING SYSTEM (NEBS): PHYSICAL PROTECTION
TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING
TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS
TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS

ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

GENERAL TRENCHING NOTES

- MAINTAIN 40" MINIMUM COVER FOR ALL ELECTRICAL CONDUITS
- MAINTAIN 30" MINIMUM COVER FOR ALL TELECOMMUNICATIONS CONDUITS.
- MINIMUM 1" SAND SHADING BELOW CONDUITS, AND 6" COVERING ON TOP OF CONDUITS REQUIRED.
- ALL ELECTRICAL CONDUITS FROM POWER COMPANY FROM ANY POLE, TRANSFORMER OR OTHER LOCATIONS WILL BE SLURRY BACKFILLED.
- IN STREET SLURRY TO GRADE AND MILL DOWN 1-1/2" FOR AC CAP.
- IN DIRT SLURRY 18" FROM GRADE AND FILL 95% COMPACTION NATIVE SOIL FOR BALANCE.
- WARNING TAPE TO BE PLACED IN TRENCH 12" ABOVE ALL CONDUITS AND #18 WARNING TAPE ABOVE RING.

GENERAL GROUNDING NOTES

- 5/8" x 8" ROD, CAD WELD BELOW GRADE.
- GROUND TESTED AT 5 OHMS OR LESS.
- #5 GROUND AND BOND WIRE.
- GROUPS 3' FROM POLE.
- PLACE 3 #10 GA WIRES FROM TESCO BREAKER TO PBMD OR STRONG BOX.
- WOOD MOULDING, STAPLED EVERY 3' AND AT EACH END.

GENERAL CONDUIT NOTES

- ALL CONDUITS WILL BE MANDRELED AND EQUIPPED WITH 3/8" PULL ROPE.
- SCHEDULE 40 CONDUIT FOR UNDERGROUND USE.
- SCHEDULE 80 CONDUIT FOR RISER USE.
- 2" GALVANIZED STEEL CONDUIT FOR NAY CONDUIT UNDER 3', STUB UP 10' THEN CONVERT TO SCHEDULE 80.
- CONVERT 4" CONDUIT TO A 3" AT BASE OF POLE.
- CONTRACTOR TO STUB UP POLE 10" W/ 3" POWER CONDUIT. POWER COMPANY TO CONVERT FROM 3" STUB SCHEDULE 80 TO 2" SCHEDULE 80 FROM TOP OF STUB UP.

TYPICAL R.O.W POLE CONSTRUCTION NOTES

- CABLE NOT IMPEDE 15" CLEAR SPACE OFF POLE FACE.
- ALL CLIMB STEPS NEXT TO CONDUIT SHALL HAVE EXTENDED STEPS.
- NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2"
- ALL HOLES IN POLE LEFT FROM RE-ARRANGEMENT OF CLIMBERS TO BE FILLED.
- 90° SHORT SWEEPS UNDER ANTENNA ARM, ALL CABLES MUST TRANSITION ON THE INSIDE OR BOTTOM OF THE ARM (NO CABLE ON TOP OF ARM).
- USE 90° CONNECTOR AT CABLE CONNECTION FOR OMNI ANTENNAS.
- USE CABLE CLAMPS TO SECURE CABLE TO ARMS. PLACE 2" CROWN CASTLE CABLE I.D. TAGS ON BOTH SIDES OF ARMS.
- USE 1/2" DIA. CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
- PLACE GPS ON ARM OF SOUTHERN SKY EXPOSURE AT MINIMUM 6" FROM TRANSMIT ANTENNA WHICH IS 24" AWAY FROM CENTER OF POLE.
- FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.



PROJECT INFORMATION:

8311 105
FIVE POINTS
16629 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

100% CONSTRUCTION DRAWINGS

REV. DATE DESCRIPTION BY:

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



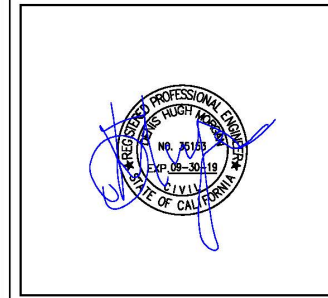
CONSULTANT:



DRAWN BY: CHK.: APV.:

SJS MIF MIF

LICENSER:

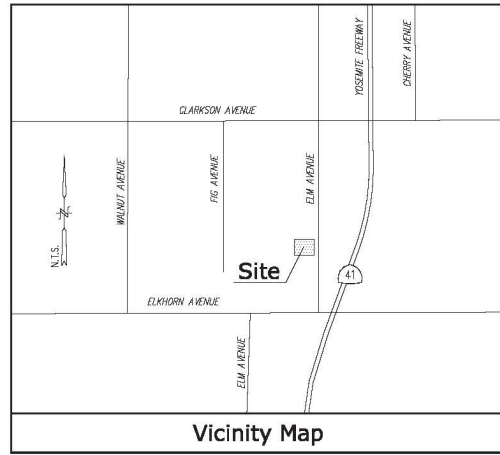


SHEET TITLE:

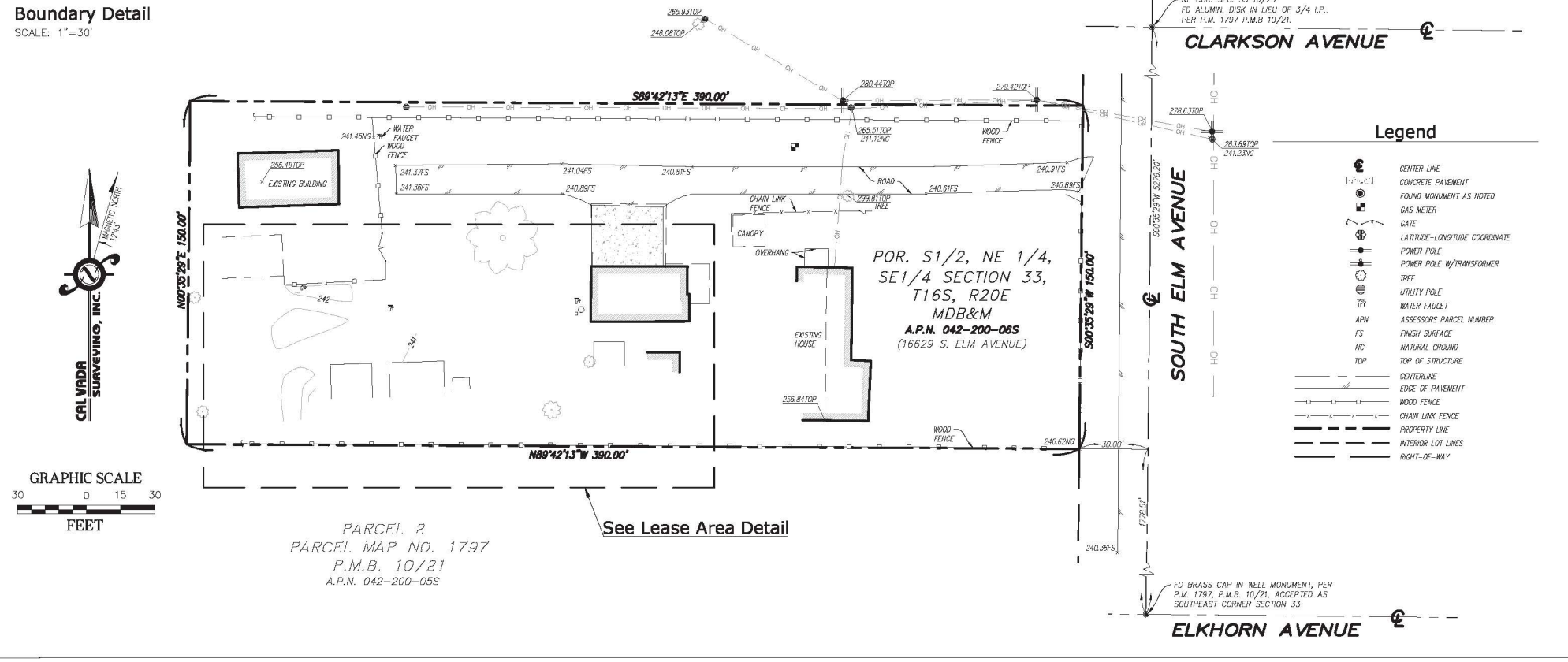
GENERAL NOTES

SHEET NUMBER:

T-2



Boundary Detail
SCALE: 1"=30'



Title Report

THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.
PREPARED BY:
ORDER NO.:
DATED:

Legal Description (PER DCC-2018-0078831)

THE SOUTH 150 FEET OF THE NORTH 200 FEET OF THE EAST 420 FEET OF SOUTH ONE-HALF OF SAID NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MOUNT Diablo BASE AND MERIDIAN, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA.

Assessor's Parcel No.

042-200-065

Easements

NOT AVAILABLE

Access Route/Lease Area

TO BE DETERMINED

Geographic Coordinates

TO BE DETERMINED
1983 DATUM: LATITUDE °XX'XX" N LONGITUDE °XX°XX'XX" W
ELEVATION = XXXX FEET ABOVE MEAN SEA LEVEL.

CERTIFICATION:
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS ("). TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATES SYSTEM (CCS 83), ZONE 4, 1983 DATUM, DEFINED BY SECTIONS 8801 TO 8819 OF THE CALIFORNIA PUBLIC RESOURCES CODE.

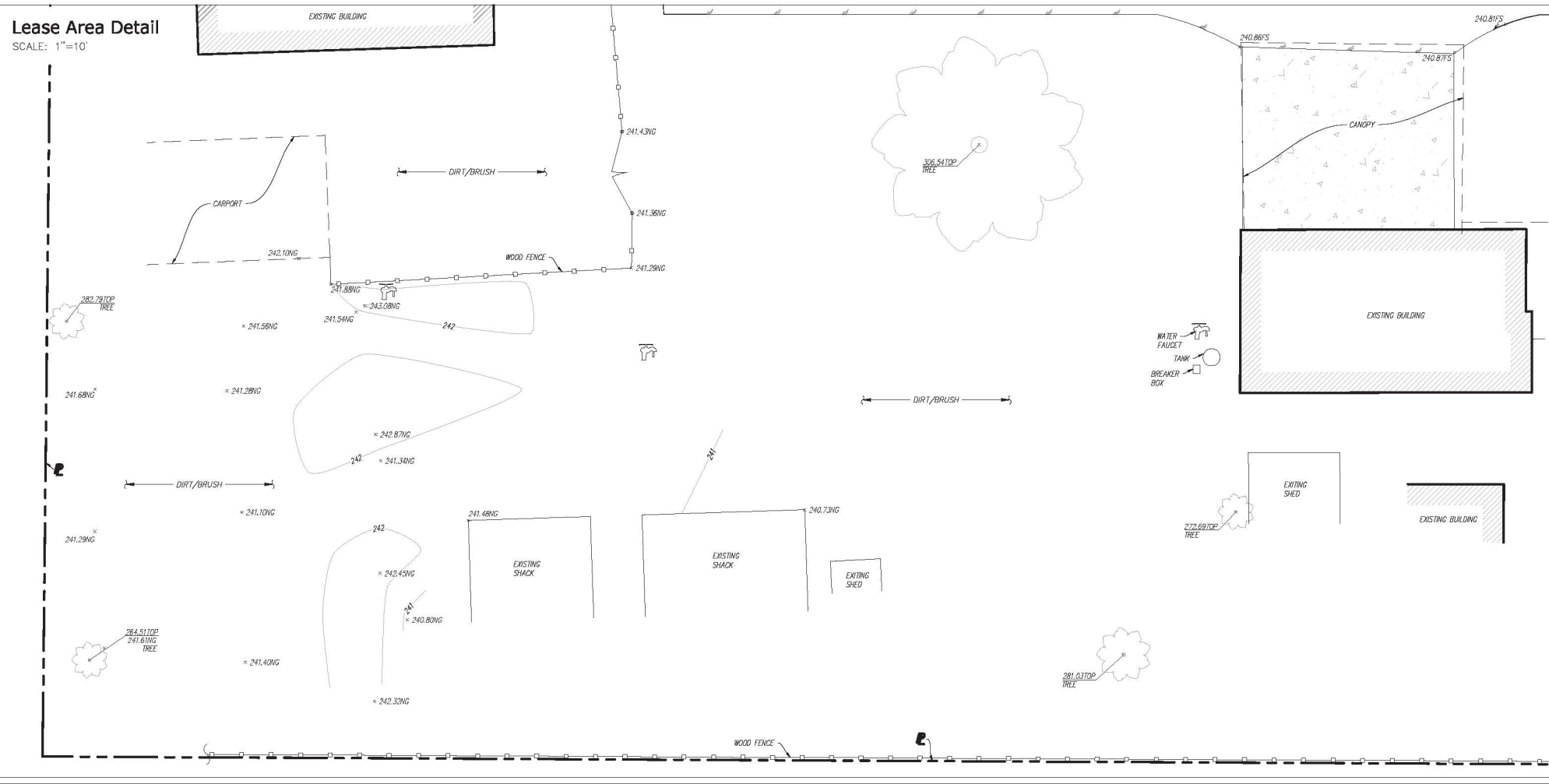
Bench Mark

THE CALIFORNIA SPATIAL REFERENCE CENTER C.O.R.S. "P300", ELEVATION = 562.58 FEET (NAVD 88).

Date of Survey

JANUARY 21, 2019

Lease Area Detail
SCALE: 1"=10'



PROJECT INFORMATION:
ELKHORN RD.
18629 S. ELM AVENUE
CARUTHERS, CA 93609
FRESNO COUNTY

CURRENT ISSUE DATE:
01/30/19

ISSUED FOR:
DESIGN

REV.: DATE: DESCRIPTION: BY:

01/30/19	SUBMITTAL	FR

PROJECT ARCHITECT/ENGINEER:
WSD Engineering, Inc.
WSD ENGINEERING INC.
9747 BUSINESSPARK AVENUE, STE 238
SAN DIEGO, CA 92131

CONSULTANT:
DRAWN BY: FR
CHK.: GBM
APV.:

LICENSER:
CAL VADA SURVEYING, INC.
411 Jenks Cir., Suite 205, Corona, CA 92880
Phone: 951-280-9860 Fax: 951-280-9748
Toll Free: 800-CALVADA www.calvada.com
JOB NO. 19048

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
S-1



PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS


PROJECT ARCHITECT/ENGINEER:

WSD Engineering, Inc.
 DBA WSD Construction Inc.
 2155 LAS POSITAS COURT, SUITE M
 LIVERMORE, CA 94551

CONSULTANT:

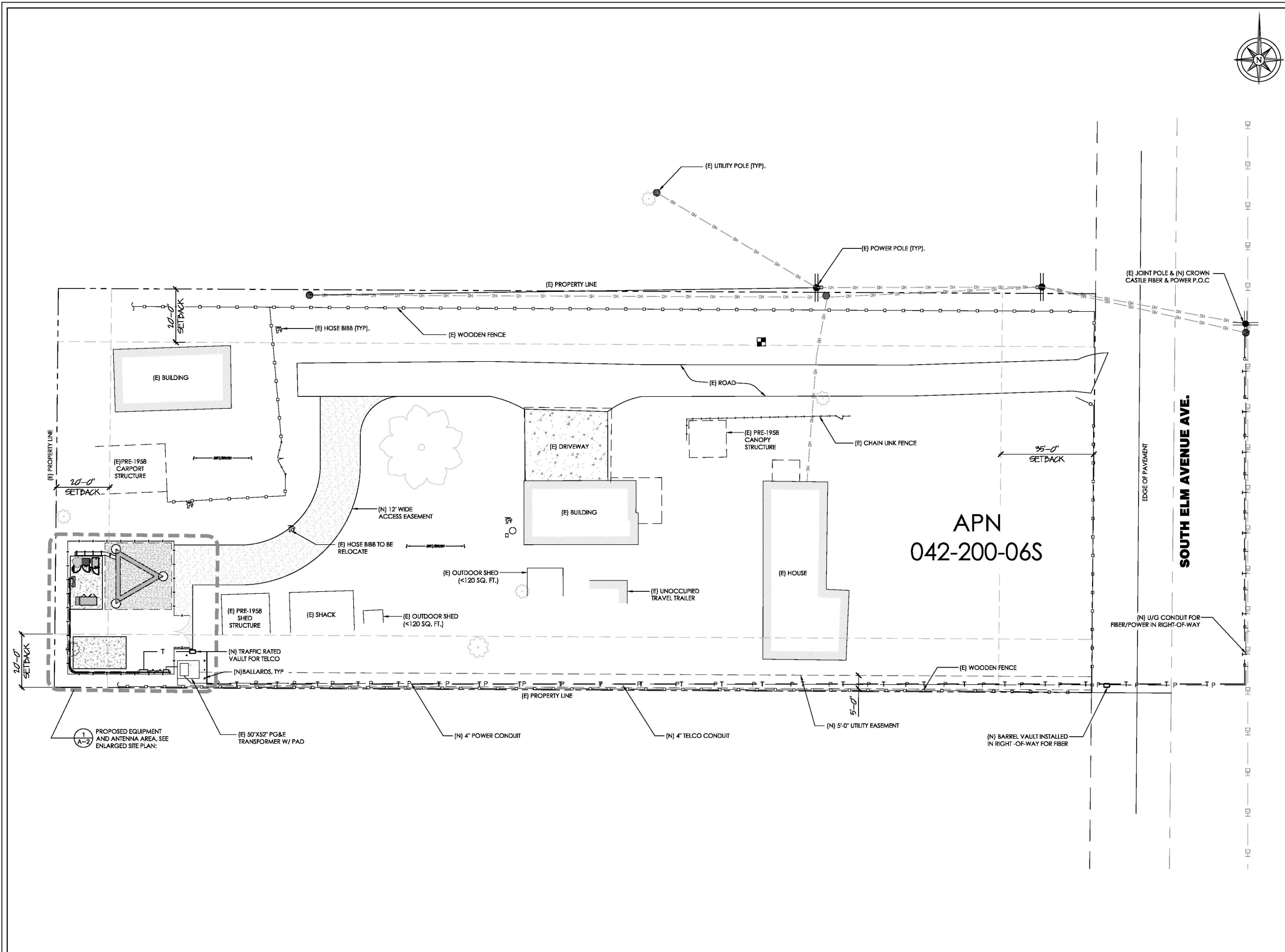
BEACON DEVELOPMENT, LLC
 3 ROVLNA LANE
 PETALUMA, CA 94952

DRAWN BY: _____ CHK.: _____ APV.: _____
 SJS MIF MIF

LICENSER:


SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
A-1



OVERALL SITE PLAN

40' 0 20' 40' SCALE: 1" = 40'-0" (24x36)
 (OR) 1/2" = 40'-0" (11x17) 1



PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609


CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS


REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:

 WSD Engineering, Inc.
 DBA WSD Construction Inc.
 2155 LAS POSITAS COURT, SUITE M
 LIVERMORE, CA 94551

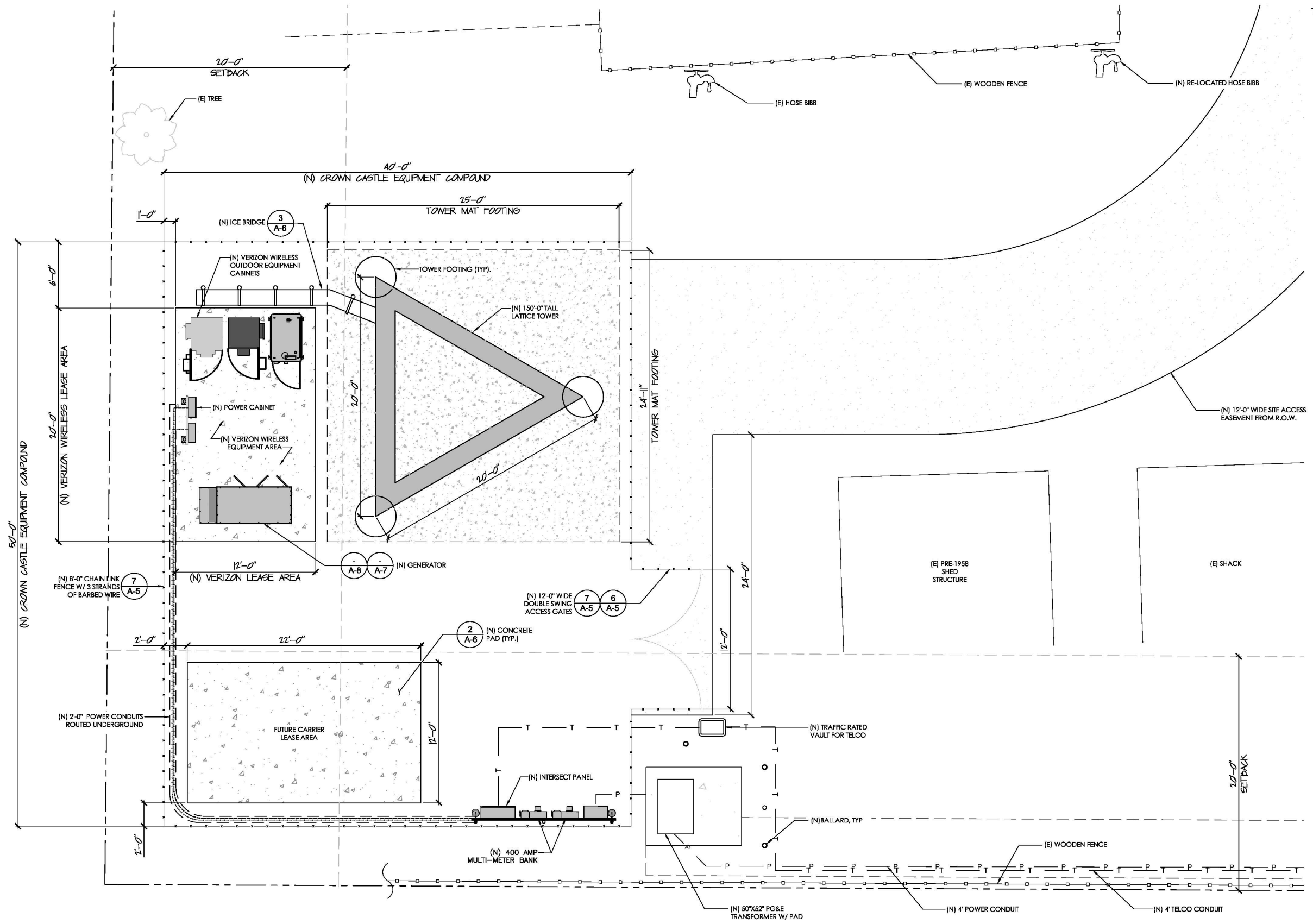
CONSULTANT:

 BEACON DEVELOPMENT, LLC
 3 ROVLNA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS
 CHK.: MIF
 APV.: MIF

LICENSER:


SHEET TITLE:
PROJECT AREA PLAN

SHEET NUMBER:
A-2





PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

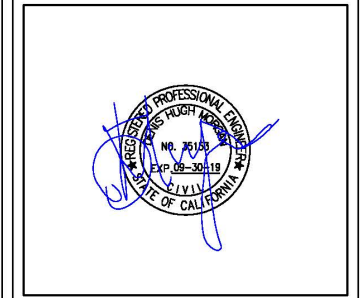
PROJECT ARCHITECT/ENGINEER:

WSD Engineering, Inc.
 DBA WSD Construction Inc.
 2155 LAS POSITAS COURT, SUITE M
 LIVERMORE, CA 94551

CONSULTANT:

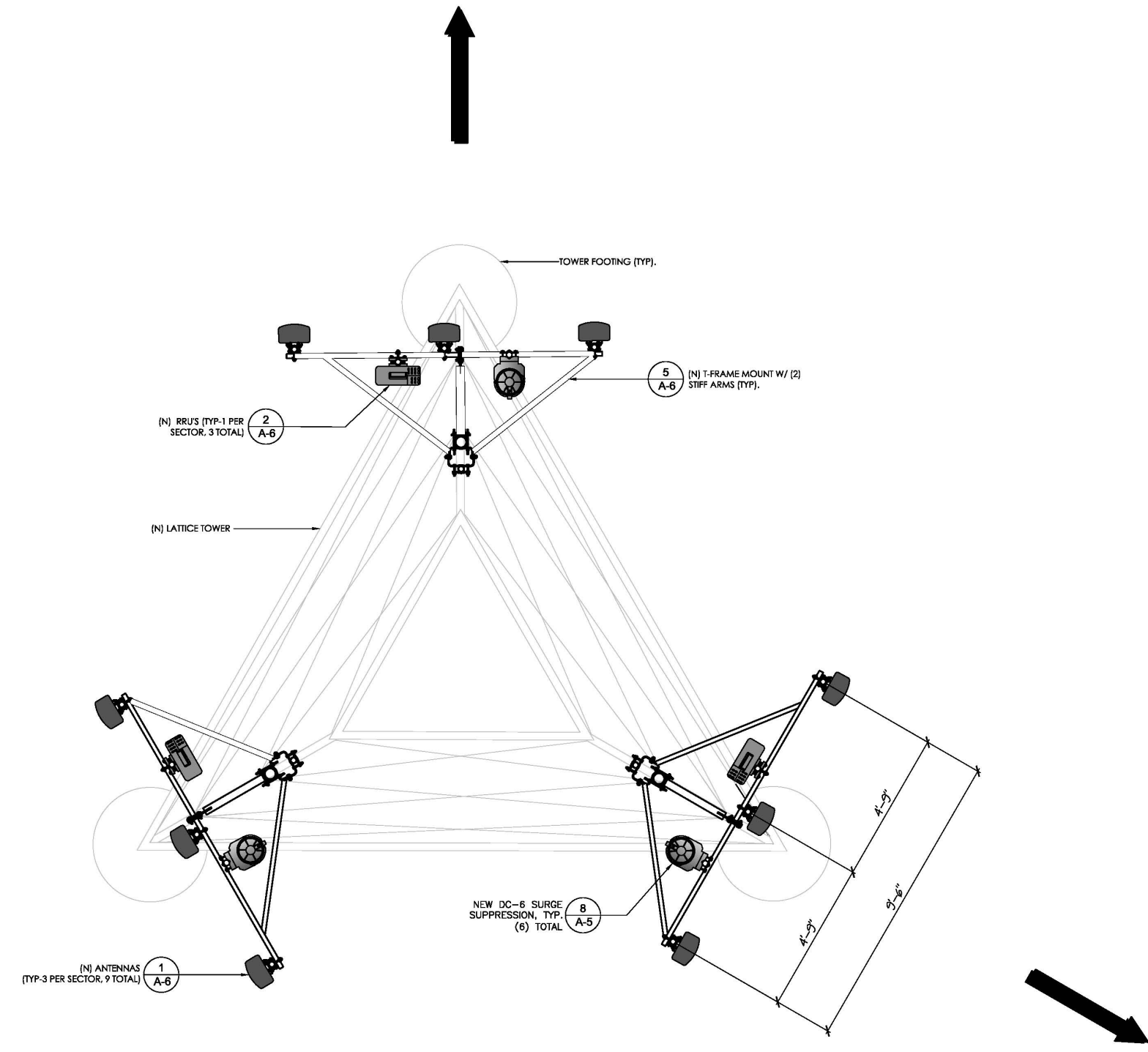
BEACON DEVELOPMENT, LLC
 3 ROVLNA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS CHK.: MIF APV.: MIF



SHEET TITLE:
ANTENNA LAYOUT

SHEET NUMBER:
A-3



PROJECT INFORMATION:

8311105

FIVE POINTS

16629 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

**100% CONSTRUCTION
DRAWINGS**

REV. DATE DESCRIPTION BY:

REV.	DATE	DESCRIPTION	BY:
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



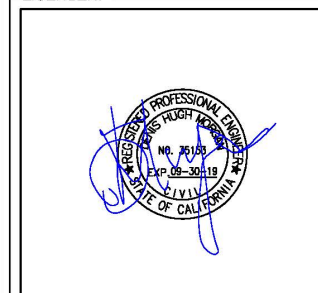
CONSULTANT:



DRAWN BY: CHK.: APV.:

SJS MIF MIF

LICENSER:



SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-4

TOP OF (N) LATTICE TOWER
EL. 150'-0" A.G.L.

RAD CENTER OF (N) VERIZON WIRELESS PANEL ANTENNAS
EL. 146'-0" A.G.L.

FUTURE CARRIER
EL. 136'-0" A.G.L.

1 (N) ANTENNAS
(TYP-3 PER SECTOR,
9 TOTAL)

2 (N) RRU'S (TYP-1 PER
SECTOR, 3 TOTAL)

RAD CENTER OF (N) VERIZON WIRELESS MW ANTENNA
EL. 88'-0" A.G.L.

(N) LATTICE TOWER

RAD CENTER OF (N) VERIZON WIRELESS MW ANTENNA
EL. 62'-0" A.G.L.

FINISHED GRADE
EL. 0'-0" A.G.L.

7 (N) 8'-0" CHAIN LINK
FENCE W/ 3 STRANDS
OF BARBED WIRE

(N) GENERATOR

TOP OF (N) LATTICE TOWER
EL. 150'-0" A.G.L.

RAD CENTER OF (N) VERIZON WIRELESS PANEL ANTENNAS
EL. 146'-0" A.G.L.

FUTURE CARRIER
EL. 136'-0" A.G.L.

1 (N) ANTENNAS
(TYP-3 PER SECTOR,
9 TOTAL)

2 (N) RRU'S (TYP-1 PER
SECTOR, 3 TOTAL)

RAD CENTER OF (N) VERIZON WIRELESS MW ANTENNA
EL. 88'-0" A.G.L.

(N) LATTICE TOWER

RAD CENTER OF (N) VERIZON WIRELESS MW ANTENNA
EL. 62'-0" A.G.L.

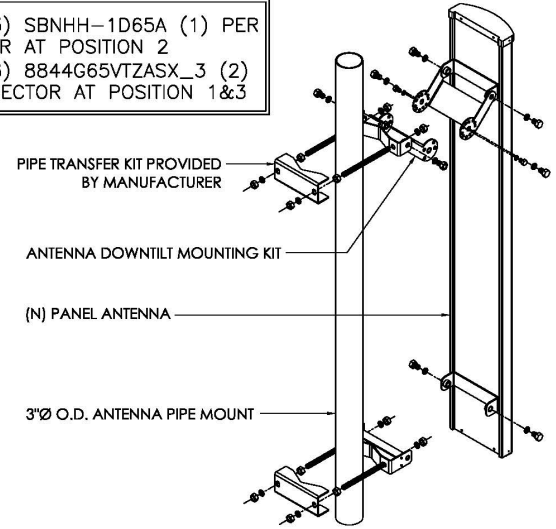
FINISHED GRADE
EL. 0'-0" A.G.L.

(N) 12'-0" WIDE
DOUBLE SWING
ACCESS GATES

(N) 8'-0" CHAIN LINK
FENCE W/ 3 STRANDS
OF BARBED WIRE

(N) GENERATOR

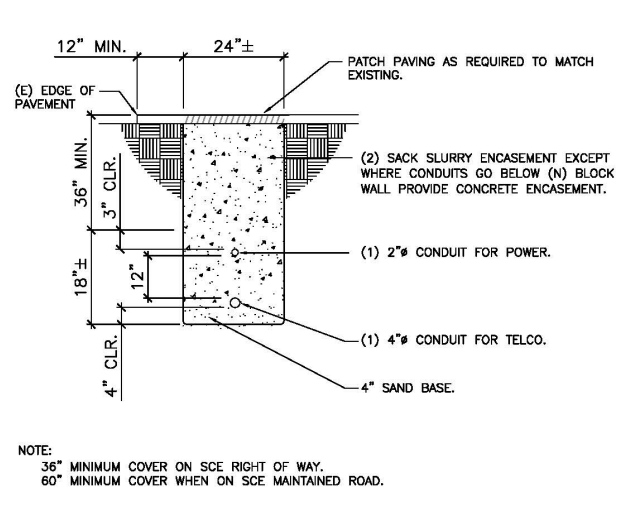
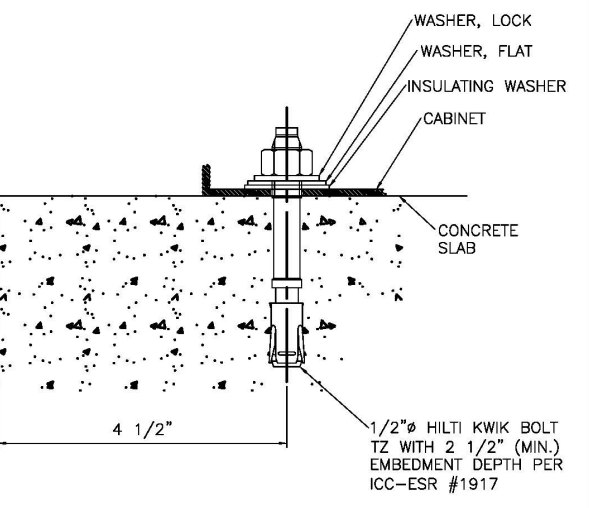
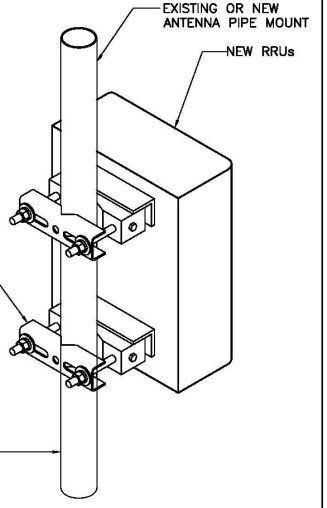
(N) (3) SBNHH-1D65A (1) PER SECTOR AT POSITION 2
(N) (6) 8844G65VTZASX_3 (2) PER SECTOR AT POSITION 1&3



(N) (3) RRU32
(1) PER SECTOR

ERICSSON MODEL: SXK-125-0245/1 SHORT POLE MOUNT, (2) PER RRU.

EXISTING OR PIPE MOUNT MOUNTED TO STEEL FRAME/EXISTING UNISTRUT



ANTENNA MOUNTING DETAIL

1 RRU32 MOUNTING DETAIL

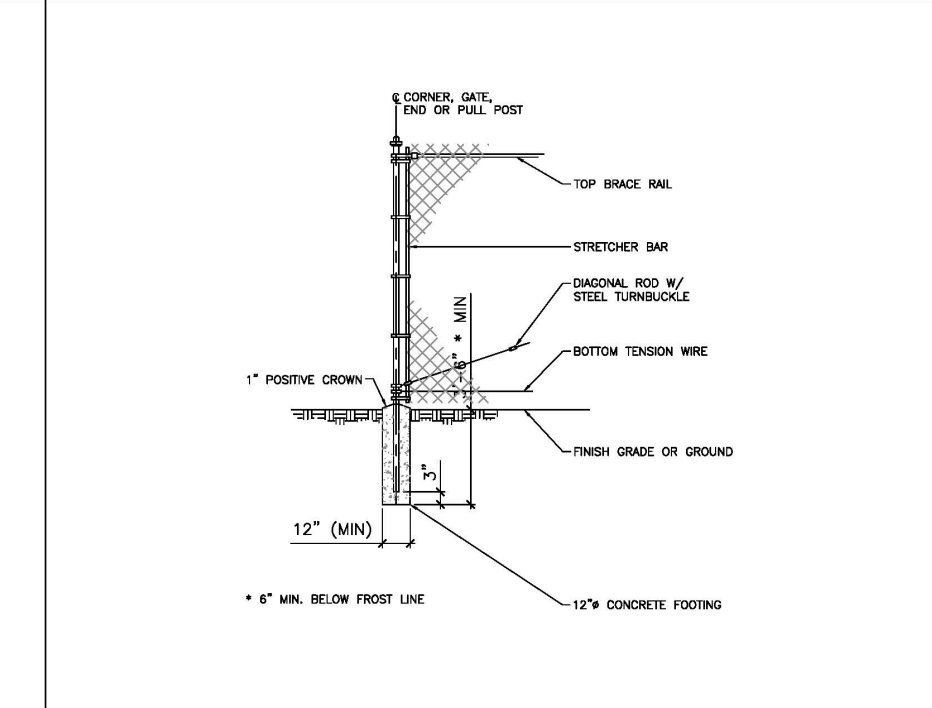
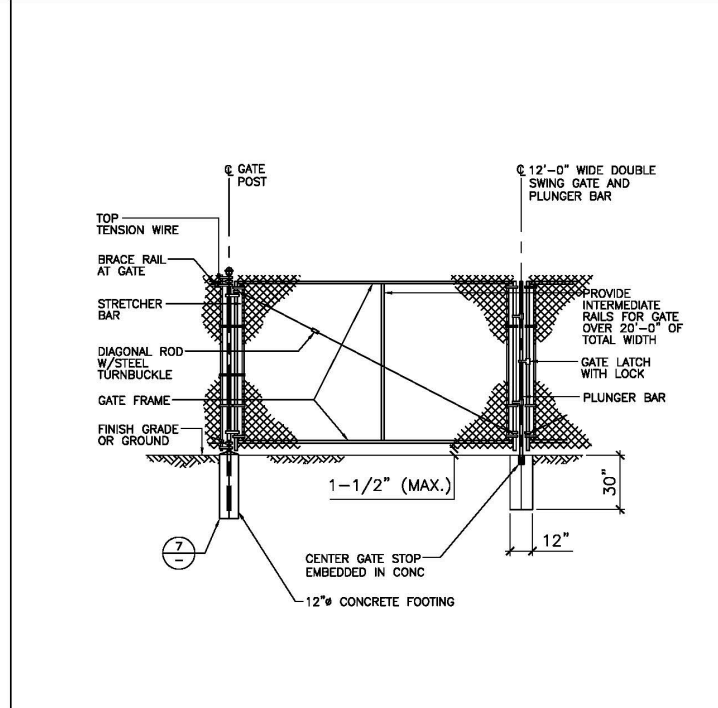
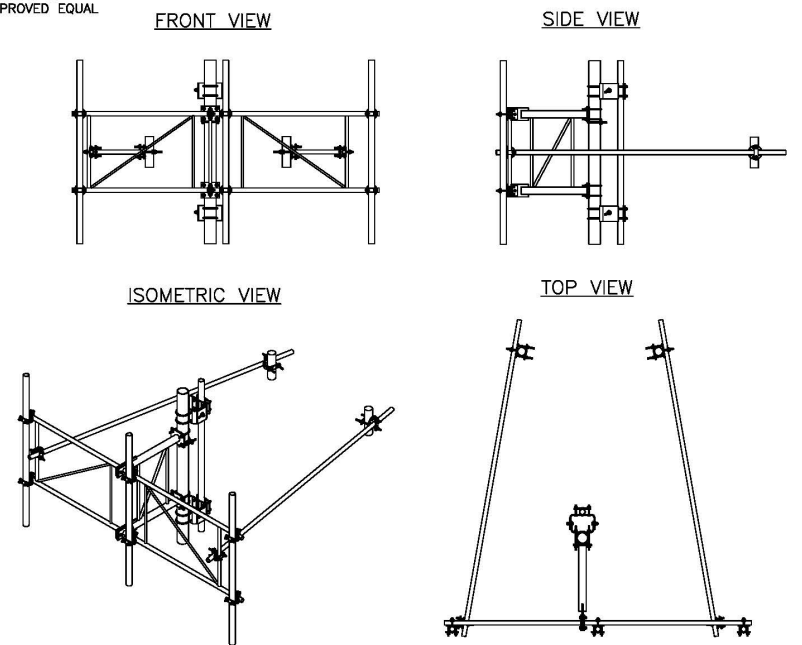
2 CABINET ANCHORAGE DETAIL

3 UNDERGROUND TRENCH DETAIL

4

10' LIGHTWEIGHT T-FRAME

PART # LTF10-3XX BY VALMONT OR APPROVED EQUAL



ANTENNA SUPPORT FRAME

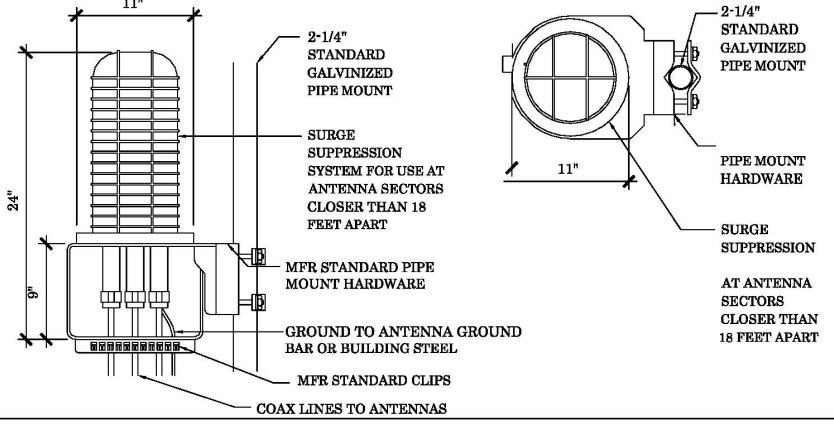
5 DOUBLE SWING ACCESS GATE DETAIL

6 FENCE POST DETAIL

7

RAYCAP DC6-48-60-18-8F & DC6-48-60-0-8F SURGE SUPPRESSION SOLUTION

COLOR: BLACK/SILVER
DIMENSIONS: 11" DIA X 24" TALL W/ 9" BASE
WEIGHT: 32 LBS. (INCLUDING MOUNTING HARDWARE)



DC6-48-60-18 SURGE SUPPRESSOR

8



PROJECT INFORMATION:
8311105
FIVE POINTS
16629 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

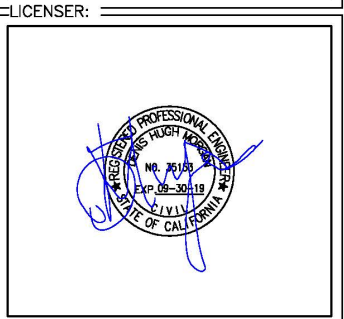
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:
WSD Engineering, Inc.
DBA WSD Construction Inc.
2155 LAS POSITAS COURT, SUITE M
LIVERMORE, CA 94551

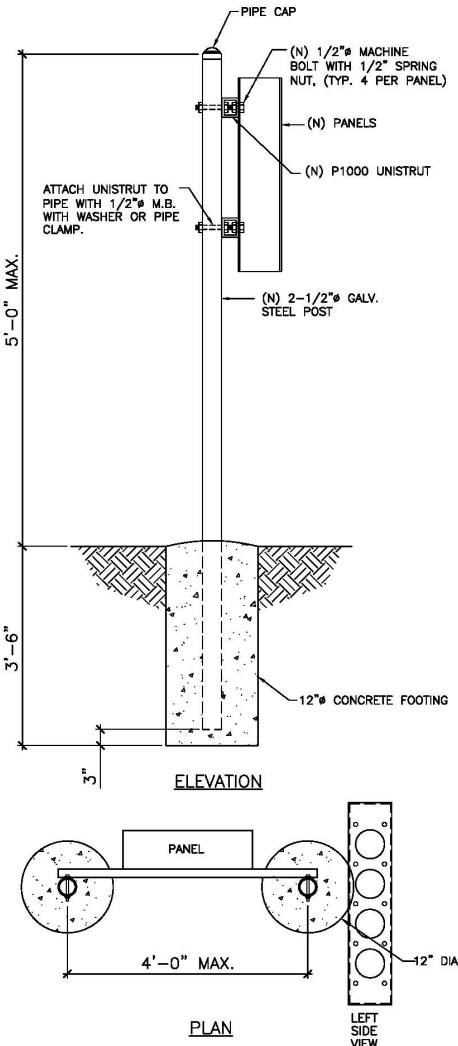
CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROVLNA LANE
PETALUMA, CA 94952

DRAWN BY: SJS
CHK.: MIF
APV.: MIF



SHEET TITLE:
DETAILS

SHEET NUMBER:
A-5

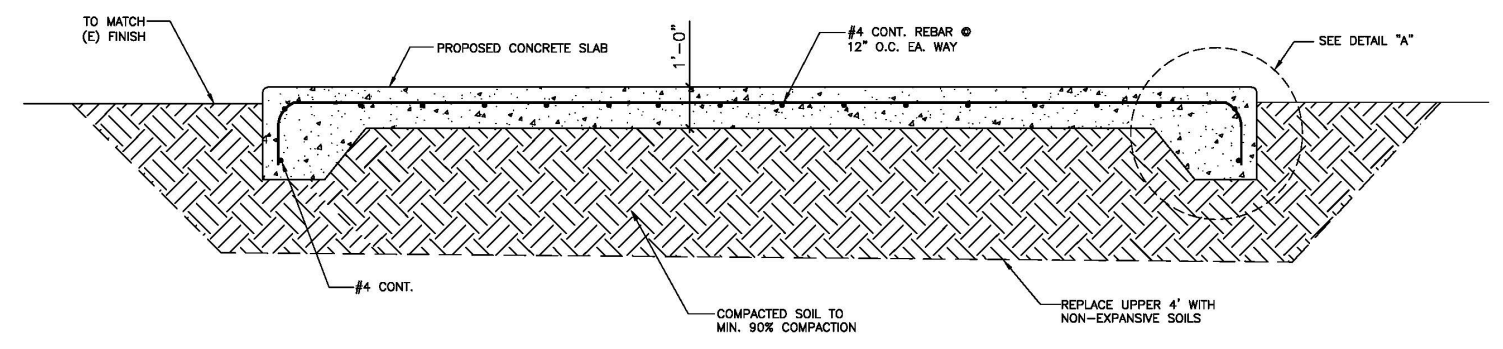
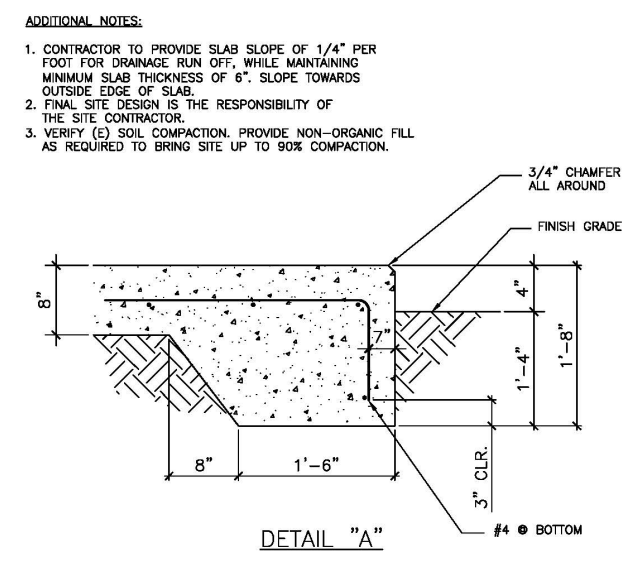


H-FRAME DETAIL

1 CONCRETE PAD DETAIL

STANDARD CONCRETE NOTES:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301-89, ACI 318-95 AND THE SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 CONCRETE CAST AGAINST EARTH.....3 IN.
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #6 AND LARGER2 IN.
 #5 AND SMALLER & WWF.....1-1/2 IN.
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 SLAB AND WALL3/4 IN.
 BEAMS AND COLUMNS.....1-1/2 IN.
- A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE U.N.O. IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR BOLT, DOWEL OR ROD AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOCATE AND AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
- USE AND INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER ICBO & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.



PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: SJS CHK.: MIF APV.: MIF

LICENSER:



SHEET TITLE:

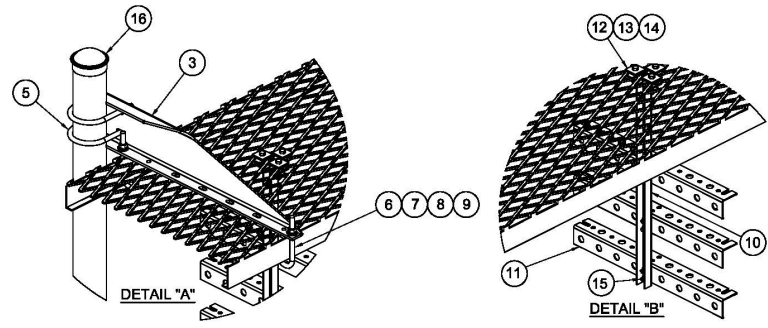
DETAILS

SHEET NUMBER:

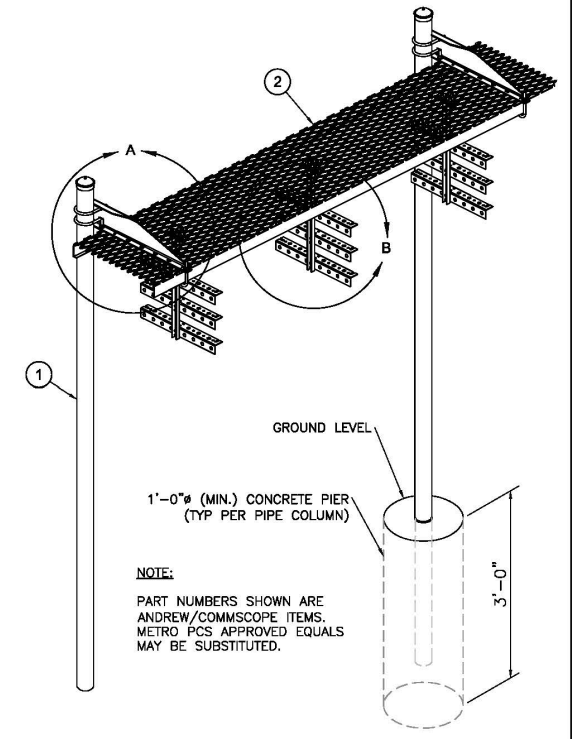
A-6

PARTS LIST-ANDREW/COMMSCOPE

ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MF-130	DIRECT BURIAL PIPE COLUMN, 13'-4"	2	100.91 LBS
2	WB-CY210	SAFETY GRATING 24" X 10" X 12 GAUGE	1	80.01 LBS
3	WBLB243.06	24" WAVEGUIDE BRIDGE SUPPORT BRACKET	2	12.72 LBS
4	WBK210BH	HARDWARE KIT ITEM#5-1B	1	
5	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT KIT	4	0.83 LBS
6	WB-JB-6	1/2" J-BOLT	4	0.49 LBS
7	GW-F-04	1/2" GALV FLAT WASHER	4	0.04 LBS
8	GWL-04	1/2" GALV LOCK WASHER	4	0.04 LBS
9	GN-04	1/2" GALV HEX NUT	4	0.14 LBS
10	WBT243.01	VERTICAL TRAPEZE SECTION	3	2.55 LBS
11	WBT243.02	HORIZONTAL TRAPEZE SECTION	9	2.80 LBS
12	MT-387	SQUARE WASHER, 1 1/2" X 1 1/2" W/ 7/16" HOLE	18	0.11 LBS
13	GB-03205	3/8" X 2" GALV BOLT KIT	9	0.08 LBS
14	GW-F-03	3/8" GALV FLAT WASHER	9	0.04 LBS
15	GB-03105	3/8" X 1" GALV BOLT KIT	18	0.08 LBS
16	PC-034	PIPE CAP 3-1/2"	2	0.94 LBS

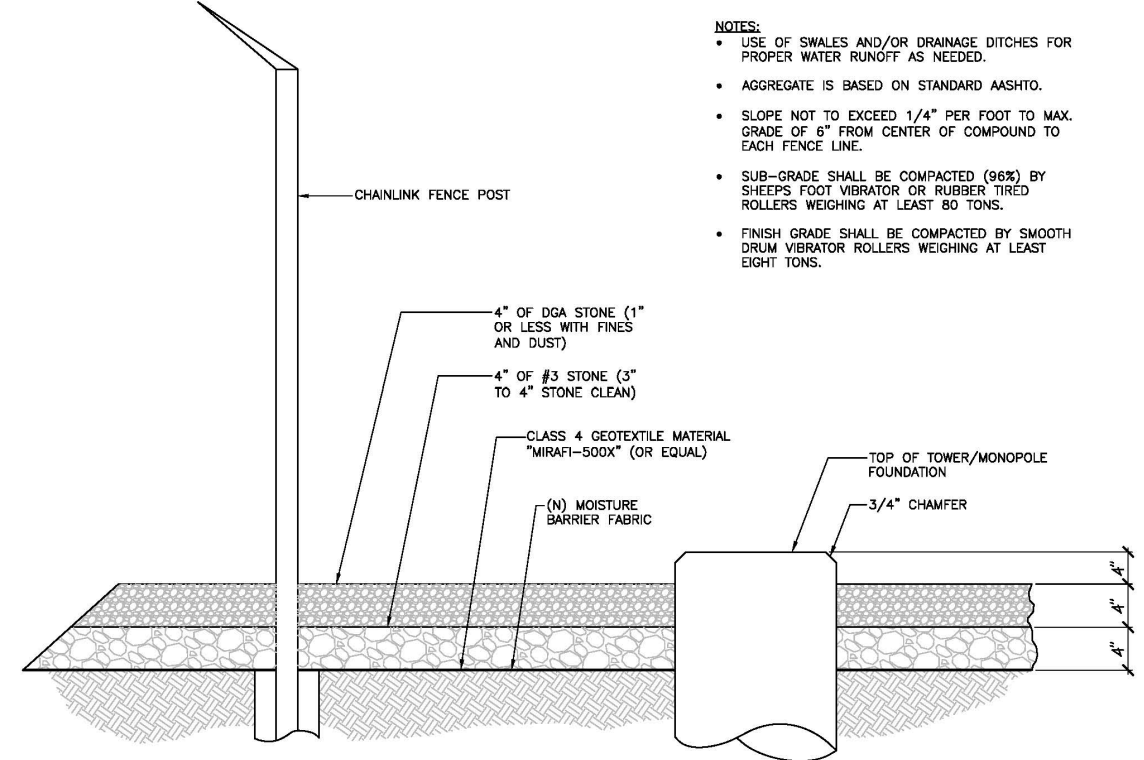


ICE BRIDGE DETAIL



NOTE:
 PART NUMBERS SHOWN ARE ANDREW/COMMSCOPE ITEMS. METRO PCS APPROVED EQUALS MAY BE SUBSTITUTED.

3 CHAINLINK FENCE POST DETAIL



NOTES:

- USE OF SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
- AGGREGATE IS BASED ON STANDARD AASHTO.
- SLOPE NOT TO EXCEED 1/4" PER FOOT TO MAX. GRADE OF 6" FROM CENTER OF COMPOUND TO EACH FENCE LINE.
- SUB-GRADE SHALL BE COMPACTED (96%) BY SHEEPS FOOT VIBRATOR OR RUBBER TIERED ROLLERS WEIGHING AT LEAST 80 TONS.
- FINISH GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEAST EIGHT TONS.

4 COMPOUND GRAVEL COVER DETAIL



PROJECT INFORMATION:

8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

100% CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: CHK.: APV.:

SJS MIF MIF

LICENSER:

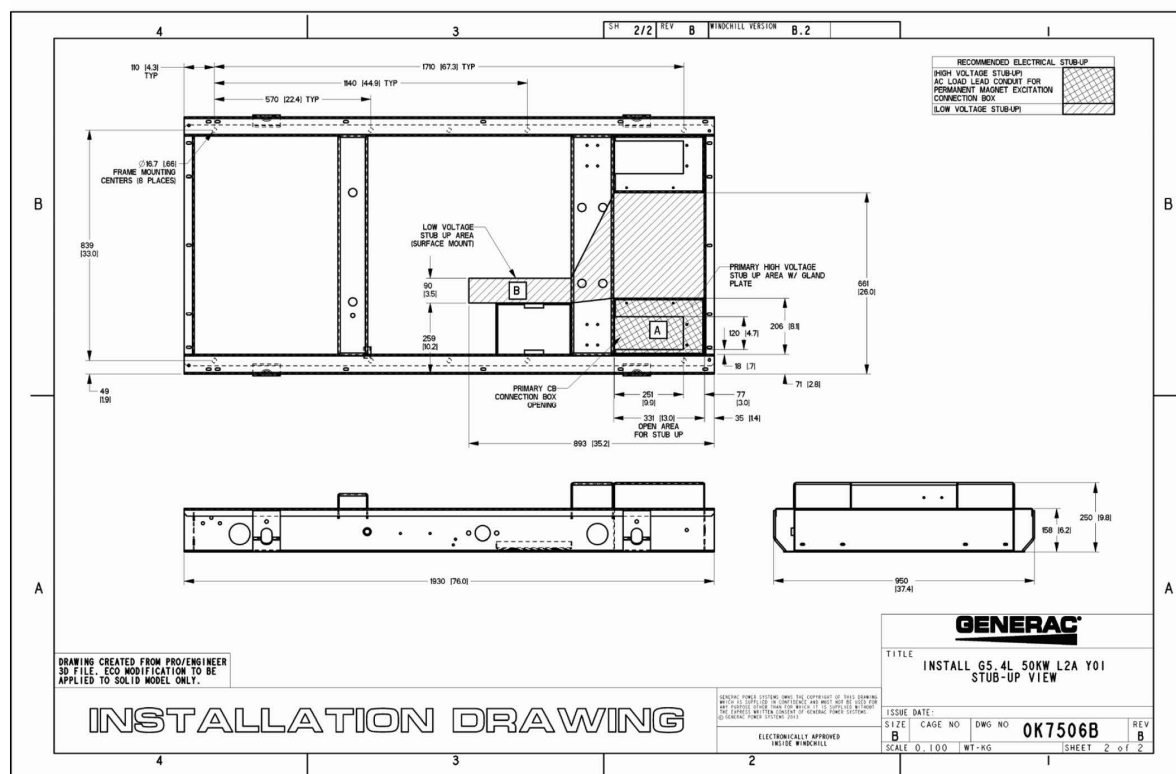
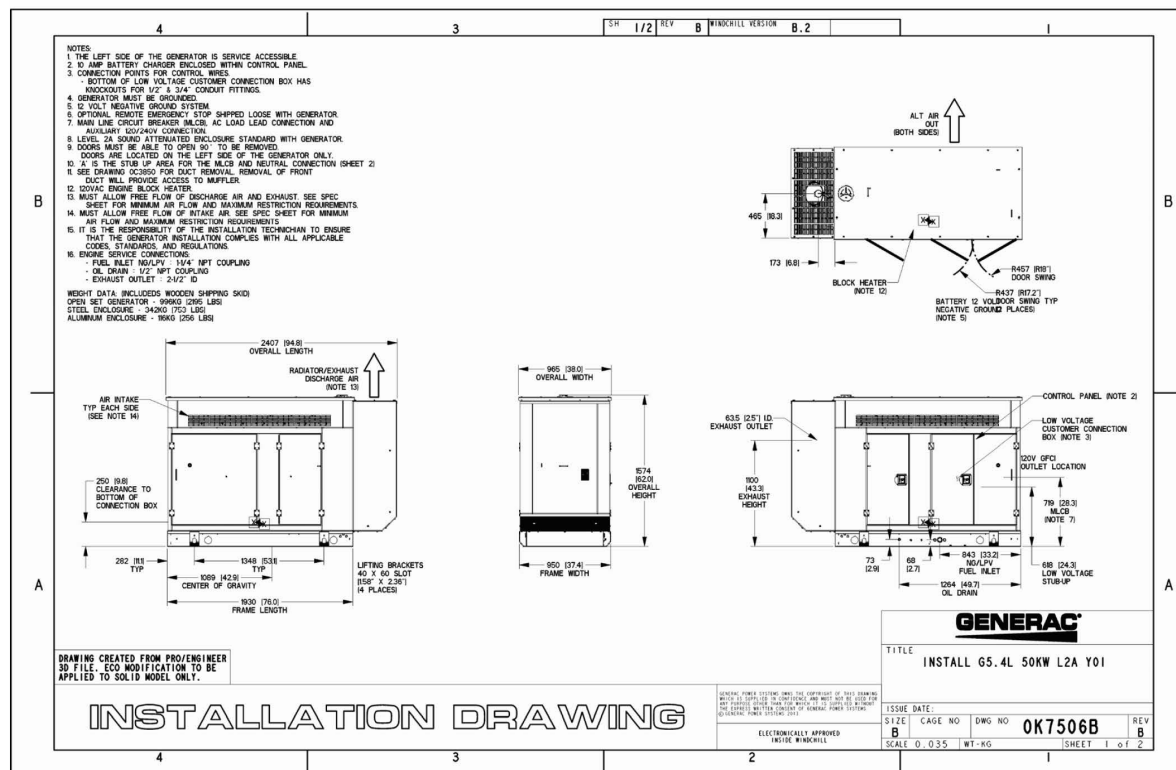


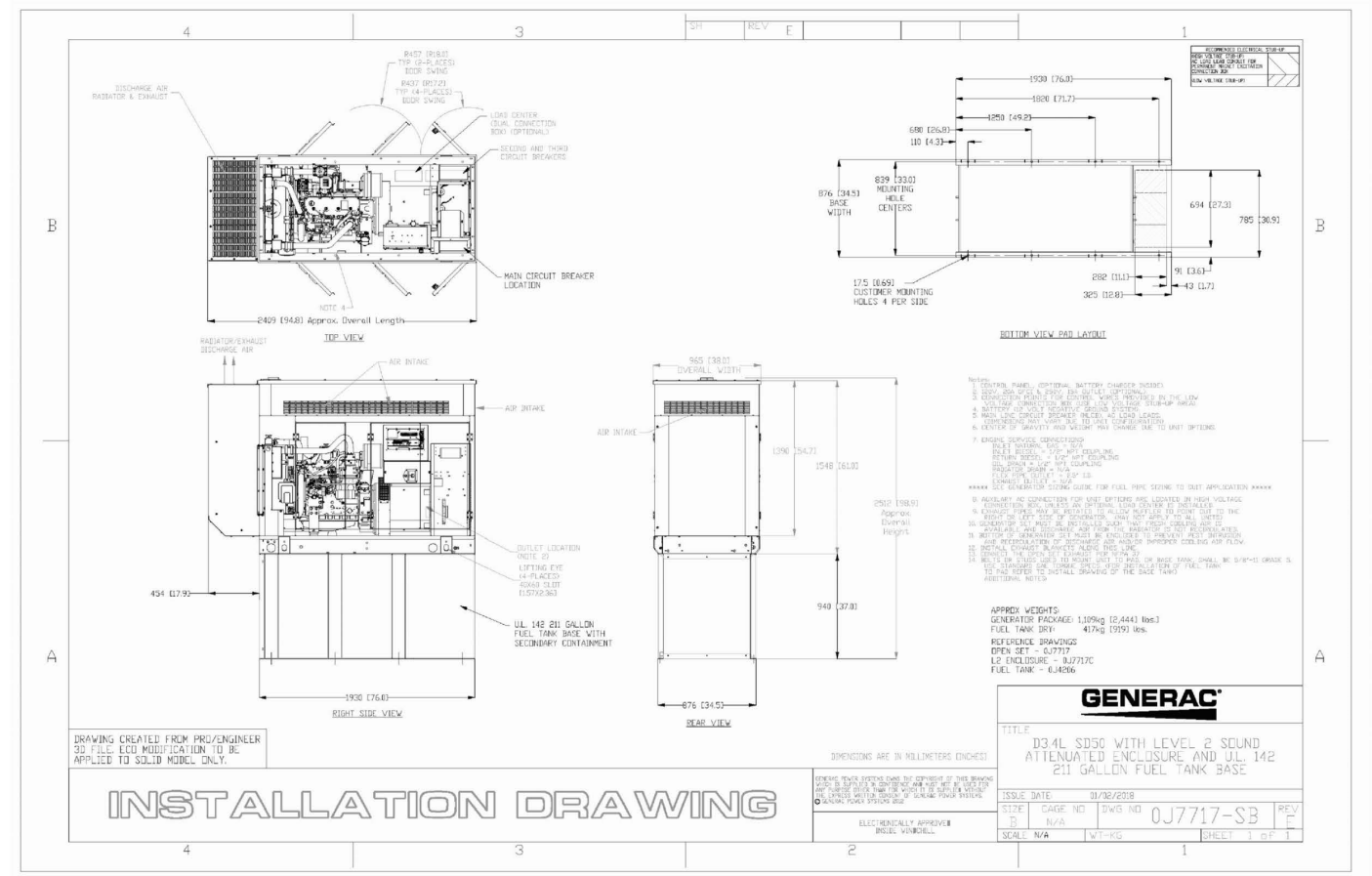
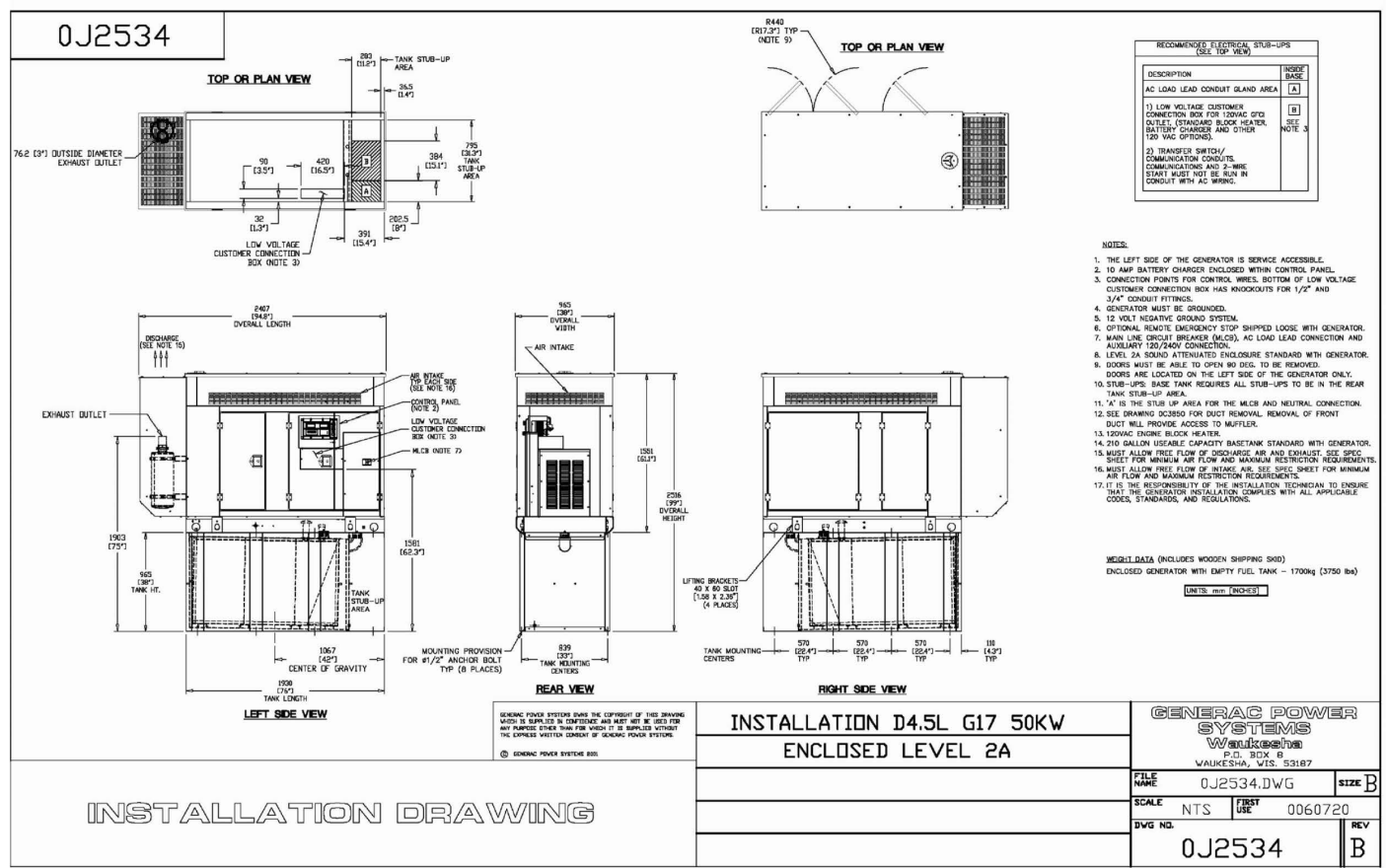
SHEET TITLE:

DETAILS

SHEET NUMBER:

A-7





PROJECT INFORMATION:
8311105
FIVE POINTS
18629 S. ELM AVENUE
CARUTHERS, CA 93809

CURRENT ISSUE DATE:
08/28/19

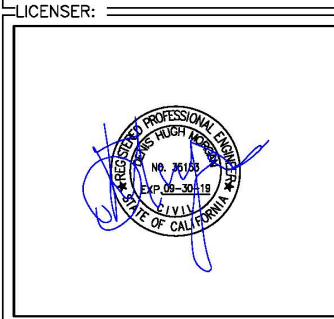
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY:
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:
WSD Engineering, Inc.
DBA WSD Construction Inc.
2155 LAS POSITAS COURT, SUITE M
LIVERMORE, CA 94551

CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROVLINA LANE
PETALUMA, CA 94952

DRAWN BY: SJS
CHK.: MIF
APV.: MIF



SHEET TITLE:
DETAILS

SHEET NUMBER:
A-8



PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS


PROJECT ARCHITECT/ENGINEER:

WSD Engineering, Inc.
 DBA WSD Construction Inc.
 2155 LAS POSITAS COURT, SUITE M
 LIVERMORE, CA 94551

CONSULTANT:

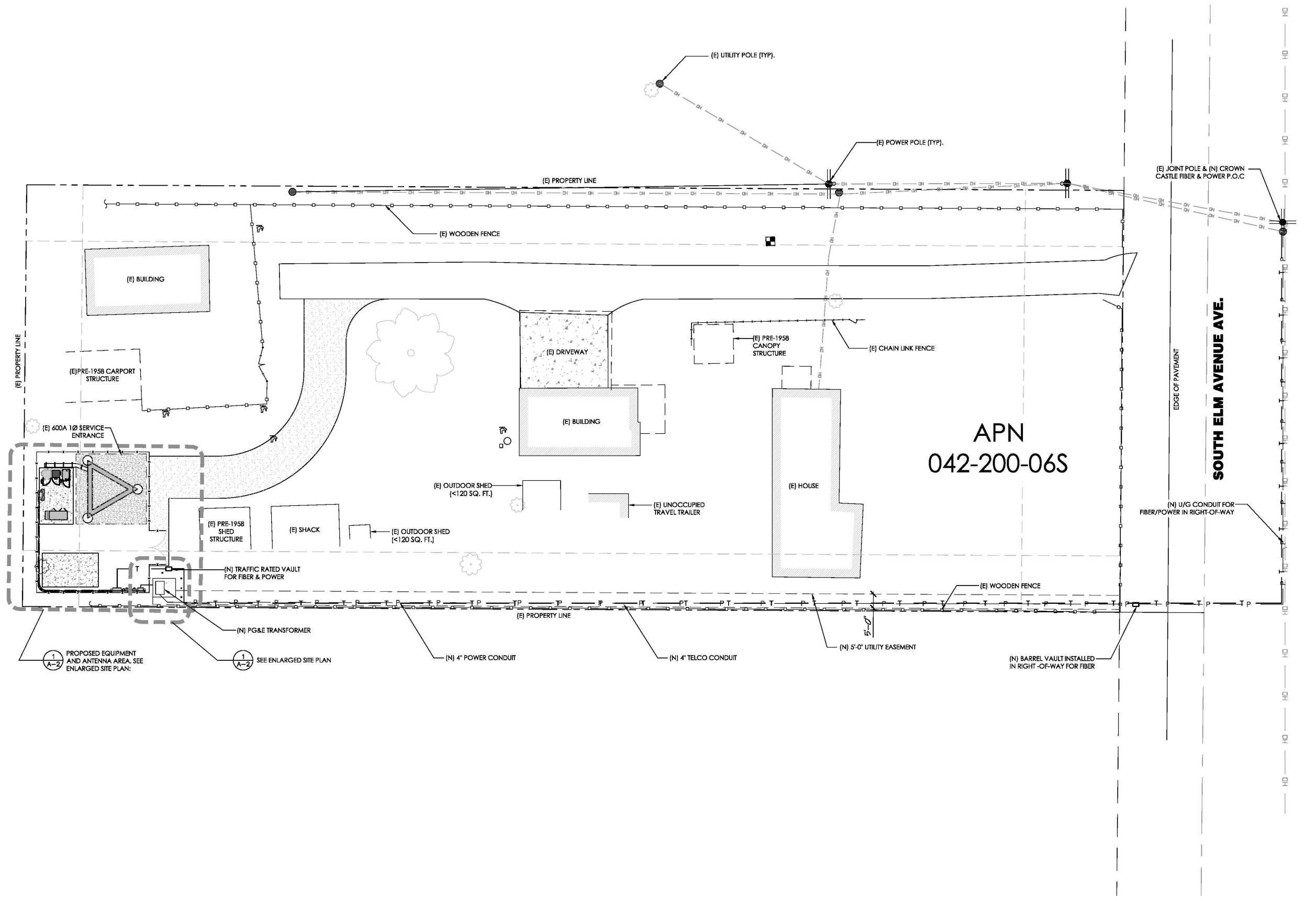
BEACON DEVELOPMENT, LLC
 3 ROVLNA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS
 CHK.: MIF
 APV.: MIF

LICENSER:


SHEET TITLE:
UTILITY SITE PLAN

SHEET NUMBER:
E-1

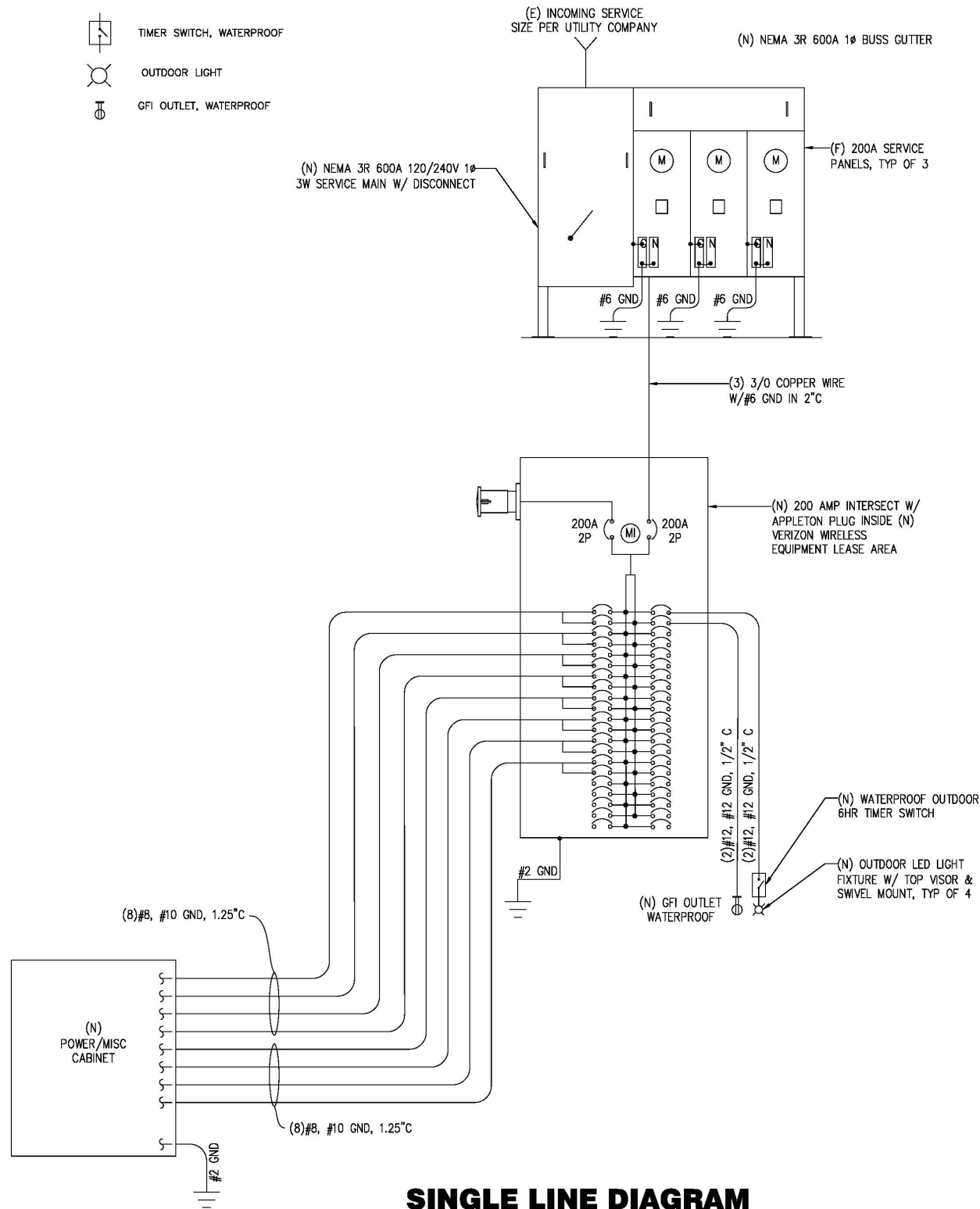


UTILITY SITE PLAN

40' 0 20' 40' SCALE: 1" = 40'-0" (24x36)
 (OR) 1/2" = 40'-0" (11x17) 1

ELECTRIC LEGEND

- (M) MECHANICAL INTERLINK
- (KWH) METER
- CIRCUIT BREAKER
- SERVICE GROUND
- WIRED CONNECTION
- TIMER SWITCH, WATERPROOF
- OUTDOOR LIGHT
- GFI OUTLET, WATERPROOF



SINGLE LINE DIAGRAM

ELECTRIC NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AS WELL AS ALL APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, CONDUCTORS, PU_BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
- ALL ELECTRICAL ITEMS SHALL BE U.I. APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
- ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C OR AS REQUIRED.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY A APPLICABLE CODES.
- ELECTRICAL WIRING SHALL BE COPPER #12 MIN WITH TYPE XHHW, THWN, OR THHN INSULATION.
- ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
- ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
- A GROUND WIRE IS TO BE PULLED IN ALL CONDUITS.
- WHERE ELECTRICAL WIRING OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATERTIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.

LOAD STUDY		
CARRIER	Ø	kVA
VERIZON	1	35 kVA
AT&T	1	31 kVA
CROWN CASTLE	1	19 kVA
TOTAL =		85 kVA

120/240V PANEL SCHEDULE

NAMEPLATE : PANEL A		SC LEVEL : 10,000		VOLTS: 120V/240V, 1Ø				
LOCATION : AT EQUIPMENT				BUS AMPS: 200A				
MOUNTING : CMU WALL				MAIN CB: 200A				
ØA	ØB	LOAD DESCRIPTION	BKR AMP/POLE	CIRCUIT NO	BKR AMP/POLE	LOAD DESCRIPTION	ØA	ØB
2292		RECTIFIER 1	30/2	1 2	20/1	TECH LIGHT	300	
2292	2292	RECTIFIER 2	30/2	3 4	20/1	GFI RECEPTACLE		180
2292		RECTIFIER 3	30/2	7 8		BLANK		
2292	2292	RECTIFIER 4	30/2	9 10		" "		
2292		RECTIFIER 5	30/2	11 12		" "		
2292	2292	RECTIFIER 6	30/2	13 14		" "		
2292		RECTIFIER 7	30/2	15 16		" "		
2292	2292	RECTIFIER 8	30/2	17 18		" "		
2292		" "	" "	19 20		" "		
2292	2292	" "	" "	21 22		" "		
2292		" "	" "	23 24		" "		
2292	2292	" "	" "	25 26		" "		
2292		" "	" "	27 28		" "		
2292	2292	" "	" "	29 30		" "		
		" "	" "	31 32		" "		
		" "	" "	33 34		" "		
		" "	" "	35 36		" "		
		" "	" "	37 38		" "		
		" "	" "	39 40		" "		
		" "	" "	41 42		" "		
18336	16044	PHASE TOTALS				PHASE TOTALS	300	180
TOTAL VA =	34860	TOTAL AMPS =	145					



PROJECT INFORMATION:

8311105
FIVE POINTS
18629 S. ELM AVENUE
CARUTHERS, CA 93809

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

100% CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



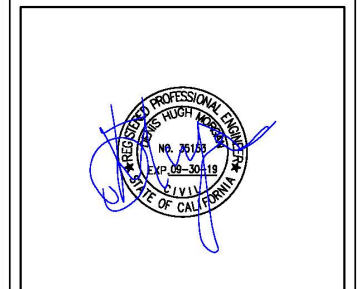
CONSULTANT:



DRAWN BY: CHK.: APV.:

SJS MIF MIF

LICENSER:



SHEET TITLE:

SINGLE LINE DIAGRAM AND PANEL SCHEDULE

SHEET NUMBER:

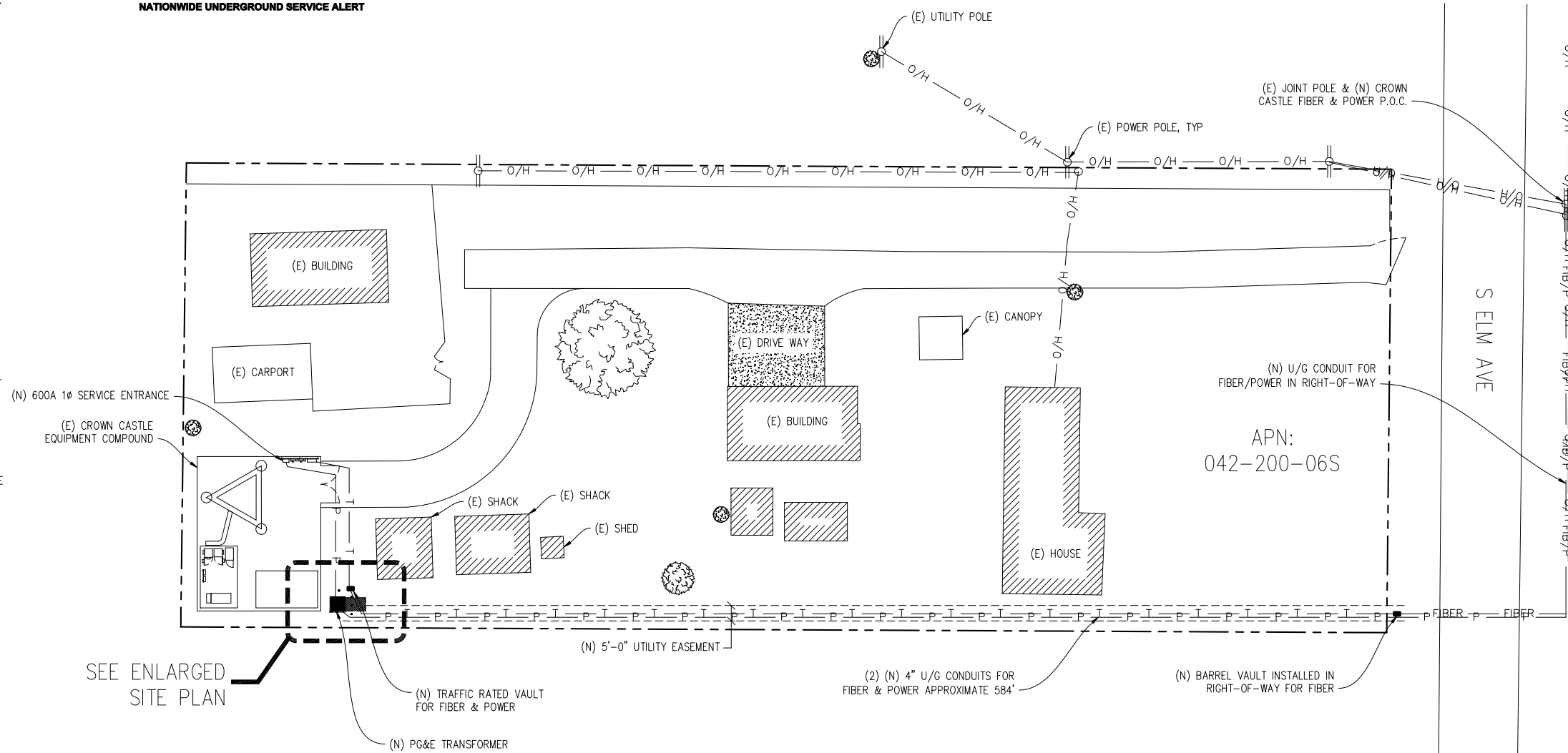
E-2

PROJECT GENERAL NOTES

- THIS FACILITY IS AN UNOCCUPIED WIRELESS TELECOMMUNICATION FACILITY.
- PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR PERMIT FEES, AND TO OBTAIN SAID PERMITS AND TO COORDINATE INSPECTIONS.
- THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL ALSO COORDINATE ALL PORTIONS OF THE WORK UNDER THE CONTRACT; INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTION MANAGER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER.
- KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED, OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND ALL OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE A TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
- SUFFICIENT MONUMENTATION WAS NOT RECOVERED TO ESTABLISH THE POSITION OF THE BOUNDARY LINES SHOWN HEREON. THE BOUNDARY REPRESENTED ON THIS MAP IS BASED ON COMPILED RECORD DATA AND BEST FIT ONTO EXISTING IMPROVEMENTS. IT IS POSSIBLE FOR THE LOCATION OF THE SUBJECT PROPERTY TO SHIFT FROM THE PLACEMENT SHOWN HEREON WITH ADDITIONAL FIELD WORK AND RESEARCH. THEREFORE ANY SPATIAL REFERENCE MADE OR SHOWN BETWEEN THE RELATIONSHIP OF THE BOUNDARY LINES SHOWN HEREON AND EXISTING GROUND FEATURES, EASEMENTS OR LEASE AREA IS INTENDED TO BE APPROXIMATE AND IS SUBJECT TO VERIFICATION BY RESOLVING THE POSITION OF THE BOUNDARY LINES.
- THE CONTRACTOR TO VERIFY THE LATEST/CURRENT RF DESIGN.
- WHERE APPLICABLE, CONTRACTOR SHALL PROVIDE SEPARATE PLANS, SPECIFICATIONS, FEES AND PERMITS FOR ANY REVISION TO ANY FIRE SPRINKLER AND/OR ALARM SYSTEM ON THE PREMISES AS MAY BE NEEDED TO COMPLETE THE WORK DEPICTED HEREIN, USING A C-10 LICENSED SUBCONTRACTOR FOR ALL SUCH WORK.

TRENCHING NOTES

- CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
- VERIFY ALL TRENCHING REQUIREMENTS WITH SERVING UTILITIES.
- RESTORE GRADE TO ORIGINAL CONDITION OR BETTER.
- RETURN FILL TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM STANDARDS.
- RESTORE CUT CONCRETE OR ASPHALT TO ORIGINAL CONDITION OR BETTER.



SEE ENLARGED SITE PLAN



SITE PLAN

1"=20'-0"



FIVE POINTS

814686
16629 S ELM AVE
CARUTHERS, CA 93609

ISSUE STATUS

Δ	DATE	DESCRIPTION	BY
	05/28/19	CD 90%	D.G.
	-	-	-
	-	-	-
	-	-	-
	-	-	-
	-	-	-

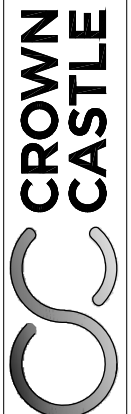
DRAWN BY: D. GARCIA
CHECKED BY: S. SAVG
APPROVED BY: -
DATE: 05/28/19

Streamline Engineering and Design, Inc.
8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorenson Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THESE PLANS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. WHETHER THE PRODUCTS FOR WHICH THEY ARE MADE ARE EXECUTED OR NOT. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. COPYRIGHT © 2008 BY STREAMLINE ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSON
S4469



4301 HACIENDA DR, SUITE 410
PLEASANTON, CA 94588

SHEET TITLE:

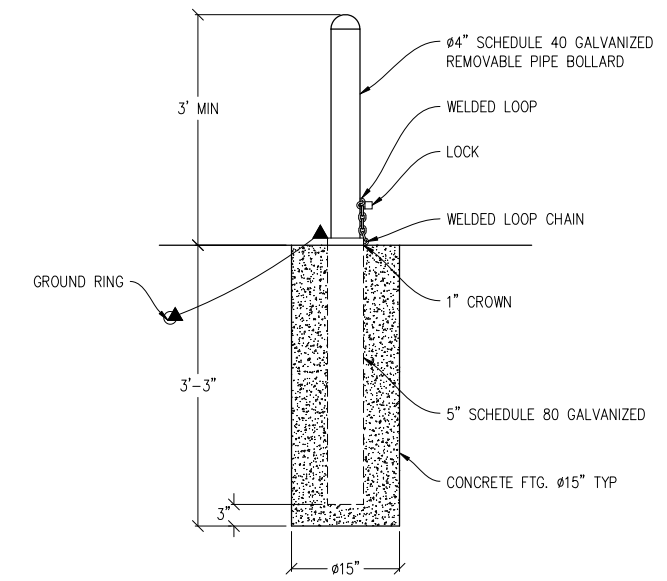
SITE PLAN

SHEET NUMBER:

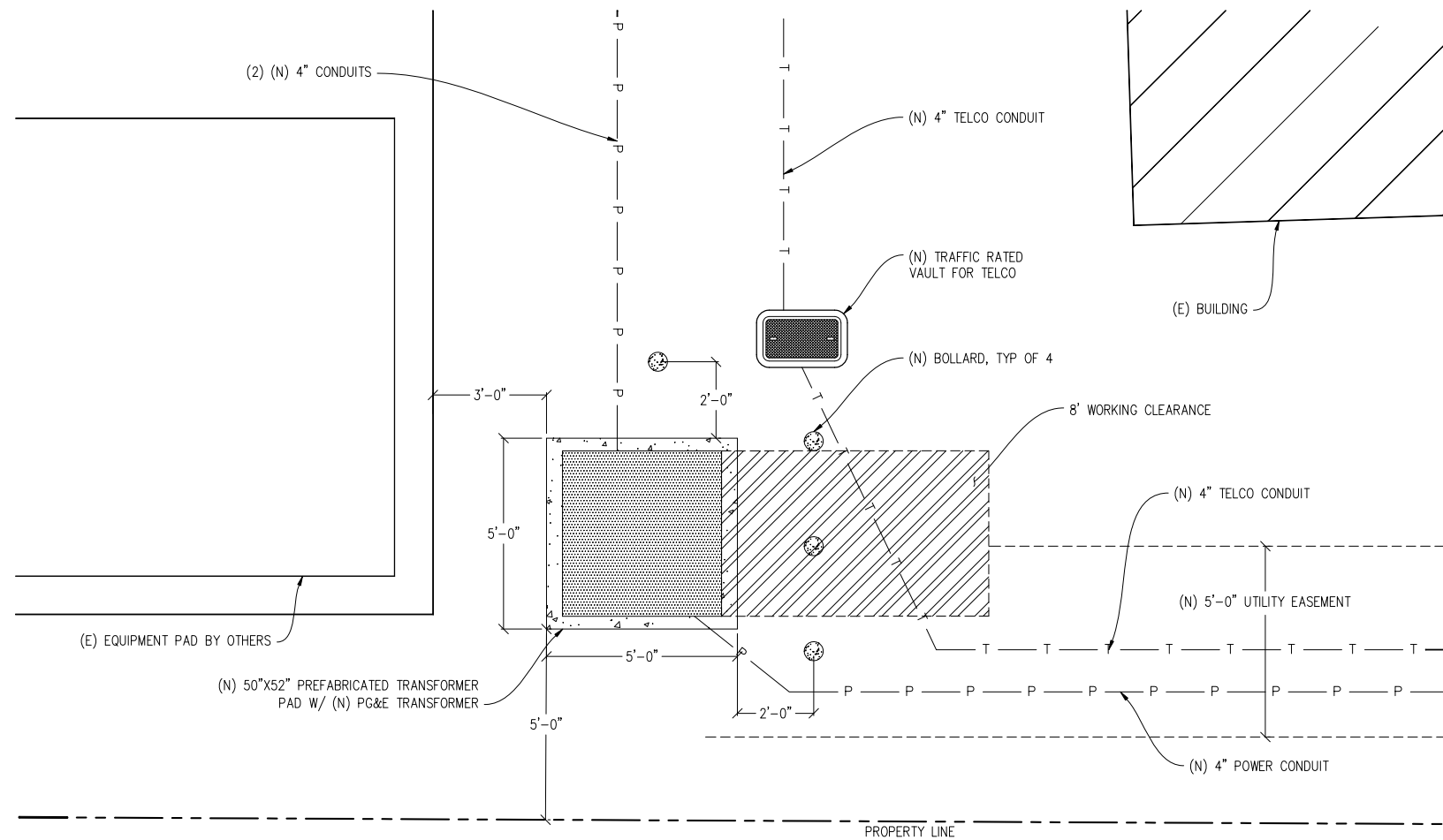
A-1

At all services & grounding trenches, provide "WARNING" tape at 12" below grade.

CALL
"CALL BEFORE YOU DIG"
811
NATIONWIDE UNDERGROUND SERVICE ALERT

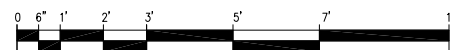


① REMOVABLE BOLLARD DETAIL
1"=1'-0"



ENLARGED SITE PLAN

1/2"=1'-0"



FIVE POINTS

814686
16629 S ELM AVE
CARUTHERS, CA 93609

ISSUE STATUS

Δ	DATE	DESCRIPTION	BY
	05/28/19	CD 90%	D.G.
	-	-	-
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: D. GARCIA

CHECKED BY: S. SAVIG

APPROVED BY: -

DATE: 05/28/19

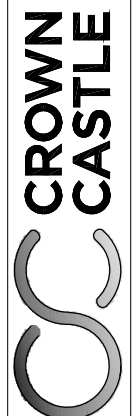
Streamline Engineering
and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. WHETHER THE PRODUCTS FOR WHICH THEY ARE MADE ARE EXECUTED OR NOT. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. COPYRIGHT © 2008 BY STREAMLINE ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469



4301 HACIENDA DR, SUITE 410
PLEASANTON, CA 94588

SHEET TITLE:

ENLARGED SITE PLAN

SHEET NUMBER:

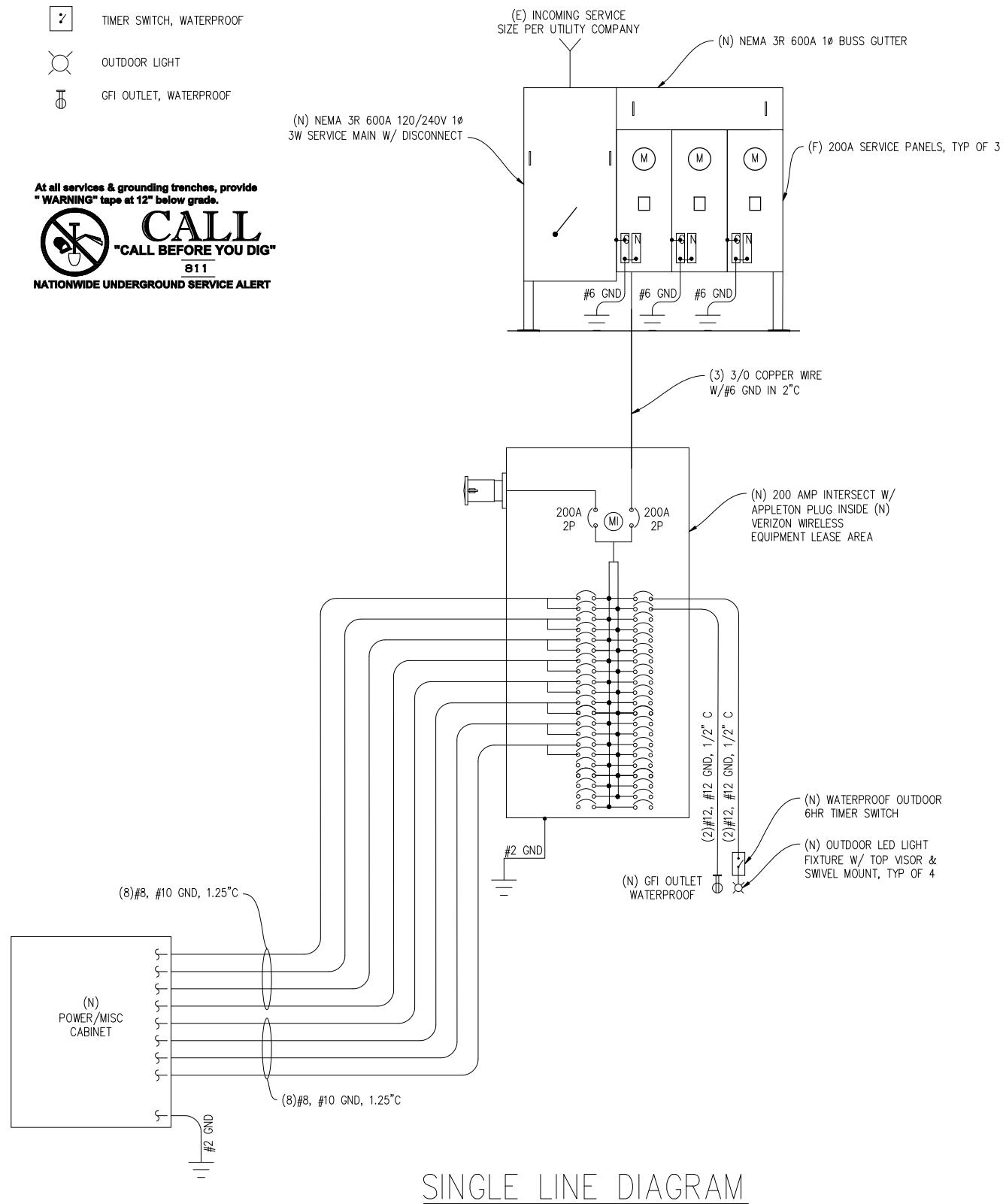
A-2

ELECTRIC LEGEND

- (M) METER
- ⤵ CIRCUIT BREAKER
- ⊥ SERVICE GROUND
- WIRED CONNECTION
- ⏏ TIMER SWITCH, WATERPROOF
- ⊙ OUTDOOR LIGHT
- ⊕ GFI OUTLET, WATERPROOF

At all services & grounding trenches, provide "WARNING" tape at 12" below grade.

CALL
"CALL BEFORE YOU DIG"
811
NATIONWIDE UNDERGROUND SERVICE ALERT



SINGLE LINE DIAGRAM

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO THE 2016 CEC AS WELL AS ALL ADOPTED STANDARDS, APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, CONDUCTORS, PULL BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
- ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
- ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C. OR AS REQUIRED.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
- ELECTRICAL WIRING SHALL BE COPPER #12 AWG MIN WITH TYPE THHN, THWN-2 OR THW-2, INSULATION RATED FOR 90°C DRY OR 70°C WET.
- ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
- ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
- A GROUND WIRE IS TO BE PULLED IN ALL CONDUITS.
- WHERE ELECTRICAL WIRING OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATERTIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.
- WHERE PLANS CALL FOR A NEW ELECTRICAL SERVICE, PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VERIFY PLAN DETAILS WITH THE UTILITY'S SERVICE PLAN & REQ'TS INCLUDING SERVICE VOLTAGE, METER LOCATION, MAIN DISCONNECTING MEANS, AND AIC REQ'T, AND SHALL OBTAIN CLARIFICATION FROM THE PROJECT ENGINEER ON ANY DEVIATIONS FOUND IN THESE PLANS.
- WHERE THESE PLANS SHOW A DC POWER PLANT, THE INSTALLATION OPERATING AT LESS THAN 50 VDC UNGROUNDED, 2-WIRE, SHALL COMPLY WITH ARTICLE 720, AS FOLLOWS:
 - POWER PLANT SHALL BE SUPPLIED BY THE WIRELESS CARRIER AS A PULL-TAG ITEM AND INSTALLED BY THE CONTRACTOR.
 - CONDUCTORS SHALL NOT BE SMALLER THAN #12 AWG COPPER MIN, CONDUCTORS FOR BRANCH CIRCUITS SUPPLYING MORE THAN ONE APPLIANCE SHALL BE 10 AWG CU MIN; CONTRACTOR SHALL SIZE CONDUCTORS BASED ON MFG'R'S DATA FOR THE APPLIANCES SERVED.
 - THERE ARE NO DC RECEPTACLES OR LUMINARIES ALLOWED ON THIS PROJECT. ALL CIRCUITS SHALL ORIGINATE AT AN INTEGRATED DOUBLE LUG TAP OR SOCKET TERMINATION ON AN INTEGRATED DC CIRCUIT BREAKER AT AN INDIVIDUAL RECTIFIER MODULE AND TERMINATE AT THE SPECIALIZED LUG ON THE RESPECTIVE APPLIANCE AS A SINGLE RUN OF WIRE WITHOUT SPLICES. ALL DC WIRING SHALL BE LABELED AT THE DC PLANT WITH THE APPLIANCE SERVED AND THE DC VOLTAGE.
 - ALL CABLING SHALL BE INSTALLED IN A NEAT AND WORKMAN LIKE MANNER AND SUPPORTED BY BUILDING STRUCTURE, EG. (N) CABLE TRAY OVERHEAD, IN SUCH A MANNER THAT THE CABLE WILL NOT BE DAMAGED BY NORMAL USE.

GROUNING NOTES

- GROUNING SHALL COMPLY WITH CEC ARTICLE 250.
- USE #2 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNING AS INDICATED ON THE DRAWING.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNING CONNECTIONS BELOW GRADE.
- EXPOSED GROUNING CONNECTIONS SHALL BE MADE WITH BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR EXOTHERMIC WELDS AS SPECIFIED IN THE PLANS.
- CONNECTIONS TO EQUIPMENT SHALL BE MADE USING STAINLESS STEEL HARDWARE.
- APPLY BUTYL & ELECTRICAL TAPE OVER COLD SHRINK AT ALL LOCATIONS FOR WEATHER PROOFING OVER COAX GROUND KITS.
- CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS WITH STAR WASHERS AND NO-OX OR EQUIVALENT PLACED BETWEEN CONNECTOR AND GROUND BAR.
- ROUTE GROUNING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLES. ALWAYS MAKE A 12" RADIUS BEND, HOWEVER, #6 WIRE CAN BE BENT AT A 6" RADIUS WHEN NECESSARY.
- THE SYSTEM GROUND RESISTANCE MUST BE 10 OHMS OR LESS. TO ACHIEVE THIS LEVEL OF RESISTANCE THE CONTRACTOR SHALL PURSUE ONE OF THE FOLLOWING FOUR OPTIONS:
 - CONNECT TO EXISTING GROUNING SYSTEMS
 - CONNECT TO BUILDING STEEL COLUMNS
 - INSTALL A NEW GROUNING SYSTEM

UPON COMPLETION OF THE GROUNING INSTALLATION THE CONTRACTOR SHALL EMPLOY AN OWNER APPROVED 3RD PARTY TO CONDUCT A "FALL OF POTENTIAL" TEST AND SUBMIT A REPORT OF SUCH TEST FOR APPROVAL TO EITHER THE OWNER OR CONSTRUCTION MANAGER.

LOAD STUDY		
CARRIER	Ø	kVA
VERIZON	1	35 kVA
AT&T	1	31 kVA
CROWN CASTLE	1	19 kVA
TOTAL =		85 kVA

NEW PANEL SCHEDULE

NAMEPLATE : PANEL A		SC LEVEL : 10,000				VOLTS: 120V/240V, 1Ø		
LOCATION : AT EQUIPMENT						BUS AMPS: 200A		
MOUNTING : CMU WALL						MAIN CB: 200A		
ØA	ØB	LOAD DESCRIPTION	BKR AMP/POLE	CIRCUIT NO	BKR AMP/POLE	LOAD DESCRIPTION	ØA	ØB
LOAD VA	LOAD VA						LOAD VA	LOAD VA
2292		RECTIFIER 1	30/2	1 2	20/1	TECH LIGHT	300	
	2292	" "	" "	3 4	20/1	GFI RECEPTACLE		180
2292		RECTIFIER 2	30/2	5 6	-	BLANK		
	2292	" "	" "	7 8	-	" "		
2292		RECTIFIER 3	30/2	9 10	-	" "		
	2292	" "	" "	11 12	-	" "		
2292		RECTIFIER 4	30/2	13 14	-	" "		
	2292	" "	" "	15 16	-	" "		
2292		RECTIFIER 5	30/2	17 18	-	" "		
	2292	" "	" "	19 20	-	" "		
2292		RECTIFIER 6	30/2	21 22	-	" "		
	2292	" "	" "	23 24	-	" "		
2292		RECTIFIER 7	30/2	25 26	-	" "		
	2292	" "	" "	27 28	-	" "		
2292		RECTIFIER 8	30/2	29 30	-	" "		
	2292	" "	" "	31 32	-	" "		
		" "	-	33 34	-	" "		
		" "	-	35 36	-	" "		
		" "	-	37 38	-	" "		
		" "	-	39 40	-	" "		
		" "	-	41 42	-	" "		
18336	16044	PHASE TOTALS				PHASE TOTALS	300	180
TOTAL VA =	34860	TOTAL AMPS =	145					

FIVE POINTS

814686
16629 S ELM AVE
CARUTHERS, CA 93609

ISSUE STATUS

Δ	DATE	DESCRIPTION	BY
	05/28/19	CD 90%	D.G.
	-	-	-
	-	-	-
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: D. GARCIA

CHECKED BY: S. SAVIG

APPROVED BY: -

DATE: 05/28/19

Streamline Engineering
and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. WHETHER THE PROJECT FOR WHICH THEY ARE MADE ARE EXECUTED OR NOT. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. COPYRIGHT © 2008 BY STREAMLINE ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

CROWN CASTLE

4301 HACIENDA DR, SUITE 410
PLEASANTON, CA 94588

SHEET TITLE:








ELECTRICAL PLAN

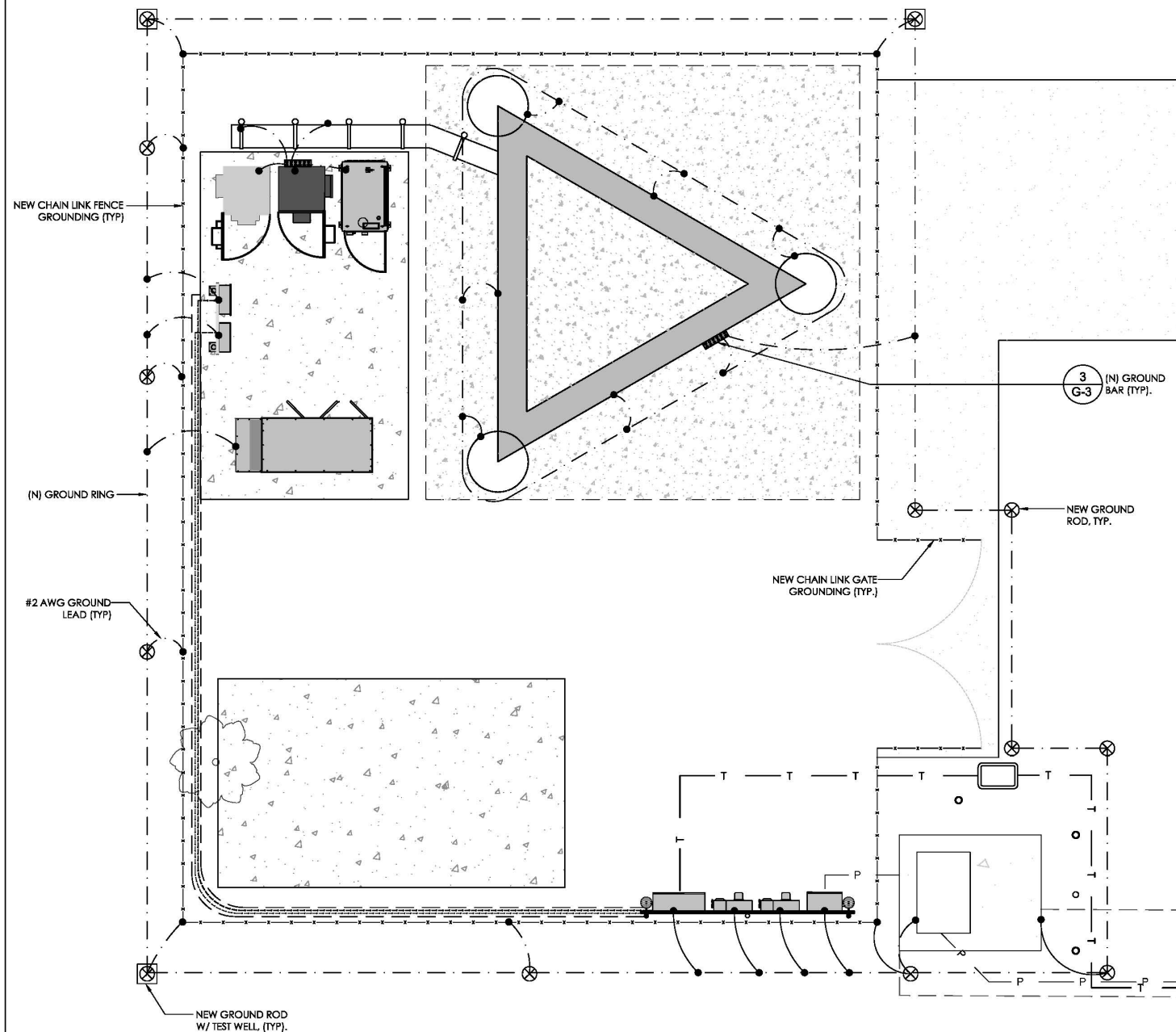
SHEET NUMBER:

E-1

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
- GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS USING MANUFACTURER'S PRACTICES. ALL UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDS THAT ARE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.
- ALL GROUND CONNECTIONS SHALL BE #2 AWG U.N.O. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRES SHALL BE SOLID THIN COATED OR STRANDED GREEN INSULATED WIRE.
- CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, 5 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE CARRIER REPRESENTATIVE.
- NOTIFY ARCHITECT/ENGINEER IF THERE ANY ANY DIFFICULTIES INSTALLING GROUND SYSTEM DUE TO SITE SOIL CONDITIONS.
- BARE GROUNDING CONDUCTOR SHALL BE HARD DRAWN TINNED COPPER SIZES AS NOTED ON PLANS.
- ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 30" BELOW GRADE/FROST LINE IN TRENCH, U.N.O., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
- ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
- ALL SUPPORT STRUCTURES, CABLE CHANNEL WAYS OR WIRE GUIDES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS "MGB" (OR DIRECTLY TO GROUND-RING)
- ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - BURNDY, HY-GRADE U.I.L. LISTED CONNECTORS FOR INDOOR USE OR AS APPROVED BY PROJECT MANAGER.
 - CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - TWO (2) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS (BUS BAR CONNECTIONS).
- ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DEIMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES).
- PRIOR TO ANY LUG-BUSBAR CONNECTIONS, THE BUSBAR SHALL BE CLEANED BY USE OF "SCOTCH-BRITE" OR PLAIN STEEL WOOL AS TO REMOVE ALL SURFACE OXIDATION AND CONTAMINANTS. A COATING OF "NO-OX-ID" SHALL BE APPLIED TO THE CONNECTIONS SURFACES.
- ALL CONNECTION HARDWARE SHALL BE TYPE 316 SS (NOT ATTRACTED TO MAGNETS).
- THE GROUND RING SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRIP LINE.
- ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL EXISTING AND NEW GROUND ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RING IF SERVICE IS WITHIN THE RADIO EQUIPMENT LOCATIONS, BUILDING STEEL IF APPLICABLE, COLD WATER CONNECTIONS MUST BE MADE ON THE STREET SIDE OF MAIN SHUT-OFF VALVE.

GROUNDING LEGEND

-  MECHANICAL CONNECTION
-  EXOTHERMIC CADWELD
-  TYP. CADWELD INSPECTION WELL
-  TYP. 5/8" DIA. X 10'-0" LONG COPPER CLAD GROUND ROD @ 10' O.C. MAX & 18" MIN BELOW FINISH GRADE
-  TYP. #2 TINNED BCW UNDERGROUND GND RING @ 18" MIN BELOW FINISH GRADE
-  GROUND WIRE #2 STRANDED GREEN INSULATED WIRE
-  TIE INTO (E) GROUNDING SYSTEM (VIF)




PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS


PROJECT ARCHITECT/ENGINEER:

 WSD Engineering, Inc.
 DBA WSD Construction Inc.
 2155 LAS POSITAS COURT, SUITE M
 LIVERMORE, CA 94551

CONSULTANT:

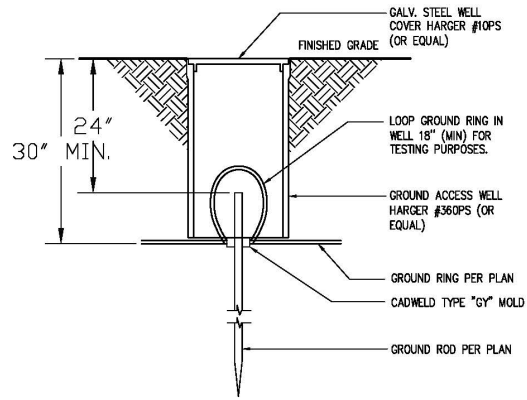
 BEACON DEVELOPMENT, LLC
 3 ROVLNA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS CHK.: MIF APV.: MIF

LICENSER:


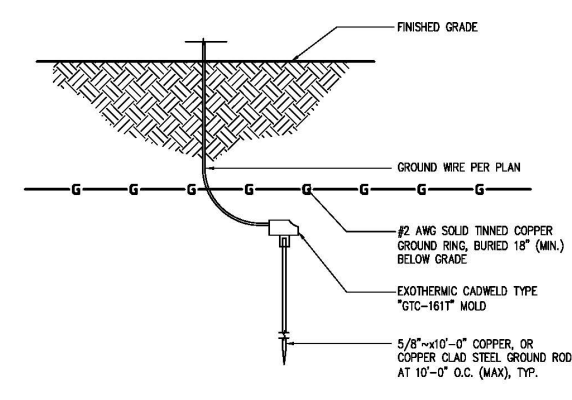
SHEET TITLE:
GROUNDING PLANS

SHEET NUMBER:
G-1



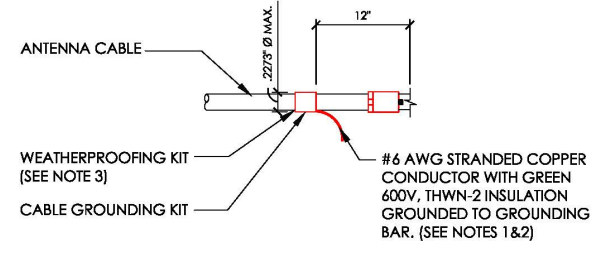
GROUND ROD WITH TEST WELL

11



GROUND ROD

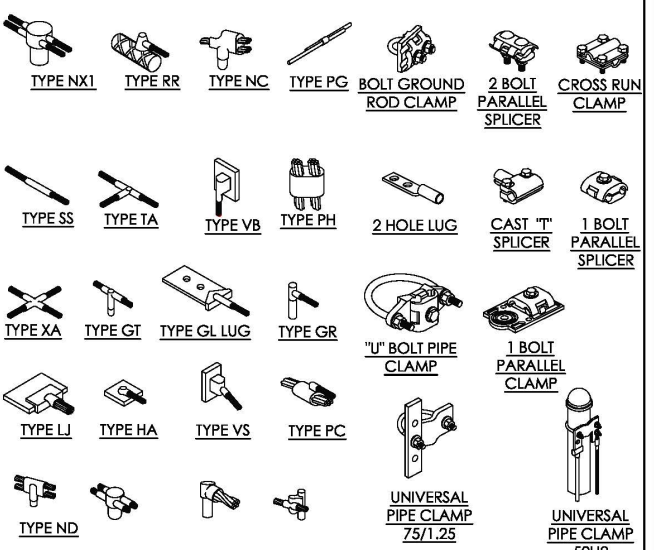
8



- NOTE:**
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT WIRE DOWN TO GROUND BAR.
 - GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 - WEATHER PROOFING SHALL BE (TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.)

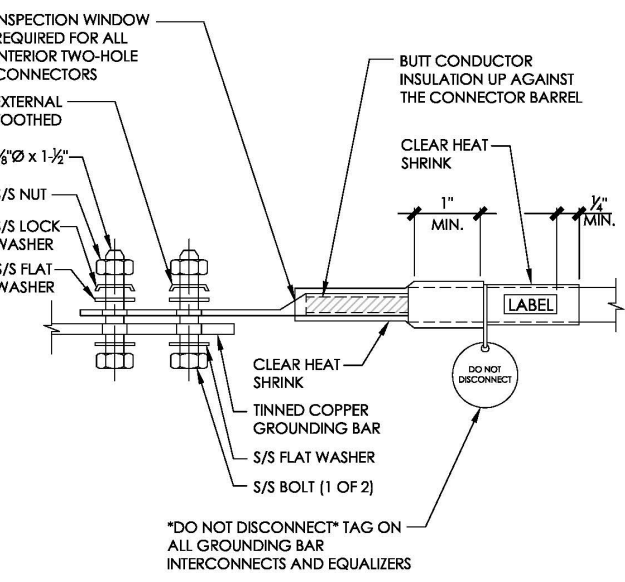
CONNECTION OF GROUNDING KIT TO ANTENNA CABLE

6



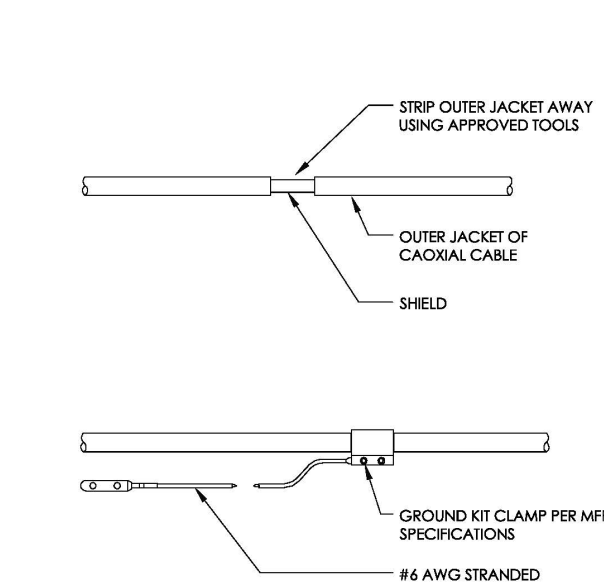
TYP. MECHANICAL DETAILS

SCALE N.T.S. 3



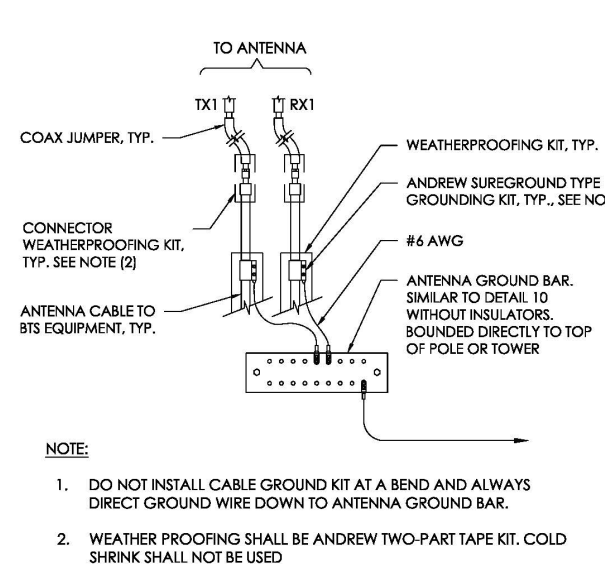
TWO HOLE LUG

SCALE N.T.S. 10



GRND CONNECTION TO GRND BAR

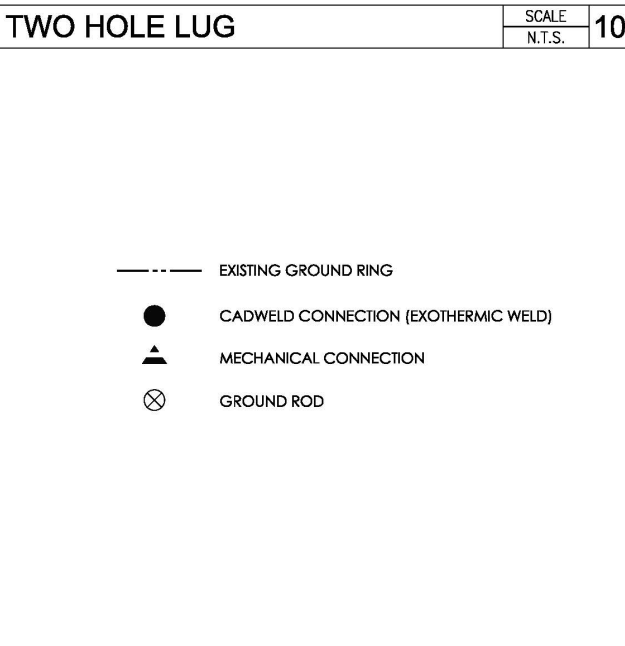
SCALE N.T.S. 5



GROUND BAR CONNECTION DET

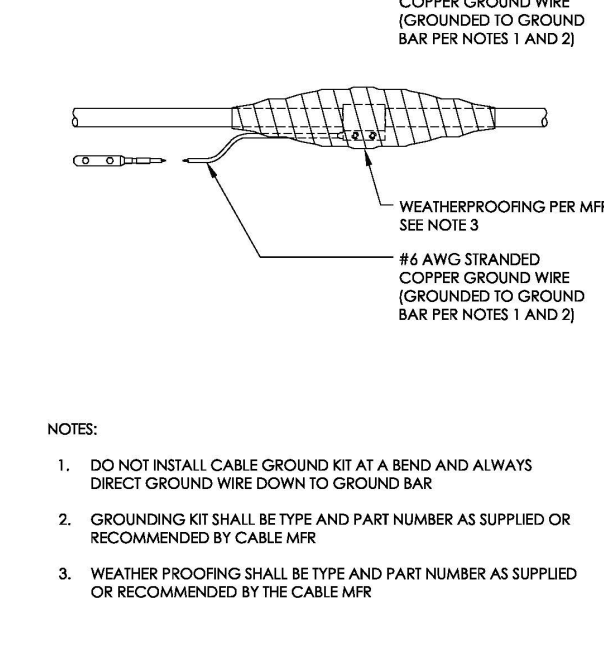
GROUND BAR CONNECTION DET

SCALE N.T.S. 2



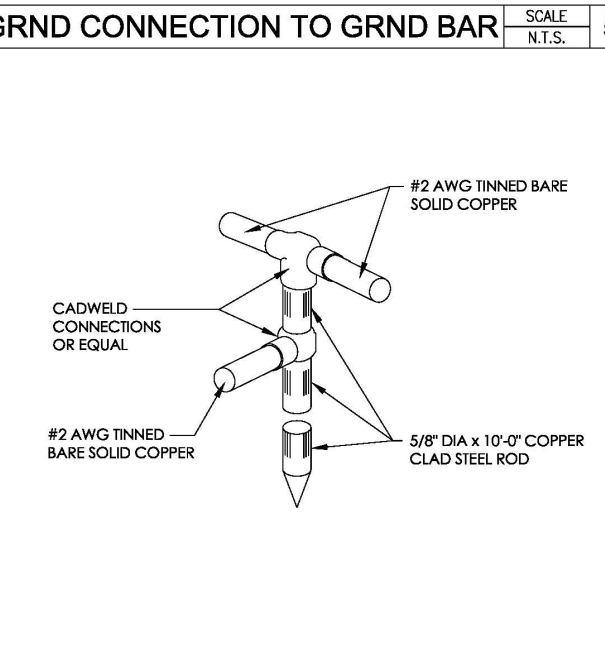
GROUND LEGEND

SCALE N.T.S. 9

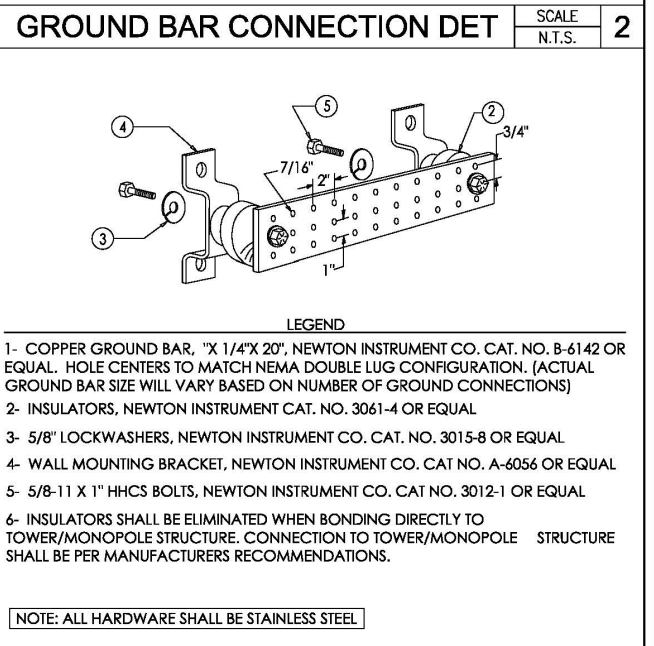


GROUNDING ROD DETAIL

SCALE N.T.S. 7



GROUNDING ROD DETAIL



GROUND BAR DETAIL

SCALE N.T.S. 1



PROJECT INFORMATION:
8311105
FIVE POINTS
 18629 S. ELM AVENUE
 CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

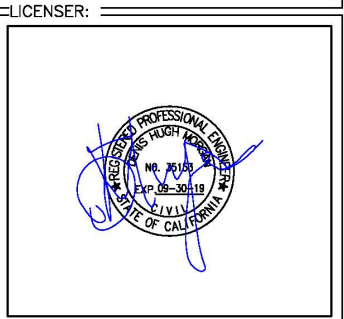
PROJECT ARCHITECT/ENGINEER:

 WSD Engineering, Inc.
 DBA WSD Construction Inc.
 2155 LAS POSITAS COURT, SUITE M
 LIVERMORE, CA 94551

CONSULTANT:

 BEACON DEVELOPMENT, LLC
 3 ROVLNA LANE
 PETALUMA, CA 94952

DRAWN BY: SJS
 CHK.: MIF
 APV.: MIF

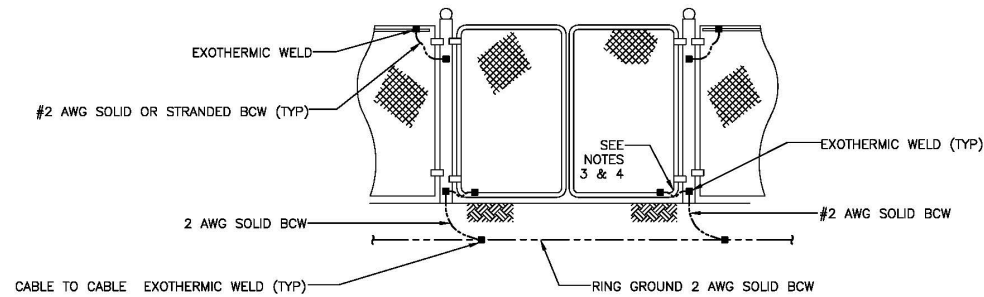


SHEET TITLE:

GROUNDING DETAILS

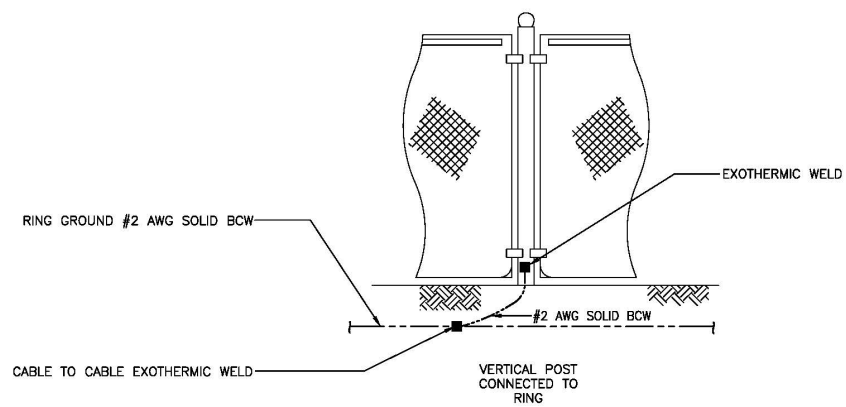
SHEET NUMBER:

G-2



NOTES:

1. EXOTHERMICALLY WELD THE 2 AWG, BCW FROM THE RING GROUND TO THE POST ABOVE GRADE.
2. BOND EACH HORIZONTAL POLE/BRACE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING
3. GATE JUMPER SHALL BE 4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.



NOTES:

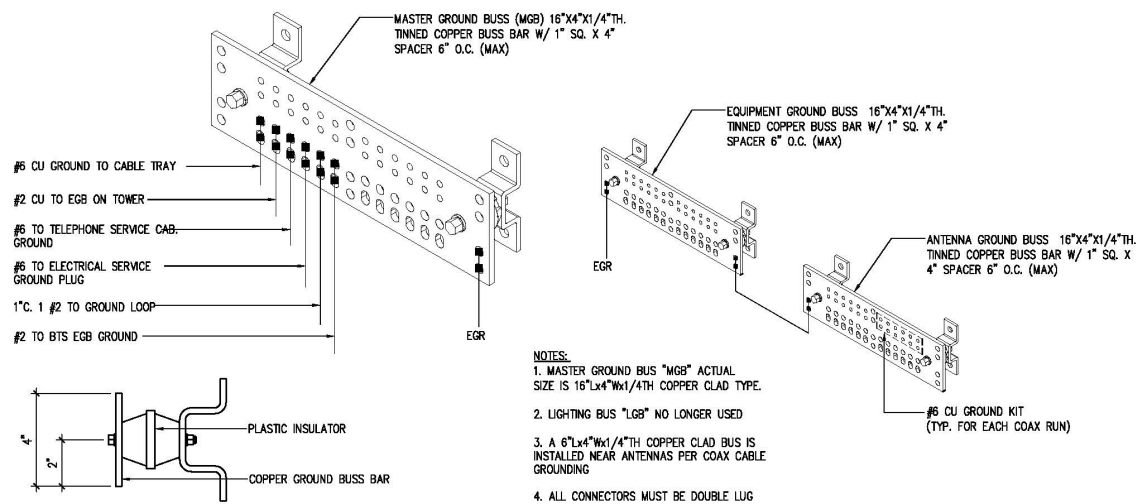
1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. METAL FENCE POSTS WITHIN 7 FEET OF THE BURIED GROUND RING SHALL BE BONDED DIRECTLY TO THE GROUND RING AT 25 FOOT INTERVALS.

GATE GROUND DETAILS

SCALE
N.T.S. 1

FENCE GROUNDING DETAILS

SCALE
N.T.S. 2



NOTES:

1. MASTER GROUND BUS "MGB" ACTUAL SIZE IS 16"x4"x1/4"TH COPPER CLAD TYPE.
2. LIGHTING BUS "LGB" NO LONGER USED
3. A 6"x4"x1/4"TH COPPER CLAD BUS IS INSTALLED NEAR ANTENNAS PER COAX CABLE GROUNDING
4. ALL CONNECTORS MUST BE DOUBLE LUG

GROUND BAR DETAILS

SCALE
N.T.S. 3



PROJECT INFORMATION:

8311105
FIVE POINTS
16629 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

100% CONSTRUCTION DRAWINGS

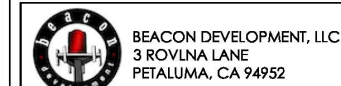
REV. DATE DESCRIPTION BY:

REV.	DATE	DESCRIPTION	BY:
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: CHK.: APV.:

SJS MIF MIF

LICENSER:



SHEET TITLE:

GROUNDING DETAILS

SHEET NUMBER:

G-3

GENERAL CONSTRUCTION NOTES:

- PLANS ARE INTENDED TO BE DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC / UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
- THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY DRAIN AND/OR FIELD TILE ENCOUNTERED / DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- INCLUDE MISC. ITEMS PER AT&T SPECIFICATIONS

APPLICABLE CODES, REGULATIONS AND STANDARDS:

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION.

THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
 - TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-6, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES
 - INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
 - IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
 - TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK EQUIPMENT-BUILDING SYSTEM (NEBS): PHYSICAL PROTECTION
 - TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING
 - TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS
 - TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS
- ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

ABBREVIATIONS

A.B.	ANCHOR BOLT	ICGB.	ISOLATED COPPER GROUND BUS
ABV.	ABOVE	IN. (")	INCH(ES)
ACCA	ANTENNA CABLE COVER ASSEMBLY	INT.	INTERIOR
ADD'L	ADDITIONAL	LB.(#)	POUND(S)
A.F.F.	ABOVE FINISHED FLOOR	L.B.	LAG BOLTS
A.F.G.	ABOVE FINISHED GRADE	L.F.	LINEAR FEET (FOOT)
ALUM.	ALUMINUM	L	LONG(TUDINAL)
ALT.	ALTERNATE	L.M.S.	MASONRY
ANT.	ANTENNA	MAX.	MAXIMUM
APPRX.	APPROXIMATE(LY)	M.B.	MACHINE BOLT
ARCH.	ARCHITECT(URAL)	MECH.	MECHANICAL
AWG.	AMERICAN WIRE GAUGE	MFR.	MANUFACTURER
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	MTL.	METAL
BM.	BEAM	(N)	NEW
B.N.	BOUNDARY NAILING	NO.(#)	NUMBER
BTBW.	BARE TINNED COPPER WIRE	N.T.S.	NOT TO SCALE
B.O.F.	BOTTOM OF FOOTING	O.C.	ON CENTER
B/U	BACK-UP CABINET	OPNG.	OPENING
CAB.	CABINET	P/C	PRECAST CONCRETE
CANT.	CANTILEVER(ED)	P.S.	PERSONAL COMMUNICATION SERVICES
C.S.T.	CAST IN PLACE	PLY.	PLYWOOD
C.L.G.	CEILING	PRC.	POWER PROTECTION CABINET
CLR.	CLEAR	PRC.	PRIMARY RADIO CABINET
COL.	COLUMN	P.S.F.	POUNDS PER SQUARE FOOT
CONC.	CONCRETE	P.S.I.	POUNDS PER SQUARE INCH
CONN.	CONNECTION(OR)	P.T.	PRESSURE TREATED
CONST.	CONSTRUCTION	PWR.	POWER (CABINET)
CONT.	CONTINUOUS	QTY.	QUANTITY
d	PENNY (NAILS)	RAD.(R)	RADIUS
DBL.	DOUBLE	REF.	REFERENCE
DEPT.	DEPARTMENT	REINF.	REINFORCEMENT(ING)
D.F.	DIAGONAL FIR	REQ'D	REQUIRED
DIA.	DIAMETER	RGS.	RIGID GALVANIZED STEEL
DIAG.	DIAGONAL	SCH.	SCHEDULE
DIM.	DIMENSION	SHT.	SHEET
DWG.	DRAWING(S)	SIM.	SIMILAR
DWL.	DRAWING(S)	SPEC.	SPECIFICATIONS
EACH	EACH	SQ.	SQUARE
EL.	ELEVATION	S.S.	STAINLESS STEEL
ELEC.	ELECTRICAL	STD.	STANDARD
ELEV.	ELEVATOR	STL.	STEEL
E.M.T.	ELECTRICAL METALLIC TUBING	STRUC.	STRUCTURAL
ENG.	ENGINEER	TEMP.	TEMPORARY
E.O.	EQUAL	THK.	THICK(NESS)
EXP.	EXPANSION	T.N.	TOE NAIL
EXT.(E)	EXISTING	T.O.A.	TOP OF ANTENNA
EXT.	EXTERIOR	T.O.C.	TOP OF CURB
FAB.	FABRICATION(OR)	T.O.F.	TOP OF FOUNDATION
F.F.	FINISH FLOOR	T.O.P.	TOP OF PLATE (PARAPET)
F.G.	FINISH GRADE	T.O.S.	TOP OF STEEL
FIN.	FINISH(ED)	T.O.W.	TOP OF WALL
FLR.	FLOOR	TYP.	TYPICAL
FDN.	FOUNDATION	U.G.	UNDER GROUND
F.O.C.	FACE OF CONCRETE	U.L.	UNDERWRITERS LABORATORY
F.O.M.	FACE OF MASONRY	U.N.O.	UNLESS NOTED OTHERWISE
F.O.S.	FACE OF STUD	V.I.F.	VERIFY IN FIELD
F.O.W.	FACE OF WALL	W	WIDE (WIDTH)
F.S.	FINISH SURFACE	W/	WITH
FT.(')	FOOT (FEET)	WD.	WOOD
FTG.	FOOTING	W.P.	WEATHERPROOF
G.	GROWTH (CABINET)	WT.	WEIGHT
GA.	GAUGE	C	CENTERLINE
GI.	GALVANIZE(D)	P	PLATE, PROPERTY LINE
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER		
G.L.B. (GLU-LAM)	GLUE LAMINATED BEAM		
GPS	GLOBAL POSITIONING SYSTEM		
GRND.	GROUND		
HDR.	HEADER		
HGR.	HANGER		
HT.	HEIGHT		

SYMBOLS LEGEND

	BLDG. SECTION		GROUT OR PLASTER
	WALL SECTION		(E) BRICK
	DETAIL		(E) MASONRY
	ELEVATION		CONCRETE
	DOOR SYMBOL		EARTH
	WINDOW SYMBOL		GRAVEL
	TILT-UP PANEL MARK		PLYWOOD
	PROPERTY LINE		SAND
	CENTERLINE		PLYWOOD
	ELEVATION DATUM		SAND
	GRID/COLUMN LINE		(E) STEEL
	KEYNOTE, DIMENSION ITEM		MATCH LINE
	KEYNOTE, CONSTRUCTION ITEM		GROUND CONDUCTOR
	WALL TYPE MARK		OVERHEAD SERVICE CONDUCTORS
	ROOM NAME		TELEPHONE CONDUIT
	ROOM NUMBER		POWER CONDUIT
			COAXIAL CABLE
			CHAIN LINK FENCE
			WOOD FENCE
			(N) ANTENNA
			(N) RRU
			(N) DC SURGE SUPPRESSION
			(F) ANTENNA
			(F) RRU
			(E) EQUIPMENT



PROJECT INFORMATION:

8311105
FIVE POINTS
16829 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:

08/28/19

ISSUED FOR:

100% CONSTRUCTION
DRAWINGS

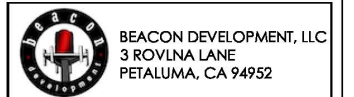
REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: CHK.: APV.:

SJS MIF MIF

LICENSER:



SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

GN-1

20 NOT USED
N.T.S.



19 FENCED COMPOUND SIGNAGE
N.T.S.



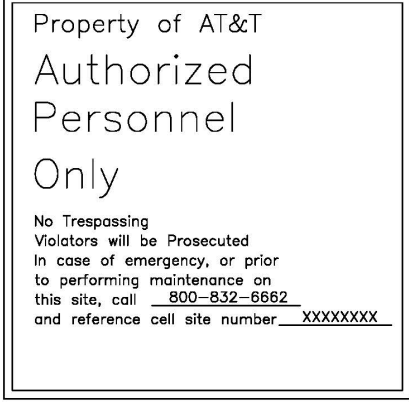
18 DOOR / EQUIPMENT SIGN
N.T.S.



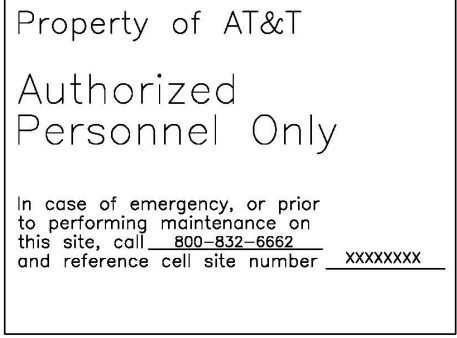
17 NFPA HAZARD SIGN
N.T.S.



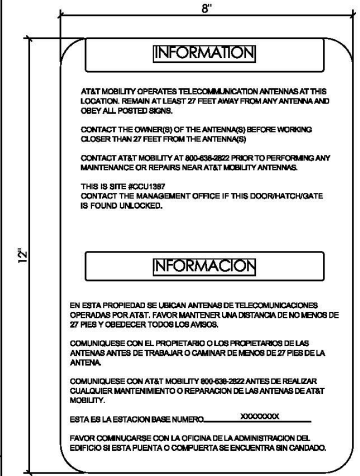
15 FCC ASR SIGNAGE
N.T.S.



14 GATE SIGNAGE
N.T.S.



13 SHELTER / CABINET DOORS SIGNAGE
N.T.S.



A INFORMATION SIGN 1-1
SCALE: 3/4" = 1'

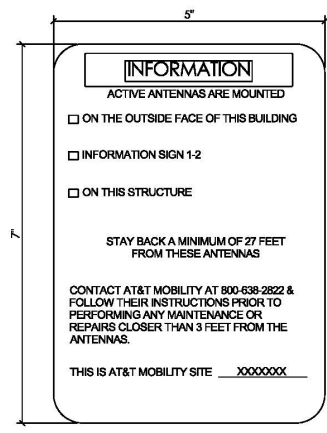
- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE W/ AT&T WIRELESS DOCUMENT #03-0074, RF EXPOSURE POLICY AND RF SAFETY COMPLIANCE PROGRAM, LATEST EDITION.
- FABRICATION:
*SIGN 1-1: ENTRANCE DOOR, SEE DETAIL 1A, THIS SHEET
SIGN 1 IS TO BE MADE ON THE 50 MIL ALUMINUM SHEETING (SIZE 8 INCHES BY 12 INCHES) W/ FOUR (4) 1/2 INCH MOUNTING HOLES, ONE EACH CORNER OF THE SIGN FOR MOUNTING W/ HARDWARE W/ TE WRAPS. THE MAIN BACKGROUND COLOR IS TO BE WHITE FRONT & BACK W/ BLACK LETTERING.
THE INFORMATION BAND SHALL BE 1.2 INCH SOLID GREEN BAND W/ 0.5 INCH HIGH BLACK LETTERING. THE BODY TEXT SHALL BE IN BLACK LETTERING W/ 0.2 INCH HIGH LETTERS. THE REF LINE SHALL BE IN 1/2 INCH LETTERS.
THE PLACEMENT OF TEXT SHALL BE DONE IN A MANNER THAT WILL PERMIT EASY READING FROM A DISTANCE OF APPROXIMATELY 6 FEET IN FRONT OF THE SIGN.
ALL PAINT WILL BE BAKED W/ENAMEL W/ UV PROTECTIVE COATING OVER THE FACE OF THE SIGN.

11 INFORMATION SIGNAGE
N.T.S.

- NOTE:
- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE W/ AT&T WIRELESS DOCUMENT #03-0074, RF EXPOSURE POLICY AND RF SAFETY COMPLIANCE PROGRAM, LATEST EDITION.
 - CONTRACTOR SHALL CONTACT AT&T R-RFSC FOR INFORMATION ON MPE LEVELS AND INSTRUCTIONS ON LEVEL AND LOCATION OF SIGNAGE

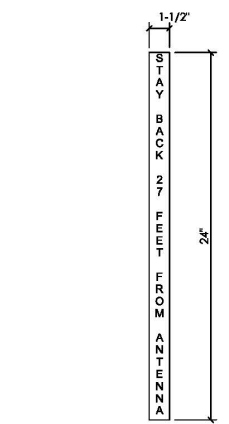
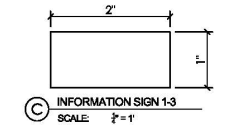


9 CAUTION AND WARNING SIGN
N.T.S.

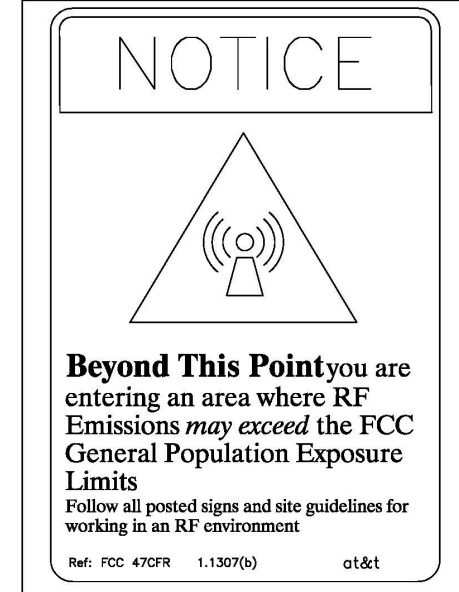


B INFORMATION SIGN 1-2
SCALE: 3/4" = 1'

- *SIGN 1-2: POLE, SEE DETAIL 1B, THIS SHEET
SIGN 2 MUST BE A NON METALLIC LABEL W/ AN ADHESIVE BACKING. THE LABEL SHALL BE MADE USING VINYL OR SIMILAR WEATHERPROOF MATERIAL. THE LABEL SHALL BE APPROXIMATELY 5X7 INCHES W/ A WHITE BACKGROUND AND BLACK LETTERING. THE GREEN BAND SHALL BE 1.375 INCH IN HEIGHT & THE LETTERING SHALL BE BLACK W/ 0.75 INCH HIGH LETTERS. THE TEXT LETTERING SHALL BE BLACK W/ 1/2 INCH HIGH LETTERS. UV PROTECTION SHALL BE PLACED OVER THE FRONT OF THE LABEL.
*SIGN 1-3: BACK OF ANTENNAS, SEE DETAIL 1C & 3, THIS SHEET
*SIGN 3 IS A 1 INCH X 2 INCH PANEL THAT CAN BE APPLIED TO THE BACK OR SIDE OF AN ANTENNA TO IDENTIFY IT AS AN AT&T ANTENNA.
*SIGN 1-4: SIDE OF ANTENNAS, SEE DETAIL 1D & 3, THIS SHEET
SIGN 4 IS MADE FROM TRANSPARENT MATERIAL 1-1/2 INCHES WIDE & 24 INCHES LONG. THE LETTERING IS TO BE BLACK W/ 1/2 INCH LETTERING IN A VERTICAL COLUMN. THE SPACING BETWEEN WORDS MUST BE SUCH THAT IT IS EASILY READ & FILLS THE LENGTH OF THE SIGN.



3 GENERAL NOTES
N.T.S.



1 NOTICE SIGN
N.T.S.

- SIGNAGE AND STRIPING INFORMATION**
- THE FOLLOWING INFORMATION IS A GUIDELINE W/ RESPECT TO PREVAILING STANDARDS LIMITING HUMAN EXPOSURE TO RADIO FREQUENCY ENERGY AND SHOULD BE USED AS SUCH. IF THE SITE'S EMF REPORT OR ANY LOCAL, STATE OR FEDERAL GUIDELINES OR REGULATIONS SHOULD BE IN CONFLICT W/ ANY PART OF THESE NOTES OR PLANS, THE MORE RESTRICTIVE GUIDELINE OR REGULATION SHALL BE FOLLOWED AND OVERRIDE THE LESSER. THE PUBLIC LIMIT OF RF EXPOSURE ALLOWED BY AT&T IS 1mW/cm² AND THE OCCUPATIONAL LIMIT OF RF EXPOSURE ALLOWED BY AT&T IS 5mW/cm².
 - IF THE BOTTOM OF THE ANTENNA IS MOUNTED (8) EIGHT FEET ABOVE THE GROUND OR WORKING PLATFORM LINE OF THE PERSONAL COMMUNICATION SYSTEM (PCS) AND DOES NOT EXCEED THE PUBLIC LIMIT OF RF EXPOSURE LIMIT THEN NO STRIPING OR BARRICADES SHOULD BE NEEDED.
 - IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR THAT CANNOT BE LOCKED, OR FIRE EGRESS) THEN BOTH BARRICADES AND STRIPING SHALL BE PLACED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE BARRICADES AND STRIPING SHALL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER COMPLETION OF SITE CONSTRUCTION. USE THE PLANS AS A GUIDELINE FOR PLACEMENT OF SUCH BARRICADES AND STRIPING.
 - IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR THAT CANNOT BE LOCKED, OR FIRE EGRESS) THEN BOTH BARRICADES AND STRIPING SHALL BE PLACED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE BARRICADES AND STRIPING SHALL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER COMPLETION OF SITE CONSTRUCTION. USE THE PLANS AS A GUIDELINE FOR PLACEMENT OF SUCH BARRICADES AND STRIPING.
 - ALL TRANSMIT ANTENNAS REQUIRE A THREE LANGUAGE WARNING SIGN WRITTEN IN ENGLISH, SPANISH, AND CHINESE. THIS SIGN SHALL BE PROVIDED TO THE CONTRACTOR BY THE AT&T CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION. THE LARGER SIGN SHALL BE PLACED IN PLAIN SIGHT AT ALL ROOF ACCESS LOCATIONS AND ON ALL BARRICADES. THE SMALLER SIGN SHALL BE PLACED ON THE ANTENNA ENCLOSURES IN A MANNER THAT IS EASILY SEEN BY ANY PERSON ON THE ROOF. WARNING SIGNS SHALL COMPLY W/ ANSI C95.2 COLOR, SYMBOL, AND CONTENT CONVENTIONS. ALL SIGNS SHALL HAVE AT&T'S NAME AND THE COMPANY CONTACT INFORMATION (e.g. TELEPHONE NUMBER) TO ARRANGE FOR ACCESS TO THE RESTRICTED AREAS. THIS TELEPHONE NUMBER SHALL BE PROVIDED TO THE CONTRACTOR BY THE AT&T CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION.
 - PHOTOS OF ALL STRIPING, BARRICADES & SIGNAGE SHALL BE PART OF THE CONTRACTORS CLOSE OUT PACKAGE & SHALL BE TURNED INTO THE AT&T CONSTRUCTION PROJECT MANAGER AT THE END OF CONSTRUCTION. STRIPING SHALL BE DONE W/ FADE RESISTANT YELLOW SAFETY PAINT IN A CROSS-HATCH PATTERN AS DETAILED BY THE CONSTRUCTION DRAWINGS. ALL BARRICADES SHALL BE MADE OF AN RF FRIENDLY MATERIAL SO AS NOT TO BLOCK OR INTERFERE W/ THE OPERATION OF THE ANTENNAS. BARRICADES SHALL BE PAINTED W/ FADE RESISTANT YELLOW SAFETY PAINT. THE CONTRACTOR SHALL PROVIDE ALL RF FRIENDLY BARRICADES NEEDED, & SHALL PROVIDE THE AT&T CONSTRUCTION PROJECT MANAGER W/ A DETAILED SHOP DRAWING OF EACH BARRICADE. UPON CONSTRUCTION COMPLETION.



PROJECT INFORMATION:
8311 105 FIVE POINTS
18629 S. ELM AVENUE
CARUTHERS, CA 93609

CURRENT ISSUE DATE:
08/28/19

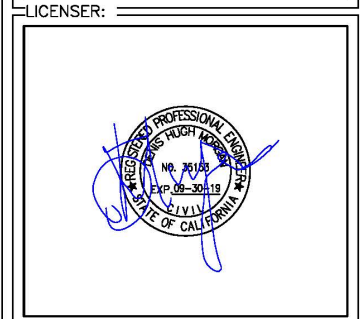
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/13/19	90% CONSTRUCTION DRAWING	SJS
B	3/15/19	90% CONSTRUCTION DRAWING	SJS
C	6/12/19	95% CONSTRUCTION DRAWING	SJS
D	6/24/19	100% CONSTRUCTION DRAWING	SJS
1	8/28/19	100% CONSTRUCTION DRAWING	SJS

PROJECT ARCHITECT/ENGINEER:
WSD Engineering, Inc.
DBA WSD Construction Inc.
2155 LAS POSITAS COURT, SUITE M
LIVERMORE, CA 94551

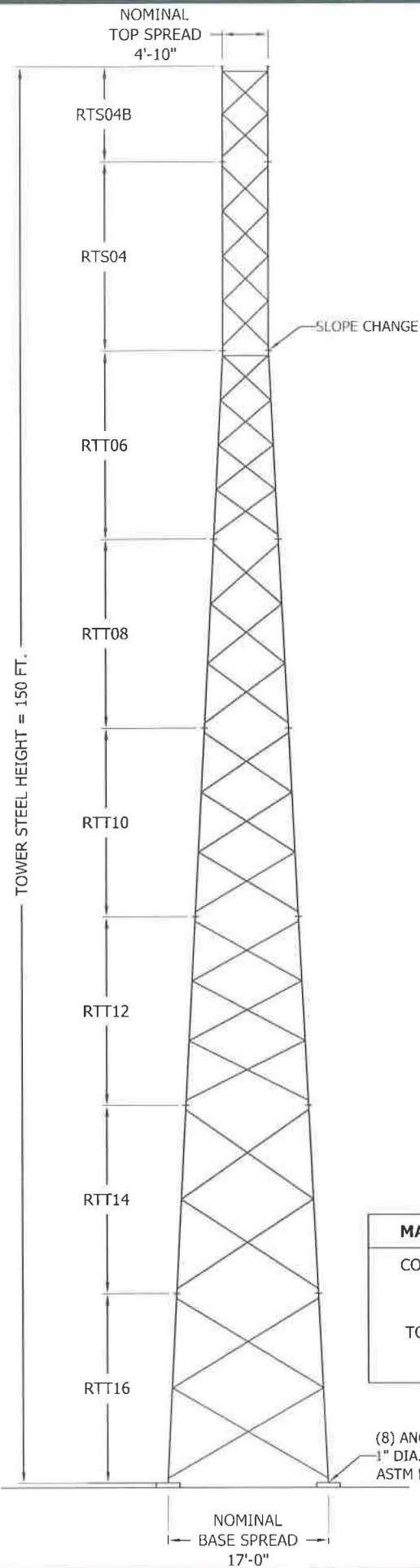
CONSULTANT:
BEACON DEVELOPMENT, LLC
3 ROVINA LANE
PETALUMA, CA 94952

DRAWN BY: SJS
CHK.: MIF
APV.: MIF



SHEET TITLE:
SITE SIGNAGE

SHEET NUMBER:
GN-2



GENERAL NOTES

1. ROHN PRODUCTS, LLC TOWER DESIGNS CONFORM TO ANSI/TIA-222-G/H UNLESS OTHERWISE SPECIFIED UNDER TOWER DESIGN LOADING.
2. THE DESIGN LOADING CRITERIA INDICATED HAS BEEN PROVIDED TO ROHN. THE DESIGN LOADING CRITERIA HAS BEEN ASSUMED TO BE BASED ON SITE-SPECIFIC DATA IN ACCORDANCE WITH ANSI/TIA-222-G/H AND MUST BE VERIFIED BY OTHERS PRIOR TO INSTALLATION.
3. ANTENNAS AND LINES LISTED IN TOWER DESIGN LOADING TABLE ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
4. STEP BOLTS WITH A SAFETY CLIMB SYSTEM ARE PROVIDED AS A CLIMBING FACILITY FOR THE INSTALLATION OF THE STRUCTURE.
5. TOWER MEMBER DESIGN DOES NOT INCLUDE STRESSES DUE TO ERECTION SINCE ERECTION EQUIPMENT AND CONDITIONS ARE UNKNOWN. DESIGN ASSUMES COMPETENT AND QUALIFIED PERSONNEL WILL ERECT THE TOWER.
6. WORK SHALL BE IN ACCORDANCE WITH ANSI/TIA-222-G/H, "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES".
7. THE MINIMUM YIELD STRENGTH OF STRUCTURAL STEEL MEMBERS SHALL BE 50 KSI.
8. FIELD CONNECTIONS SHALL BE BOLTED. NO FIELD WELDS SHALL BE ALLOWED.
9. STRUCTURAL BOLTS SHALL CONFORM TO GRADE A325 PER ASTM F3125, EXCEPT WHERE NOTED.
10. PAL NUTS ARE PROVIDED FOR ALL TOWER BOLTS.
11. STRUCTURAL STEEL AND CONNECTION BOLTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ANSI/TIA-222-G/H.
12. ALL HIGH STRENGTH BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN THE RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS". NO OTHER MINIMUM BOLT TENSION OR TORQUE VALUES ARE REQUIRED.
13. PURCHASER SHALL VERIFY THE INSTALLATION IS IN CONFORMANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR OBSTRUCTION MARKING AND LIGHTING.
14. TOLERANCE ON TOWER STEEL HEIGHT IS EQUAL TO PLUS 1% OR MINUS 1/2%.
15. DESIGN ASSUMES THAT, AS A MINIMUM, MAINTENANCE AND INSPECTION WILL BE PERFORMED OVER THE LIFE OF THE STRUCTURE IN ACCORDANCE WITH ANSI/TIA-222-G/H.
16. DESIGN ASSUMES LEVEL GRADE AT TOWER SITE.
17. DESIGN ASSUMES ALL ANTENNAS ARE MOUNTED SYMMETRICALLY TO MINIMIZE TORQUE, IF APPLICABLE.
18. FOUNDATIONS SHALL BE DESIGNED TO SUPPORT THE REACTIONS SHOWN FOR THE CONDITIONS EXISTING AT THE SITE.

MAXIMUM FACTORED REACTIONS	
COMPRESSION	= 285.3 KIPS
TENSION	= 254.2 KIPS
TOTAL SHEAR	= 41.2 KIPS
O.T.M.	= 4,007.0 FT-KIPS

(8) ANCHOR BOLTS (24 TOTAL)
1" DIA. X 70" LONG
ASTM F1554 Gr. 105

TOWER DESIGN LOADING		
DESIGN WIND LOAD PER ANSI/TIA-222-G: ASCE 7-10 ULTIMATE WIND SPEED (NO ICE) = 110 MPH STRUCTURE CLASS = II EXPOSURE CATEGORY = C TOPOGRAPHIC CATEGORY = 1 EARTHQUAKE SPECTRAL RESPONSE ACCELERATION; SS = 0.787, S1 = 0.295 THIS TOWER IS DESIGNED TO SUPPORT THE FOLLOWING LOADS:		
DESIGN PER ANSI/TIA-222-H: RISK CATEGORY: II BASIC WIND SPEED (NO ICE): 94 MPH PER ASCE 7-16 GROUND ELEVATION, ZS: 242 FT EXPOSURE CATEGORY: C TOPOGRAPHIC METHOD: 1, CATEGORY: 1 SEISMIC DESIGN PARAMETERS, SS: 0.787, S1: 0.295, TL: 12, SITE CLASS: D		
THIS STRUCTURE HAS BEEN DESIGNED TO SUPPORT THE FOLLOWING		
ELEVATION (FT)	ANTENNA TYPE	LINE SIZE (NOM)
TOP	LIGHTNING ROD	-
145	250 SQFT MAX EPA	(18) 1-5/8"
135	250 SQFT MAX EPA	(18) 1-5/8"
80	150 SQFT MAX EPA	(12) 1-5/8"
TOWER DESIGN INCLUDES AN INSIDE CORNER-MOUNTED CLIMBING LADDER		

SECTION MAIN MEMBER SCHEDULE			
SECTION	LEG	DIAGONAL	HORIZONTALS
RTS04B	PIPE 2.875x0.203	L1 3/4x1 3/4x1/8 (2)	L1 3/4x1 3/4x3/16 (1)
RTS04	PIPE 3.500x0.216	L1 3/4x1 3/4x3/16 (4)	N/A
RTT06	PIPE 4x0.318	L1 3/4x1 3/4x3/16 (4)	L1 3/4x1 3/4x3/16 (1)
RTT08	PIPE 4.500x0.337	L2x2x3/16 (3)	N/A
RTT10	PIPE 5.563x0.375	L2 1/2x2 1/2x3/16 (3)	N/A
RTT12	PIPE 5.563x0.375	L2 1/2x2 1/2x3/16 (3)	N/A
RTT14	PIPE 6.625x0.432	L3x3x3/16 (2)	N/A
RTT16	PIPE 6.625x0.432	L3x3x1/4 (2)	N/A

NOTE: SECTION NUMBERS ARE FOR REFERENCE ONLY. FOR NOMINAL FACE WIDTH DIMENSIONS, REFER TO THE STRESS ANALYSIS.
THE NUMBERS SHOWN IN PARENTHESES INDICATE THE NUMBER OF BAYS FROM TOP TO BOTTOM.

FILE NO.		229805		
REVISIONS				
REV.	DESCRIPTION	DWN	CHK	APP
 PO BOX 5999 PEORIA, IL 61601-5999 TOLL FREE 800-727-ROHN				
THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.				
CROWN CASTLE DESIGN PROFILE 150 FT RT TOWER ELKHORN RD BU814686- CA				
DWN:	RCS	CHK'D:	HA	DATE: Apr/08/19
ENG'R:	HA	SHEET #:	1 OF 1	
PRJ. ENG'R:	RCS	PRJ. MANG'R:		
DRAWING NO:	229805-01-D1			REV:
				0

GENERAL NOTES

1. FOUNDATION DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE FOLLOWING DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED.

- A) ULTIMATE SOIL BEARING PRESSURE AT 5.5 FT DEPTH = 13,000 PSF.
- B) GROUND WATER TABLE IS AT OR BELOW FOUNDATION DEPTH.
- C) MAXIMUM FROST PENETRATION DEPTH LESS THAN FOUNDATION DEPTH.

2. WORK SHALL BE IN ACCORDANCE WITH THE PROJECT CONSTRUCTION DOCUMENTS, LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.

3. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE STATE REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.

4. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI IN 28 DAYS.

5. MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 3/4 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING SHALL BE UTILIZED TO PREVENT HONEYCOMBS OR VOIDS.

6. REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED.

7. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.

8. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3 INCH MINIMUM COVER ON REINFORCEMENT.

9. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES NOR BE LESS THAN 2 INCHES.

10. FOUNDATION DESIGN ASSUMES STRUCTURAL BACKFILL TO BE COMPACTED IN 8 INCH MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 110 POUNDS PER CUBIC FOOT.

11. FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT NO. **GEO19-04180-08** DATED **03/22/19** BY **DELTA OAKS GROUP**.

12. FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.

13. FOUNDATION DESIGN ASSUMES THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT CONCERNING VERIFICATION OF SUBSURFACE CONDITIONS ARE IMPLEMENTED PRIOR TO PLACEMENT OF CONCRETE.

14. FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INSTALLATION PRACTICES.

15. ALL CONSTRUCTION AND SAFETY EQUIPMENT AND TEMPORARY SUPPORTS REQUIRED FOR CONSTRUCTION SHALL BE DETERMINED, FURNISHED AND INSTALL BY THE CONTRACTOR BASED ON THE MEANS AND METHODS CHOSEN BY THE CONTRACTOR. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY COMPETENT, QUALIFIED AND TRAINED PERSONNEL.

16. FOUNDATION DESIGN ASSUMES INSTALLATION PROCEDURES WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THE REFERENCED GEOTECHNICAL REPORT.

17. FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.

18. FOR FOUNDATION AND ANCHOR TOLERANCES SEE ANCHOR ROD LAYOUT DRAWING.

19. LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.

20. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.

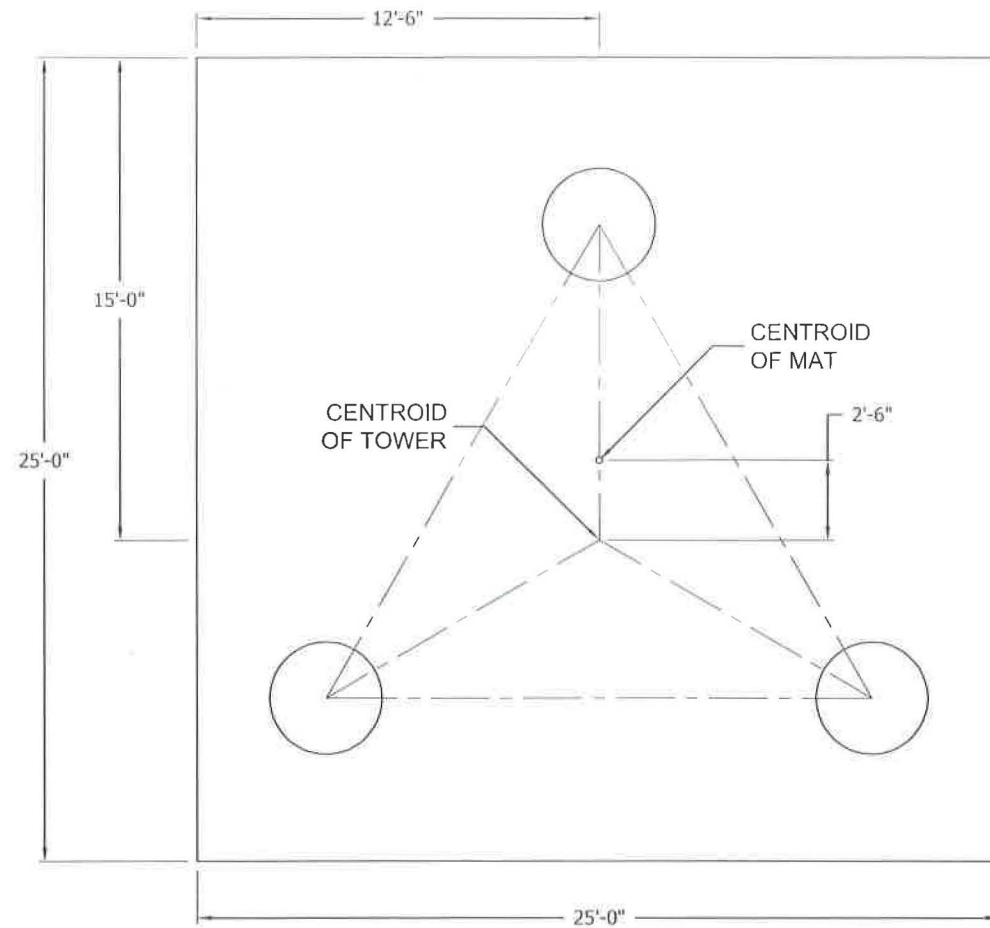
21. CONCRETE PREFERABLY SHALL BE PLACED AGAINST UNDISTURBED SOIL. WHEN FORMS ARE NECESSARY, THEY SHALL BE REMOVED PRIOR TO PLACING STRUCTURAL BACKFILL.

22. CONSTRUCTION JOINTS, IF REQUIRED AT THE BASE OF THE PIERS, SHALL BE INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4 INCH. FOUNDATION DESIGN ASSUMES NO OTHER CONSTRUCTION JOINTS.

23. TOP OF FOUNDATION SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH.

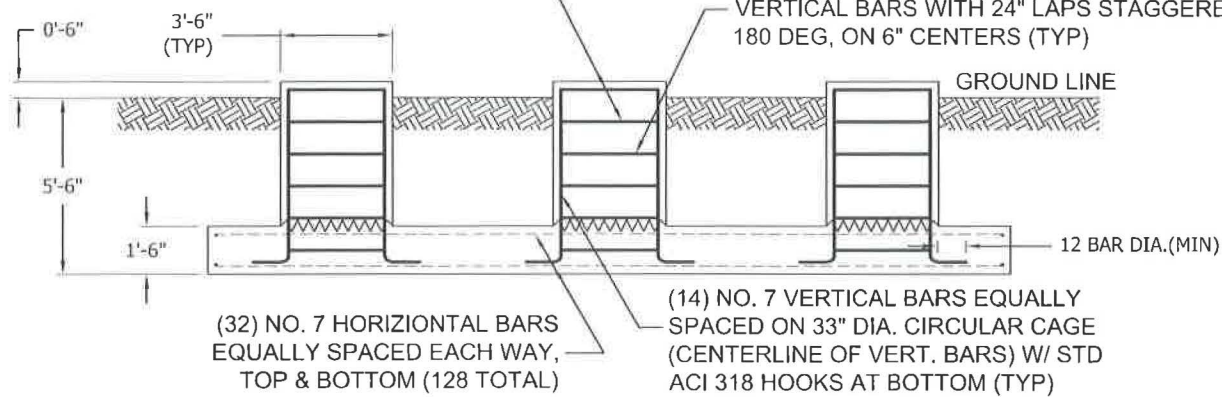
24. EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4" X 3/4" MINIMUM.

NOTE: SEE STRUCTURE ASSEMBLY DRAWING FOR FOUNDATION LAYOUT AND ANCHORAGE EMBEDMENT DRAWING NUMBER.



PLAN VIEW

(2) NO. 4 CIRCULAR STIRRUPS ENCLOSING VERTICAL BARS @ 2-1/2" C-C W/ 180 DEG. STAGGERED 6" MIN LAPS TERMINATED AT EACH END WITH A STD. ACI 318 HOOK ENGAGING A VERTICAL BAR WITH 2" COVER (TYP).




ELEVATION VIEW

MAX FACTORED REACTIONS

Maximum O.T.M =	4,007.0 FT-K
Total Tower Wt =	35.3 KIPS
Total Shear =	41.2 KIPS
Max. Shear/Leg =	25.2 KIPS
Max. Ten./Leg =	254.2 KIPS
Max. Comp./Leg =	285.3 KIPS

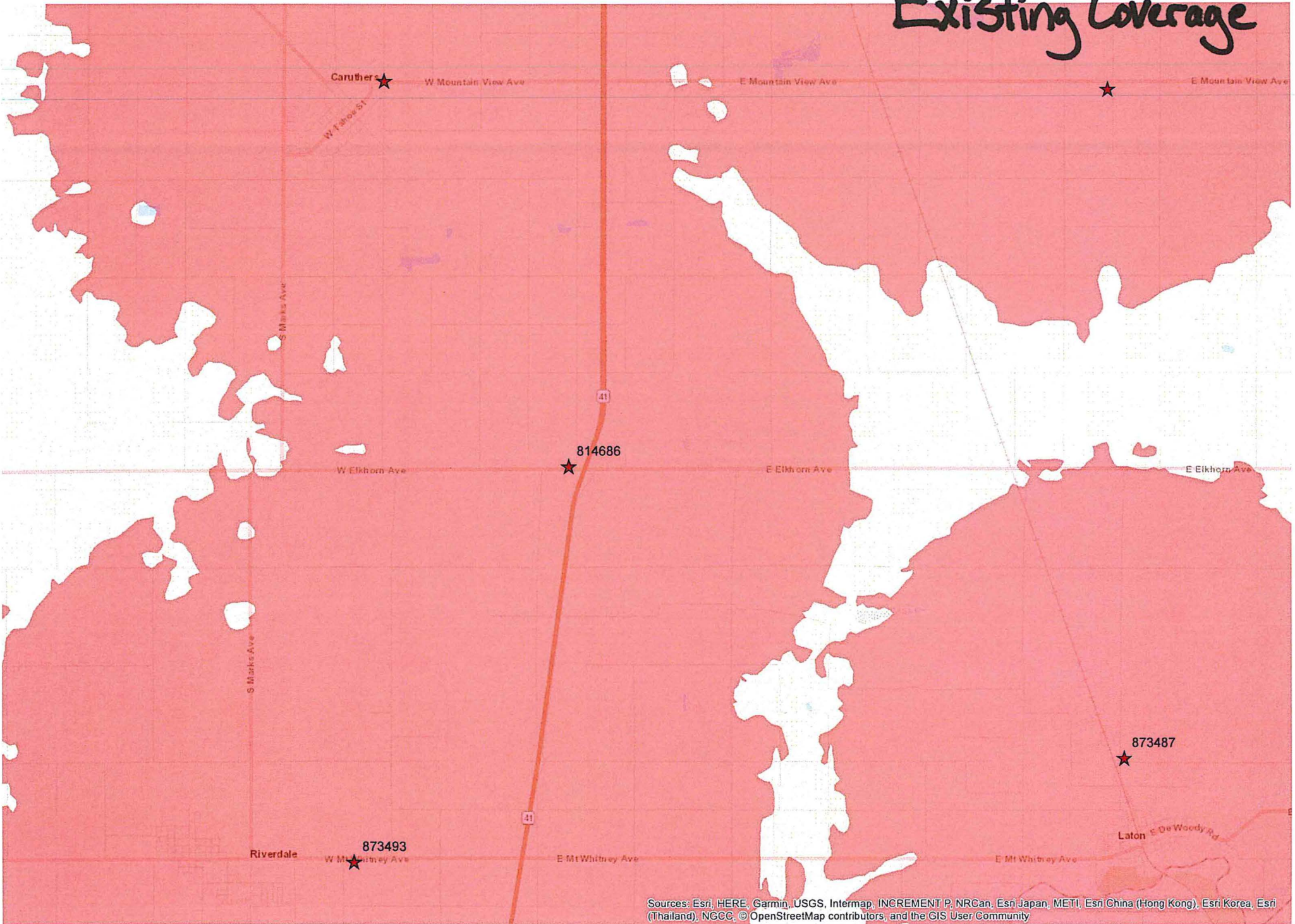
CONCRETE VOLUME

ROUND PIER	4.8 CU.YDS
PAD	34.7 CU.YDS
TOTAL	39.5 CU.YDS

FILE NO.	229805			
REVISIONS				
REV.	DESCRIPTION	DWN	CHK	APP
 PO BOX 5999 PEORIA, IL 61601-5999 TOLL FREE 800-727-ROHN				
THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.				
CROWN CASTLE MAT W/RAISED PIERS FOUNDATION DESIGN ELKHORN RD BU814686- CA				
DWN:	RCS	CHK'D:	HA	DATE:
				4/8/2019
ENG'R:	HA	SHEET #:	1 OF 1	
PRJ. ENG'R:	RCS	PRJ. MANG'R:		
DRAWING NO:	229805-01-F1			REV:
				0

16: 10/20/19 10:22:46 AM 11/19/2019 10:22:46 AM

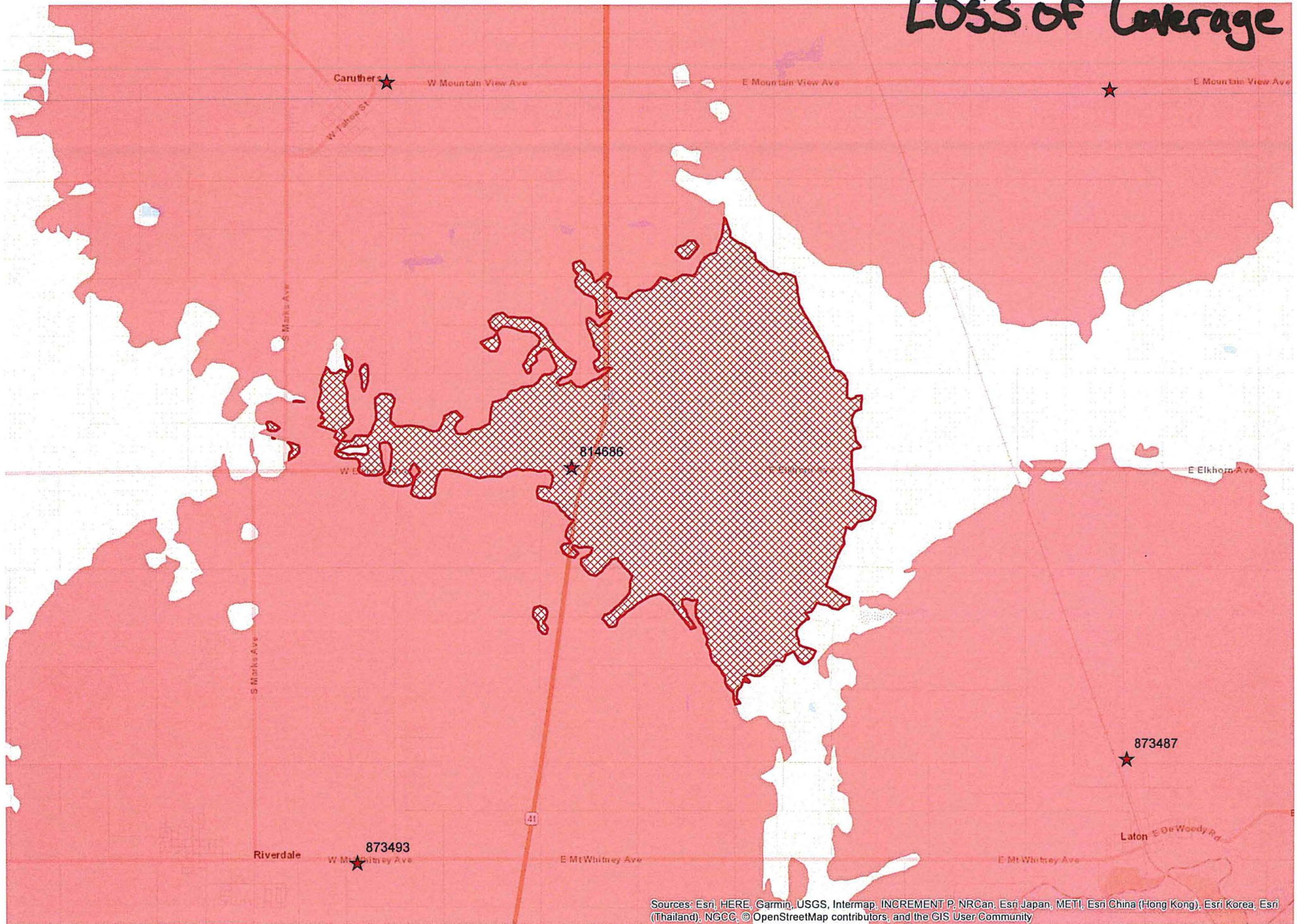
Existing Coverage



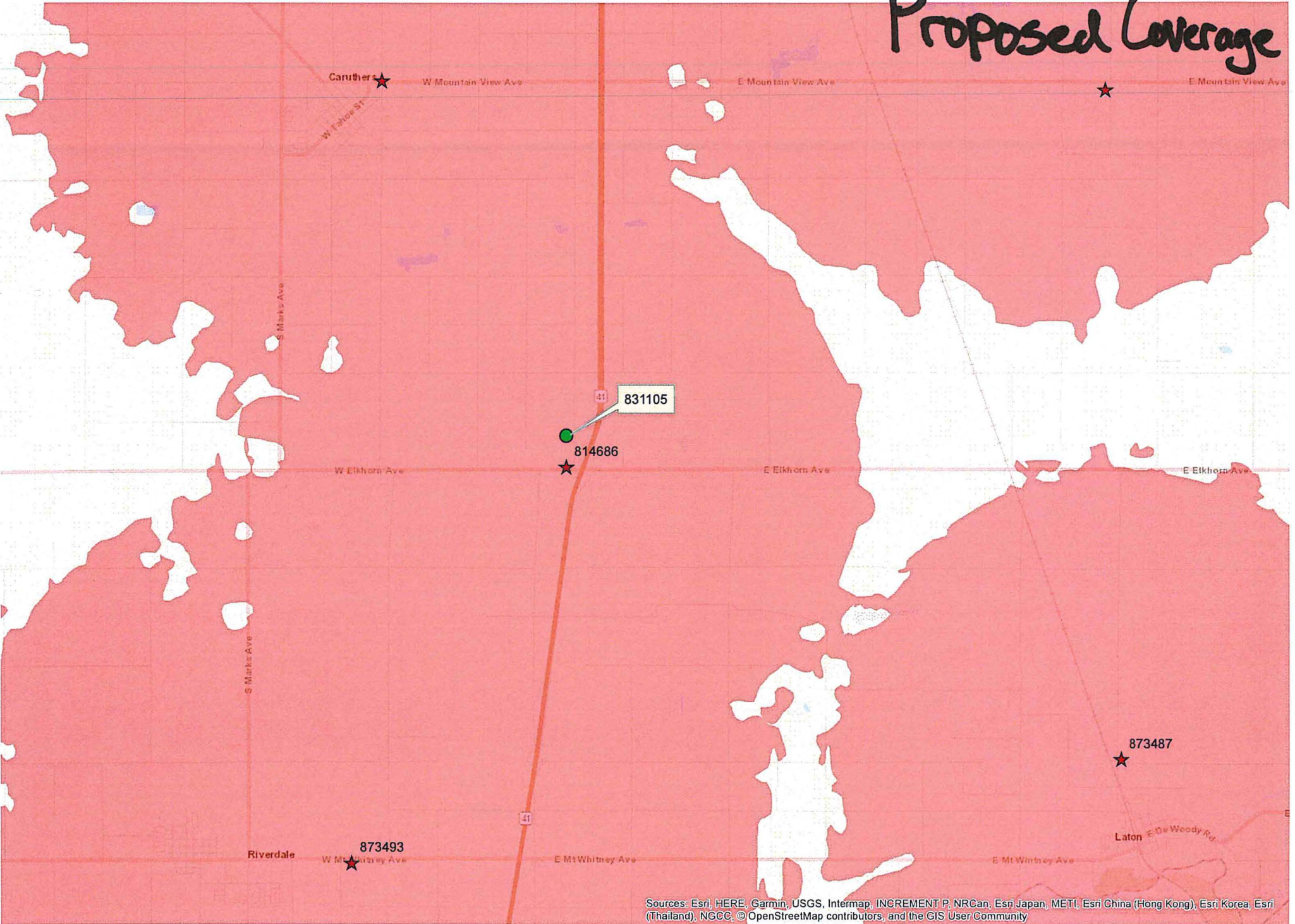
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community

EXHIBIT 7

Loss of Coverage



Proposed Coverage



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community

PROJECT PROPOSED LOCATION

Crown Castle Telecommunication Facility
16629 S. Elm Avenue, Caruthers, CA 93609
Site Name: Iva Arthur (831105)
APN: 042-200-06S

Nature of Request

Crown Castle seeks a Planning Department approval to build a new wireless telecommunication facility with a lattice tower at 16629 S. Elm Avenue, Caruthers, CA. The purpose of this facility would be to maintain coverage.

Property Description

The subject property is zoned AE-30 (Agricultural Exclusive) and is owned by Iva M Arthur, Trustee.

Project Description

This is an unmanned telecommunication facility consisting of the installation of a new 150' lattice tower, a 40' x 50' Crown Castle multi-carrier fenced compound consisting of the installation and operation of antennas and associated equipment. This project is located on private property and will continue to provide wireless coverage in the local community as the existing tower will be decommissioned. The installation will not adversely affect the surrounding area and will have no impact on traffic other than during construction activities, which take less than 30.

The proposal includes the following scope of work:

- New 150'-0" tall lattice tower.
- New 40'-0" x 50'-0" chain-link fence with barbed wire equipment enclosure.
- New electrical 400 meter with fused disconnect, intersect cable.
- 9 new antennas (3 per sector).
- 9 new radio remote radios (3 per sector).

Statement of Operations

This proposed facility will be to replace a currently operating wireless telecommunication facility that we be decommissioned upon construction of a "new" wireless facility to maintain cellular and emergency coverage in the area. This facility will be an unmanned facility operating 24 hours a day, 7 days per week, and 52 weeks per year. There will not be any employees as the facility is unmanned, entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security. Upon completion of construction, fine-tuning of the facility may be necessary, meaning the site will be adjusted once or twice a month by a service technician for routine maintenance. Periodic testing and maintenance to keep the facility operational will require a service vehicle to access the property occasionally but no parking spaces will be required. No goods are sold on this facility location, materials to be used for construction are outlined in the zoning drawings included with the zoning package. This facility will



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

not cause unsightly appearance in the area as it will be painted to jurisdictional requirements and will not have any solid or liquid waste as well as no requirement for additional water usage. There will be no advertising of the facility but there will be owner, safety, and required signing as set forth by the FCC and local jurisdiction. Two new small buildings will be added within the 100'x100' compound and fencing to house and protect sensitive equipment, fencing with barbed wire will encompass the 100'x100' lease area and tower as a security measure as well as lighting for the top and sides of the 280' lattice tower as required by the FAA and local jurisdiction.

Zoning Analysis

The site of the proposed facility is currently zoned AE-30 (Exclusive Agricultural District). Based on a Pre-App Meeting with Ms. Danielle Crider, of the Fresno County Planning Department, we have been instructed to submit for a Conditional Use Permit which would be taken into consideration by Fresno County staff.

Alternative Sites Analysis

As requested, Beacon Development has provided a separate document for submission to the County of Fresno which identifies all neighboring telecom facilities within roughly a (10+) mile radius. Please understand, even taking into account the topography in this particular area, most cellular systems can only transmit 3-5 miles, depending on a number of factors. Our analysis reflects a number of adjacent sites, most of which are over (8) miles away and would not provide coverage in our requested area coupled with the fact we are requesting to *replace* the tower on the adjacent property. Please note, during our pre-app meeting we discussed Ms. Danielle Crider and discussed the project and process, namely in our review of colocations, using another property with an existing tower would be preferred, but given there are no immediate towers, we need to reflect them on our supplemental report. With the above being said, please find an attached PowerPoint report which reflects our findings.

Compliance with Federal Regulations

Crown Castle (as the owner of the facility) will not only comply with all FCC rules governing construction requirements, technical standards, interference protection, power and height limitations, and radio frequency standards, but ensure our respective tenants do as well. In addition, the company will comply with all FAA rules on site location and operation. We have also provided an EMF Study which reflects our adherence to FCC guidelines for RF exposure.

Federal Regulations Applicable to This Application

Federal law and the FCC's rules implementing the law require that this permit application be processed to a final decision by this jurisdiction without delay. Specifically, because this application proposes to install new equipment on a new tower outside the public rights of way, this application must be approved or denied within one hundred fifty (150) days from its submission, today.¹

¹ *In re Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review*, Declaratory Ruling, 24 FCC Rcd. 13994 ¶¶ 32, 45-46 (2009) (“*FCC Shot Clock Order*”); *In the matter of Acceleration of Broadband Deployment By Improving Wireless Facilities Siting Policies*, Report and Order, FCC 14-153, WT Docket No. 13-238, ¶ 272 (FCC Oct. 21, 2014) (“*Wireless Infrastructure Order*”) (clarifying that DAS nodes that involve installation of new poles trigger the 150 day shot clock).



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

Moreover, pursuant to FCC regulations, this application is deemed complete 30 days after today, unless written notice is provided to the applicant.² If the application is incomplete, within the next 30 days written notice must be provided specifying any items missing to make the application complete.³ For each item missing, the written notice must specify the code provision, ordinance, application instruction, or otherwise publically-stated procedure that requires the submission of the information.⁴

The Telecommunications Act limits the authority of local jurisdictions by, among other restrictions, requiring approval within a reasonable period of time. In submitting this application, Crown Castle expressly reserves all of its Federal and State Rights, including, without limitation, its rights under federal and state law to challenge the requirement for a discretionary permit for its proposed installation. Neither the act of submitting the application nor anything contained therein shall be construed as a waiver of any such rights.

Please send all written requests for additional information regarding this application to:

Jason F. Osborne
Beacon Development, LLC
3 Rovina Lane
Petaluma, CA 94952
(415) 529-8868 mbl
jason@beacondev.net



² *Wireless Infrastructure Order* at ¶¶ 257, 259.

³ *Wireless Infrastructure Order* at ¶¶ 259-260.

⁴ *Id.*



3 Rovina Lane
 Petaluma, CA 94952
 (415) 529-8868
 jason@beacondev.net



**Development
 Services and
 Capital Projects
 Division**

Operational Statement Checklist

Department of Public Works and Planning

It is important that the Operational Statement provides for a complete understanding of your proposal. The Operational Statement that you submit **must** address all of the following that apply to your proposal. **Your Operational Statement must be typed or written in a legible manner on a separate sheet(s) of paper. Do not submit this checklist as your Operational Statement.** It should serve only as a guide for preparing a complete Statement.

- X 1. **Nature of the operation--what do you propose to do? Describe in detail.**
- 24/7 2. **Operational time limits:**
 Months (if seasonal): _____ Days per week: _____
 Hours (from _____ to _____) Total hours per day: _____
 Special activities: _____ Frequency: _____ Hours: _____ Are these indoors or outdoors?
- 0 3. **Number of customers or visitors:**
 Average number per day: _____ Maximum number per day: _____ Hours (when they will be there): _____
- 0 4. **Number of employees:**
 Current: _____ Future: _____ Hours they work: _____ Do any live on-site as a caretaker?
- X 5. **Service and delivery vehicles:**
 Number: 1 Type: Telecom Frequency: **(2) Times**
per Month
- X 6. **Access to the site:**
 Public Road: _____ Private Road: X Surface: _____ Unpaved (dirt/gravel) / Paved: _____
- 0 7. **Number of parking spaces for employees, customers, and service/delivery vehicles.**
 Type of surfacing on parking area. _____
- N/A 8. **Are any goods to be sold on-site? If so, are these goods grown or produced on-site or at some other location?**
 Explain. _____
- X 9. **What equipment is used? If appropriate, provide pictures or brochure. *Hand tools**
- N/A 10. **What supplies or materials are used and how are they stored?**
- X 11. **Does the use cause an unsightly appearance? *Telecom Tower**
 Noise? _____ Glare? _____ Dust? _____ Odor? _____
 If so, explain how this will be reduced or eliminated. _____
- N/A 12. **List any solid or liquid wastes to be produced.**
 Estimated volume of wastes: _____ How and where is it stored? _____
 How is it hauled, and where is it disposed? _____ How often? _____
- N/A 13. **Estimated volume of water to be used (gallons per day). Source of water?**
- N/A 14. **Describe any proposed advertising including size, appearance, and placement.**
- X 15. **Will existing buildings be used or will new buildings be constructed?**
 Describe type of construction materials, height, color, etc. Provide Floor Plan and elevations, if appropriate.
*Telecom Equipment
- N/A 16. **Explain which buildings or what portion of buildings will be used in the operation.**
- X 17. **Will any outdoor lighting or an outdoor sound amplification system be used?**
 Describe and indicate when used. *(1) Equipment Light / Safety
- X 18. **Landscaping or fencing proposed? Describe type and location. *See Plans, (1) Fence**
- X 19. **Any other information that will provide a clear understanding of the project or operation.**
- N/A 20. **Identify all Owners, Officers and/or Board Members for each application submitted; this may be accomplished by submitting a cover letter in addition to the information provided on the signed application forms.**

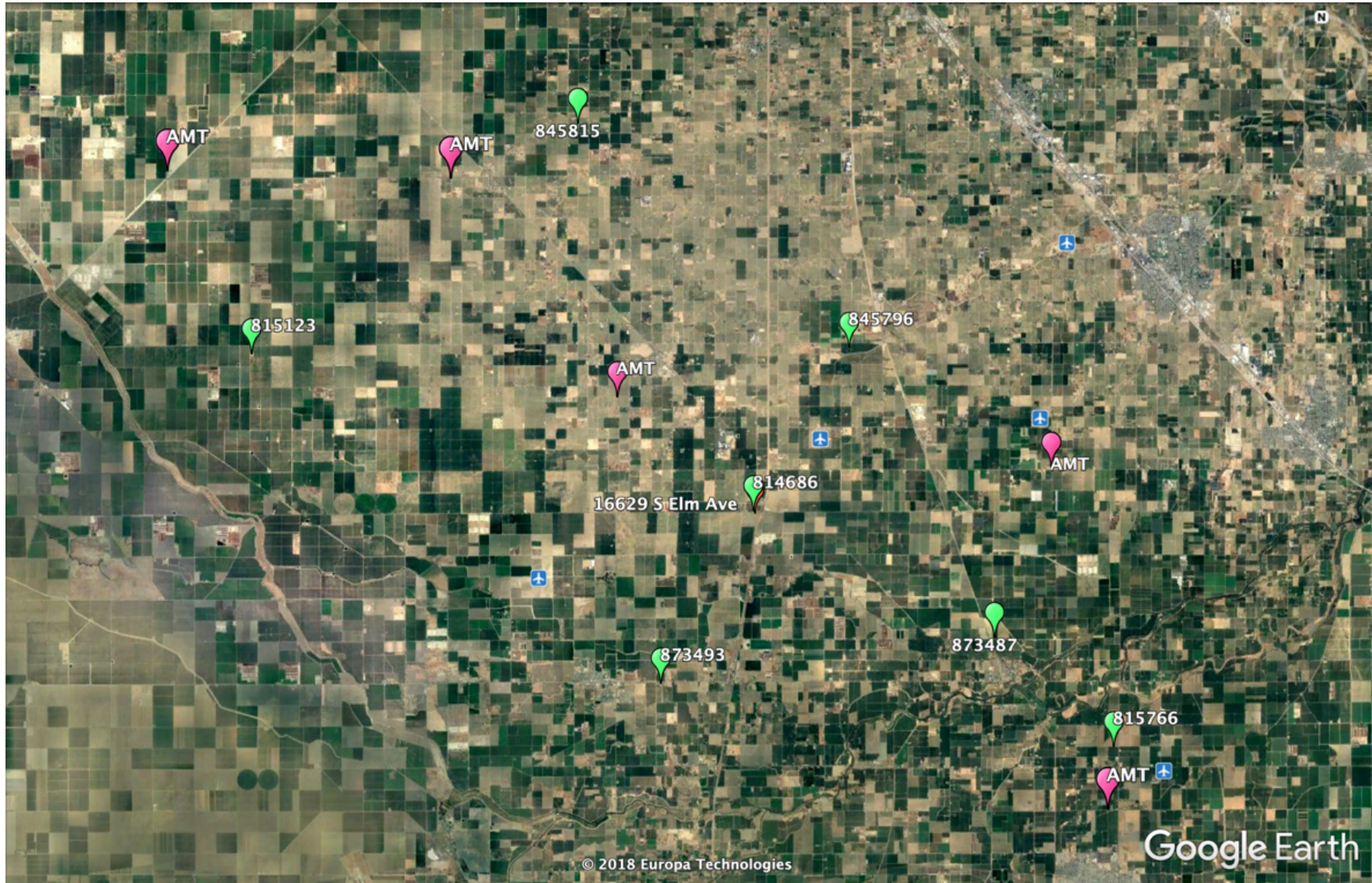


831105

16629 S Elm, Caruthers, CA 93609

SITE ALTERNATIVES

831105 OVERVIEW



NEIGHBORING SITES

SITE OWNER	SITE ID	TYPE	ADDRESS	NOTES
CCI	814686	SELF SUPPORT	82 West Elkhorn Avenue Caruthers, CA 93609	0.30 miles
CCI	815123	GUYED	13005 S. Jameson Fresno, CA 93627	12 miles
CCI	815766	SELF SUPPORT	4502 10th Ave Hanford, CA 93230	10 miles
CCI	845796	GUYED	13178 SOUTH CEDAR AVENUE FRESNO, CA 93725	5 miles
CCI	845815	SELF SUPPORT	7700 SOUTH BLYTHE AVENUE FRESNO, CA 93706	11 miles
CCI	873487	SELF SUPPORT	6034 E HARLAN LATON, CA 93242	6 miles
CCI	873493	SELF SUPPORT	1861 West Mount Whitney RIVERDALE, CA 93656	4 miles
AMT	43846	SELF SUPPORT	8355 South McMullin Grade, FRESNO, CA 93706-9350	16 miles
AMT	300608	MONOPOLE	10258 Elder Ave., Hanford, CA 93230-9101	11 miles
AMT	300790	SELF SUPPORT	3293 W. Kamm, Caruthers, CA 93609-9545	4 miles
AMY	301192	SELF SUPPORT	7245 W. Manning, Fresno, CA 93706-9347	11 miles
AMT	302109	SELF SUPPORT	6910 East Clarkson Avenue, Selma, CA 93662-9455	7 miles

CCI 814686 –(0.30 miles): Subject Tower to be removed based on expiring ground lease.



CCI 815123 –(12 miles)



CCI 815766 – (10 miles)



CCI 845796 –(5 miles)



CCI 845815 –(11 miles)



CCI 873487 –(5 miles)



CCI 873493 –(4 miles)



AMT 43346 – (16 miles)



AMT 300608 – (11 miles)



AMT 300790 – (4 miles)



AMT 301192 – (11 miles)



AMT 302109 – (7 miles)



Fresno County Tower (0.6 Mile): Unable to use 'guy tower' based on structural issues, wherein we are adding at least 12 antennas, and we are contractually responsible to our carrier to replace the tower and existing site configuration.



Fresno County Tower (0.6 Mile)



Fresno County Tower (0.6 Mile)

latitude	longitude	call_sign	location_address	location_city	location_county	location_state	licensee_entity_name
36.49355556	-119.7823611	KMK870	500 E ELKHORN	CARUTHERS	FRESNO	CA	COUNTY OF FRESNO
36.49355556	-119.7823333	WNEH867	500 E ELKHORN AVE	CARUTHERS	FRESNO	CA	FRESNO COUNTY OF



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

APPLICANT: Jason Osborne, Beacon Development on behalf of Crown Castle

APPLICATION NOS.: Initial Study Application No. 7611 and Unclassified
Conditional Use Permit Application No. 3648

DESCRIPTION: Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (042-200-06S).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

According to Figure OS-2 of the Fresno County General Plan, the project site is not located on or near an identified Scenic Roadway. No scenic vista has been identified that would be affected by the proposed project. The project site is located in a mainly agricultural area with the Southwest Transportation Agency being located across Elm Avenue.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Assessor Parcel Map records, the subject parcel is approximately 390 feet in depth. The project site is located in the rear of the property. Existing residences and accessory buildings along with mature landscaping on the property and orchards surrounding the project site, ground equipment will be effectively screened from the public right-of-way. The lattice tower design has been proposed to resemble other cell towers that have been approved within the vicinity of the project site. The proposed project will have a less than significant impact on the existing visual character or quality of public view of the site and its surroundings.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The Applicant has indicated that lighting for the tower will be installed per Federal Aviation Administration (FAA) guidelines. In the event that lighting is also installed at ground level, a mitigation measure will be implemented so that all installed lighting will be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Based on the 2016 Fresno County Important Farmland map, the project site is located within land designated as Urban and Built-Up Land and Farmland of Statewide

Importance. Aerial photographs of the project site and site photographs provided by the Applicant show that the subject parcel is utilized for residential use and is not being used for agricultural purposes. Staff believes that although the project site may be located on or near Farmland of Statewide Importance, the proposed project will not convert farmland as there is no indication that farmland is present on the subject parcel.

- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The subject parcel is zoned AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) and is not subject to a Williamson Act Contract. According to Policy LU-A.3 of the Fresno County General Plan, certain non-agricultural uses are allowed in areas designated as Agricultural subject to a discretionary permit. Per the Fresno County Zoning Ordinance, the discretionary permit is an Unclassified Conditional Use Permit. Based on the General Plan Policy and use permitted subject to an Unclassified Conditional Use Permit, there will be no conflict with the existing agricultural zoning.

- C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or
- D. Result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The project site is not located on or near forest land, timberland, or timberland zoned Timberland Production. Therefore no conflict with forest land, timberland, or timberland zoned Timberland Production is seen and the project will not result in the loss of forest land or conversion of forest land to non-forest use.

- E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The subject parcel is utilized for residential use and is not being used for farmland or forest land. The project will not result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or

- B. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Temporary increases in criteria pollutants could occur during project construction. As there are two residences on the subject parcel, they could temporarily be exposed to pollutants during construction of the project. Once construction is complete, the proposed telecommunications facility will not produce criteria pollutants that would expose sensitive receptors. Additionally, operation of the project proposal will not conflict with or obstruct implementation of the applicable Air Quality Plan. Although there will be a temporary increase in criteria pollutants during construction, long-term operation of the facility will not produce pollutants that would have a detrimental effect on sensitive receptors, therefore, staff believes that the project will have a less than significant impact.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Emissions from project construction could have an impact on people in the vicinity of the project site, but construction will be temporary. Ongoing operation of the proposed use will not result in emissions that could adversely affect people in the project vicinity.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: NO IMPACT:

According to the California Natural Diversity Database (CNDDDB), there are no reported occurrences of any special status species on or in the vicinity of the project site. The project site is located on a parcel that has been improved with multiple buildings for human occupation. Additionally, the surrounding land is being utilized for agricultural purposes, which experiences human disturbance on a daily basis. Based on the proposed location of the cell tower and daily human disturbance, no impact is seen on any special status species.

- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

No riparian habitat or other sensitive natural community has been identified on or near the project site. According to the National Wetlands Inventory, there are no identified wetlands that could be affected by the proposal. Photos provided by the Applicant do not show any wetland characteristics that would suggest the presence of a wetland.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

The project site is located towards the rear of the property that is being utilized for residential purposes. The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native residents. No migratory wildlife corridors or wildlife nursery sites have been identified on or near the project site.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The project will not conflict with any local policies or ordinances protecting biological resources and will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or any other approved local, regional, or state Habitat Conservation Plan.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or

- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project site has been improved with two single-family residences and multiple accessory structures. Based on the existing improvements, ground disturbance has already occurred on the project site. In the event that cultural resources are unearthed during project construction, a Mitigation Measure will be implemented to address any cultural resource found during construction or deconstruction of the project.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, videos, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project will be built to current California Building Code standards to meet state energy efficiency plans. The project is not expected to result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources during project operation. A Mitigation Measure will be incorporated with the project to reduce the potential for wasteful or inefficient consumption of energy resources during project construction. The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.

* **Mitigation Measure(s)**

1. *The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.*

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

FINDING: NO IMPACT:

According to the Earthquake Zone Application administered by the California Department of Conservation and Figure 9-2 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on a known earthquake fault or rupture of a known earthquake fault.

2. Strong seismic ground shaking?
3. Seismic-related ground failure, including liquefaction?

FINDING: NO IMPACT:

According to Figure 9-5 of the FCGPBR, the project site is not located on or near identified probabilistic seismic hazard areas.

4. Landslides?

FINDING: NO IMPACT:

According to Figure 9-6 of the FCGPBR, the project site is not located near any identified landslide hazard areas. The project site is located in flat agricultural land.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to construct a cell tower and ground related equipment. The ground related equipment will be built on top of a new concrete pad therefore reducing topsoil for the parcel. Planning of the lease area also shows additional space for colocation equipment if pursued reducing topsoil further. Although topsoil is lost from the proposal, the loss of topsoil is not substantial and is only a small portion of the subject parcel which is a less than significant impact.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

No geologic unit or soil has been identified to be unstable or would become unstable as a result of the project. Multiple improvements have already been built on the property to suggest that the soil is stable to support the project. The project will be built to current building code standards that can take into account soil conditions.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

According to Figure 7-1 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on any identified expansive soils.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

FINDING: NO IMPACT:

The project is not proposing the use of septic tanks or alternative waste water disposal systems. The facility will be unmanned and will have a maintenance worker visit the site at least once a month.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

No paleontological resource or unique geologic feature has been identified on the project site. The subject parcels have been improved with single-family residences and accessory buildings. Past ground-disturbing activities indicate that no paleontological or geological resource is present on the project site.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposal is not expected to generate greenhouse gas emissions that could have a significant impact on the environment. Daily operation of the proposal will not generate greenhouse gas emissions that will have a significant impact. A backup generator is being proposed in case of an emergency to maintain service. Although the generator will produce emissions, the generator is there only to provide backup power and will not run continuously. The project will have a less than significant impact on greenhouse gas emissions.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division has reviewed the subject application and has provided comments related to hazards and hazardous materials.

Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95.

All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: NO IMPACT:

The project site is not located within one-quarter mile of an existing or proposed school.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

According to a NEPAAssist report produced for the project site, there are no hazardous materials sites on or near the project location.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The project will not physically interfere with an adopted emergency response plan or emergency evacuation plan. Reviewing agencies did not express concerns to indicate that the project would interfere with an adopted emergency response plan or emergency evacuation plan.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the 2007 Fire Hazard Severity Zones in LRA adopted by the California Department of Forestry and Fire Protection (CalFire), the project site is not located in a fire hazard severity zone. Additionally, the Fresno County Fire Protection District (FCFPD) has provided comments on the subject application that do not indicate a significant risk of wildland fire hazard. The project shall comply with California Code of Regulations Title 24 – Fire Code and project/development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. The project proposed for an unmanned wireless telecommunication facility therefore reducing exposure of people at the project site.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality; or
- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: NO IMPACT:

The project proposes an unmanned wireless telecommunications facility and will not utilize water as part of its operation. The project will not violate any water quality standards or waste discharge requirements and will not substantially decrease groundwater supplies or interfere with groundwater recharge.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 1. Result in substantial erosion or siltation on- or off-site;
 - 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite?
 - 3. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 4. Impede or redirect flood flows?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels traversing the subject parcel. The project site is also not located in a flood zone, therefore the project will not impeded or redirect flood flows. As new construction is involved, the project may increase surface runoff. The project will be subject to County Standards, which require that drainage of the project not drain across property. The project will not substantially increase the amount of surface runoff in a manner which would result in flooding on- or off-site.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is not located in a flood zone, but according to Figure 9-8 of the Fresno County General Plan Background Report (FCGPBR), the project site is located in a dam failure flood inundation area. Although located in a flood inundation area, the project proposes an unmanned facility with minimal hazardous materials onsite. Risk of

release of pollutants is less than significant based on project proposal and storage of materials onsite. The project is not located near a body of water that would indicate tsunami or seiche zone risks.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The project will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project will not physically divide an established community.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Policy PF-J.4 of the Fresno County General Plan requires compliance with the Fresno County Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County. One key issue of the Wireless Communications Guidelines is for new towers. Applicants are required to submit evidence regarding alternative sites being considered for colocation opportunities and evidence of due diligence on negotiating for colocation. Additional guidelines are related to placement and aesthetics of the tower.

The Applicant has submitted an Alternative Site Analysis and explanation for the new tower. An old tower is set to be decommissioned and the Applicants would like to replace the tower on a different property to ensure coverage throughout the project area. The Alternative Site Analysis also stated that the only other available tower in the vicinity that would meet coverage needs is a guyed wire tower that the Applicant has concerns regarding structural issues when collocating their equipment. The proposed tower will be located on a residential parcel and located at the rear (southwest edge) of the property minimizing aesthetic impacts.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Figure 7-7 of the Fresno County General Plan Background Report (FCGPBR), the project site may be located on or near identified oil field resources. Based on current conditions of the project site and the footprint of the project site, the proposal is not expected to adversely impact identified mineral resources that may occur on or near the project area.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division (EHD) commented that the proposed construction and operation of the project has the potential to expose nearby residents to short-term elevated noise levels and that consideration should be given to the County of Fresno Noise Ordinance Code. The project is not expected to generate substantial permanent increase in ambient noise levels or generate excessive ground-borne vibration or ground-borne noise levels. A temporary increase from project construction and a slight increase in noise will occur from project construction and operation, but will have a less than significant impact.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project will not induce substantial unplanned population growth nor displace substantial numbers of existing people or housing. The project site is located at the rear of the subject parcel and is not requiring the relocation of housing or people on the property.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?
 - 1. Fire protection;
 - 2. Police protection;
 - 3. Schools;
 - 4. Parks; or
 - 5. Other public facilities?

FINDING: NO IMPACT:

The Fresno County Fire Protection District (FCFPD) has provided comments on the project and did not express concerns with the project to indicate that the proposal will adversely impact their level of service. No other reviewing Agency expressed concerns to indicate that the project will significantly impact the provision of new facilities or level of service.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project will not result in increased use of existing neighborhood and regional parks such that substantial physical deterioration of the facility would occur or be accelerated. Additionally, the project will not require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment.

XVI. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project intends to replace an existing tower on a different property. Based on the intention, the project is not likely to increase vehicle miles traveled significantly, as the project will be located approximately 0.30 miles from the existing tower. A less than significant impact is seen as the project will increase vehicle miles traveled minimally and is not conflicting with or being inconsistent with CEQA Guidelines Section 15064.3, subdivision (b). The project does not conflict with a program, plan, ordinance, or policy addressing the circulation system. The project is for an unmanned wireless telecommunications facility and will only require up to two maintenance visits a month. As an existing tower is located in the vicinity of the project site, the change in location of the existing tower to the proposed site will not significantly impact the circulation system or be inconsistent with CEQA Guidelines.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?; or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The project proposes to take access off an existing driveway from Elm Avenue that services the existing residential units on the property. A twelve-foot access easement will be constructed from the existing driveway to the project site. No hazards from the

design of the project's access way has been identified on the project site. The project will not result in inadequate emergency access. No reviewing Agencies/Departments have expressed concerns that indicate that the project design is dangerous or will result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Per California Assembly Bill 52 (AB52), participating California Native American Tribes were notified of the project and given the opportunity to enter into consultation with the County of Fresno. No participating California Native American Tribe expressed concerns with the project to indicate that a Tribal Cultural Resource (TCR) was present on or near the project site. In the event that a TCR is identified on the project site, a Mitigation Measure will be implemented so that TCR's are adequately addressed.

* **Mitigation Measure(s)**

1. See Section V.A.,B, and C., Mitigation Measure 1.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: LESS THAN SIGNIFICANT IMPACT:

New electrical connections are being proposed for the subject application, but will not require the relocation or construction of electrical supply facilities. The project will not result in the construction of new or expanded water, wastewater treatment, storm water drainage or natural gas. An existing telecommunications facility is located approximately 0.30 miles south of the proposed site. The project proposes to construct a new tower and decommission the existing tower.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years; or
- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: NO IMPACT:

The project proposes an unmanned facility and will not require the use of water or construction of wastewater treatment systems. Based on this, the project will not have an impact on water supplies and will not be served by a wastewater treatment system.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

The project is for an unmanned wireless telecommunications facility and will not generate solid waste in excess of State or local standards. The project will comply with federal, state, and local management and reduction statutes and regulations related to solid waste.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or

- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

According to the 2007 Fire Hazard Severity Zones in Local Responsibility Areas map from the California Department of Forestry and Fire Protection, the project site is located in a Local Responsibility Area (LRA) and is not in lands classified as very high fire hazard severity zones.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Impacts to Cultural Resources and Tribal Cultural Resources will be less than significant with mitigation incorporated. There are no impacts to Biological Resources and reviewing agencies did not express concern to indicate the presence of special status species. The project will not substantially degrade the quality of the environment or substantially reduce the habitat of fish or wildlife species.

- B. Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Cumulative impacts identified in the analysis were related to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources. These impacts will be reduced to a less than significant impact with incorporated Mitigation Measures discussed in Section 1.D., Section V.A., B., and C., Section VI.A and B., and Section XVIII.A.1., and 2.

- C. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have determined to be less than significant with compliance with incorporated Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

TK

G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3600-3699\3648\IS-CEQA\CUP 3648 IS Writeup.docx

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7611 CUP 3648	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Thomas Kobayashi Planner	Area Code: 559	Telephone Number: 600-4224	Extension: N/A
Project Applicant/Sponsor (Name): Jason Osborne, Beacon Development on behalf of Crown Castle	Project Title: Unclassified Conditional Use Permit Application No. 3648		
Project Description: Allow construction of a new unmanned wireless telecommunication facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced compound on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.			
Justification for Negative Declaration: Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have been determined to be less than significant with compliance with incorporated Mitigation Measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 9, 2019		Review Date Deadline: Planning Commission – October 10, 2019	
Date:	Type or Print Signature: Marianne Mollring Senior Planner	Submitted by (Signature): Thomas Kobayashi Planner	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**