



DEPARTMENT of PUBLIC WORKS and PLANNING DEVELOPMENT SERVICES DIVISION



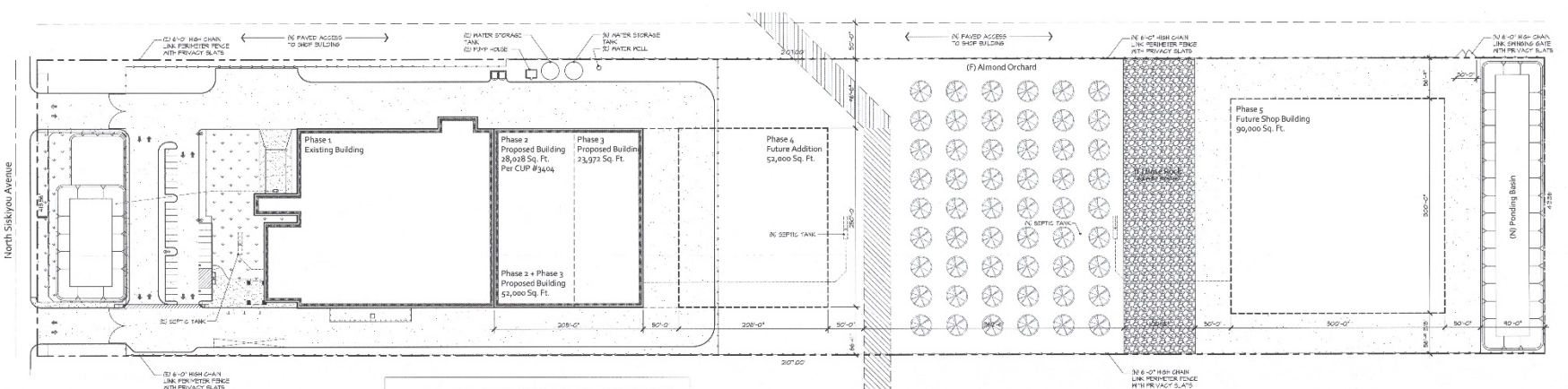
N Siskiyou Ave



Sfan Family Orchards

Approximate
Location of
Subject Parcel

W Olive Ave

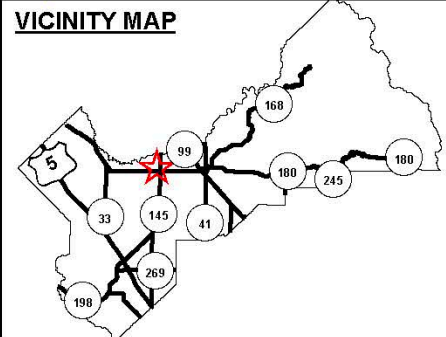


NOTE: REFER TO SHEET A-01 ENCLOSED SITE PLAN FOR NOTES AND ADDITIONAL INFORMATION.


General Site Notes

<p>1. SITE DRAINAGE: GENERAL INTENT IS TO MAINTAIN EXISTING RAIN WATER RUNOFF FROM EXISTING PAVING TO EXISTING DRAINAGE AREAS. 2. PROPERTY LINES: THE LINES SHOWN ARE BASED ON AVAILABLE INFORMATION FROM ASSESSORS' PLAT MAP AND SITE INVESTIGATION. 3. ADDRESS: A NUMBER 2 ADDRESS ON THE SIDE OF THE BUILDING FOR BUILDINGS GREATER THAN 50 FEET FROM THE STREET AND A NUMBER 60 ADDRESS ON THE SIDE OF THE BUILDING FOR BUILDINGS 50 FEET OR LESS FROM THE STREET. 4. SIGNAGE: EXCEPT FOR SIGNAGE, ALL SIGNAGE SHALL BE APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SHOULD ADDITIONAL SIGNAGE BE REQUIRED, THE APPLICANT MUST APPLY FOR A SIGN REVIEW PERMIT. APPLICATIONS AND REQUIREMENTS FOR SIGNAGE ARE AVAILABLE AT THE FARMING DIVISIONS PUBLIC PROJECT CENTER. 5. ALL LIGHT FIXTURES ON THIS PROJECT SHALL BE SUBJECT TO INTERFERENCE BY THE ROAD SYSTEM BECOMING IMPASSIBLE FOR THE APPROXIMATE TIME TO TRAVEL OR OTHER USES. 6. ALL SIGNAGE MUST BE REMOVED FROM THE PROJECT IMMEDIATELY UPON RECEIVING A POLLUTION CONTROL DISTRICT REGULATION VI TO REMOVE OR REPAIR SIGNAGE. 7. ALL SIGNAGE MUST BE REMOVED FROM THE PROJECT IMMEDIATELY UPON RECEIVING A POLLUTION CONTROL DISTRICT REGULATION VI TO REMOVE OR REPAIR SIGNAGE. 8. ANY ACTIVE REQUEST FOR INVESTIGATION SHOULD BE HEARD PRIOR TO DEVELOPMENT WORK TO PREVENT SPREAD OF VIBRATIONS TO ADJACENT PROPERTY. 9. PRIOR TO FINAL INSPECTION A WATER CONTROL PLAN, ISSUED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT AN IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE IRRIGATION AND REVISIONS PLAN APPROVED BY THE DEVELOPMENT SERVICES DIVISION, COUNTY OF PERSHORE. 10. LANDSCAPING MUST BE IN PLACE BEFORE OCCUPANCY. PRELIMINARY LANDSCAPING MUST BE COMPLETED PRIOR TO OCCUPANCY. LANDSCAPING MUST BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. 11. NO USES OF LAND BUILDINGS OR STRUCTURES OTHER THAN SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.</p>	<p>12. ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A MARKING THAT VISIBLE IN VIGILANCE OF DAY ON ANY OF THE PERMITTED PAVING SURFACES SHALL BE "TOUCH ANYWAY". THE INTERNATIONAL SYMBOL AND TOUCH ANYWAY MARKING SHALL BE PROVIDED CONSPICUOUSLY ON EVERY FOOT WALK. ALL ACCESSIBLE PARKING STALLS SHALL BE ADJACENT TO FACILITY ACCESS RAMP OR IN STRAIGHTENED AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR MANUEVER PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING SPACES OR RAMP. 13. LIGHT FIXTURES PROVIDED TO ILLUMINATE PARKING SPACES OR RAMP AREAS SHALL BE KEPT LOW AND SHIELDED AND CONTROLLED SO AS TO NOT CAUSE A GLARE EITHER TO HIGHWAY TRAFFIC OR TO THE LAND ENVIROMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE COUNTY OF PERSHORE. 14. ON-SITE LIGHTING TO CONFORM TO ORDINANCES AND TO BE WELL MOUNTED OR GROUND MOUNTED SHIELDED BOX TYPE LIGHTS 10 FEET HIGH OR AS TO PREVENT GLARE ON ADJACENT PROPERTIES LIGHTS AND NUMBERING TO BE REVEALED UNDER DULCINO PLAN LIGHTS. LIGHT FIXTURES TO BE REVEALED TO INDICATE NIGHT AMOUNT OF LIGHT FIXTURES OR OTHER LIGHTS. 15. REPAIR ALL DAMAGED AND/OR CRACKED CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE PUBLIC WORKS DEPT. CONSTRUCTION MANAGEMENT DIVISION PRIOR TO OCCUPANCY. 16. CONTACT PUBLIC WORKS DEPT., 7840 G STREET, PERSHORE, CA 95368 PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION. 17. A BACKFLOW PREVENTER ON DEVICE MAY BE REQUIRED. CONTACT PUBLIC WORKS DEPT. WATER DIVISION NEARBY CHURCH IN A LOCATION APPROVED BY THE REQUIREMENTS DIVISION FOR THE DEVICE CONNECTION TO LOCAL OFFICE. A "LEAKING HEAD" IS REQUIRED TO INSTALL DEVICE IS NOT ALLOWED AT THE OWNERS PROPERTY BY THE ENGINE OR PREVENTION DEVICE REQUIRED SHALL QUALIFY THE CONNECTIONS AS A COMPONENT FOR BACKFLOW PREVENTION BY THE WATER DIVISION. BACKFLOW PREVENTION SHALL BE PERFORMED AND ACCEPTED BY THE WATER DIVISION PRIOR TO STARTING BUILDING CONSTRUCTION. DEVELOPER IS RESPONSIBLE TO CONTACT THE WATER DIVISION AT 144 OF 5 STARS BLVD. PERSHORE, CA 95368 PRIOR TO STARTING BUILDING CONSTRUCTION. 18. THE BACKFLOW DEVICE SHALL BE SUBMITTED BY LANDSCAPING OR OTHER MEANS AS MAY BE APPROVED.</p>	<p>19. IF THERE ARE ALLEGEDRY WHAN REMAINS THE PERSHORE COUNTY CORNER SHALL BE CONTACTED IMMEDIATELY, IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLE NATIVE AMERICAN (PHONIC 916-423-4232) SHALL BE IMMEDIATELY CONTACTED THE NATIVE AMERICAN HERITAGE COMMISSION CONTACTED AND THE CALIFORNIA ANTHROPOLOGICAL INVENTORY (CALIFORNIA BUREAU OF LAND MANAGEMENT) INFORMATION CENTER PHONE 805-844-0200 SHALL BE CONTACTED TO OBTAIN A NATIONAL LIST OF REGISERED ANTHROPOLOGICAL AND ARCHAEOLOGICAL RESOURCES THAT MAY BE ON THE PROJECT SITE. THE LIST SHALL BE FORMALLY REVIEWED, AND RESOURCES ON THIS LIST TO THE COUNTY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PROTECTION. 20. IF THERE ARE ALLEGEDRY WHAN REMAINS THE PERSHORE COUNTY CORNER SHALL BE CONTACTED IMMEDIATELY, IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLE NATIVE AMERICAN (PHONIC 916-423-4232) SHALL BE IMMEDIATELY CONTACTED THE NATIVE AMERICAN HERITAGE COMMISSION CONTACTED AND THE CALIFORNIA ANTHROPOLOGICAL INVENTORY (CALIFORNIA BUREAU OF LAND MANAGEMENT) INFORMATION CENTER PHONE 805-844-0200 SHALL BE CONTACTED TO OBTAIN A NATIONAL LIST OF REGISERED ANTHROPOLOGICAL AND ARCHAEOLOGICAL RESOURCES THAT MAY BE ON THE PROJECT SITE. THE LIST SHALL BE FORMALLY REVIEWED, AND RESOURCES ON THIS LIST TO THE COUNTY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PROTECTION. 21. IF ARCHAEOLOGICAL AND/OR ANNUAL POSSIBLE MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYS, GRADING, EXCAVATION OR CONSTRUCTION WORK SHALL STOP IMMEDIATELY. 22. APPROVAL OF THE SPECIAL PERMIT DESCRIBED SHALL BE VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS FOR THE SPECIAL PERMIT. THE SOILING ORDINANCE AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THE DEVELOPMENT'S RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELAYS OR DISRUPTIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ACTIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THE SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS. 23. WORKING ENVY BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILTY EASEMENTS ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED BY UNDERGROUND SERVICE ALERT (CALL 800-485-5844).</p>	<p>24. OPEN STREET CLOSURES ARE NOT PERMITTED. ALL UTILITY CONNECTIONS MUST BE DONE. 25. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND STANDARD DRAWINGS OF THE COUNTY OF PERSHORE PUBLIC WORKS DEPT. THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK. CONTACT THE COUNTY OF PERSHORE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE COUNTY PRIOR TO OCCUPANCY. 26. NO IMPROVEMENTS OF ANY KIND MAY BE INSTALLED OR MAINTAINED WITHIN THE LANDSCAPING AREAS EXCEPT THE BACKFLOW PREVENTER OR NO SUPPORTED TREE BODIES TRANSPORTATION, WINDING, PILING, LANDSCAPING AREAS OR STRUCTURES ON THE DEVICE. ARE ALLOWED TO BE LOCATED IN THE 5' LANDSCAPING STREET FRONTAGE OF THE BUILDING. THE BACKFLOW DEVICE SHALL BE SCREENED OR SHOWN OTHER MEANS AS MAY BE APPROVED.</p>
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LOCATION MAP

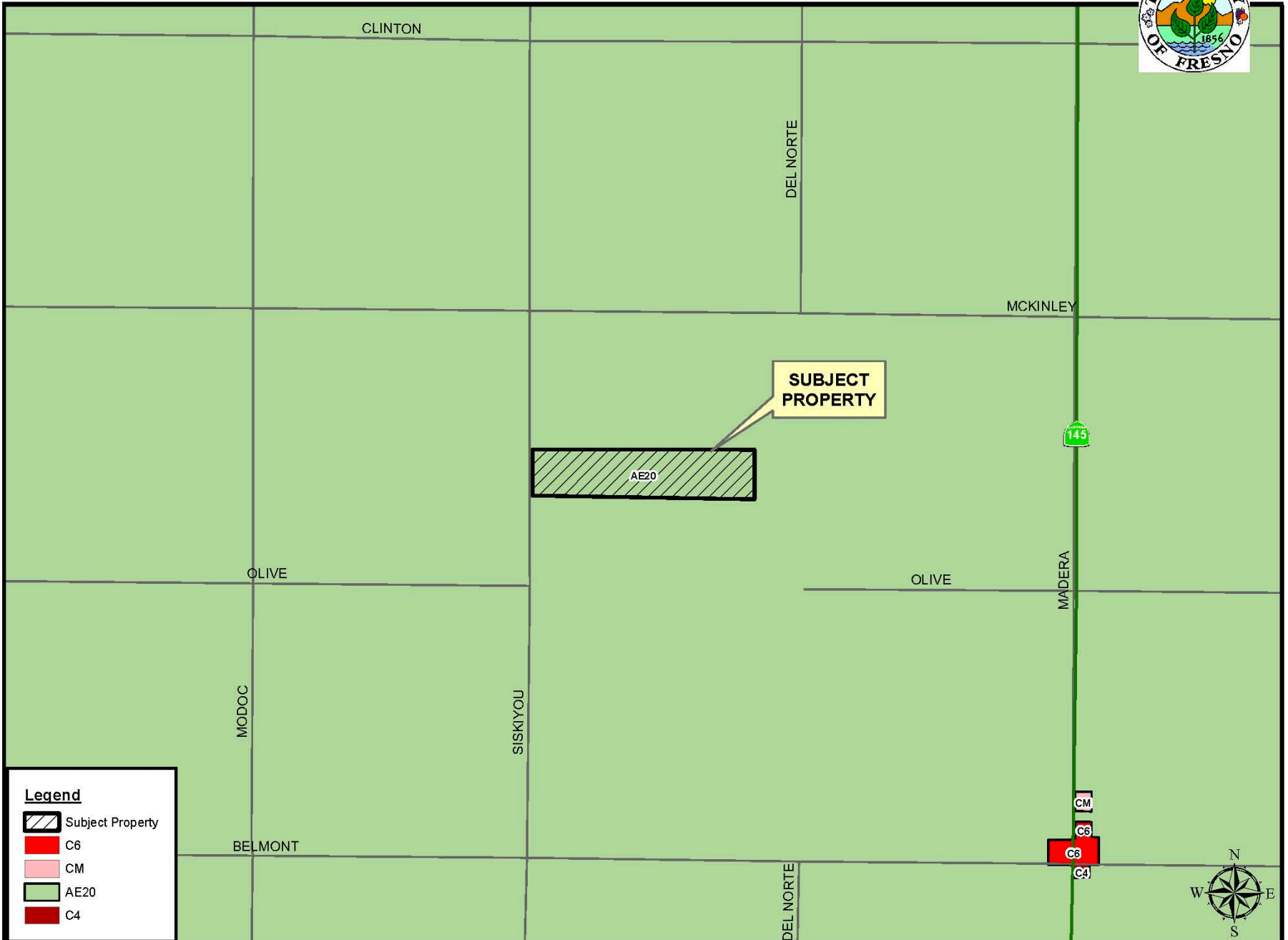


Legend






 Subject Property



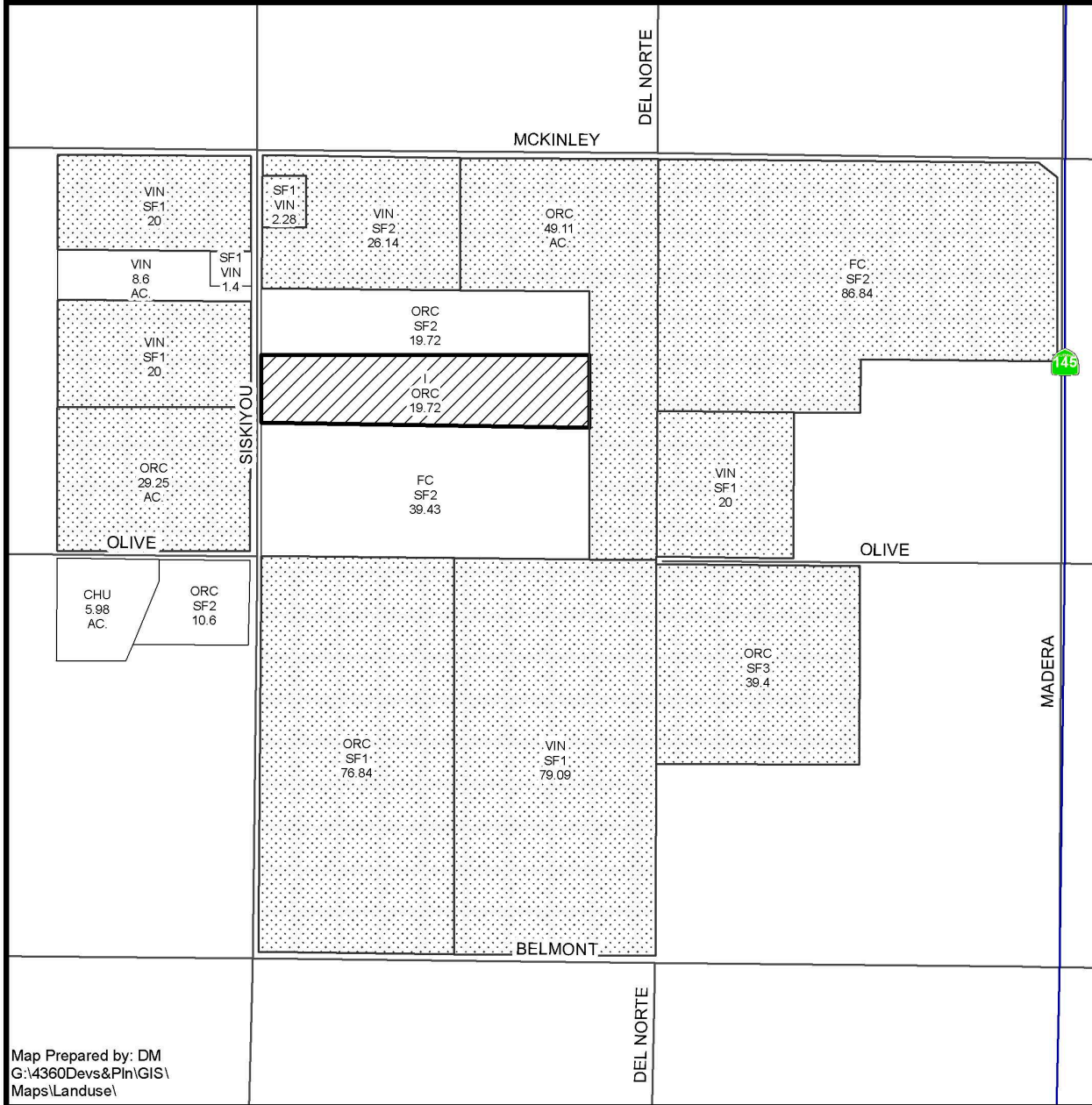
EXISTING ZONING MAP



Legend

-  Subject Property
-  C6
-  CM
-  AE20
-  C4

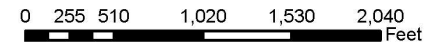
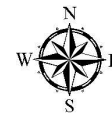
EXISTING LAND USE MAP



- LEGEND**
- CHU - CHURCH
 - FC - FIELD CROP
 - I - INDUSTRIAL
 - ORC - ORCHARD
 - SF#- SINGLE FAMILY RESIDENCE
 - VIN - VINEYARD

LEGEND:

-  Subject Property
-  Ag Contract Land

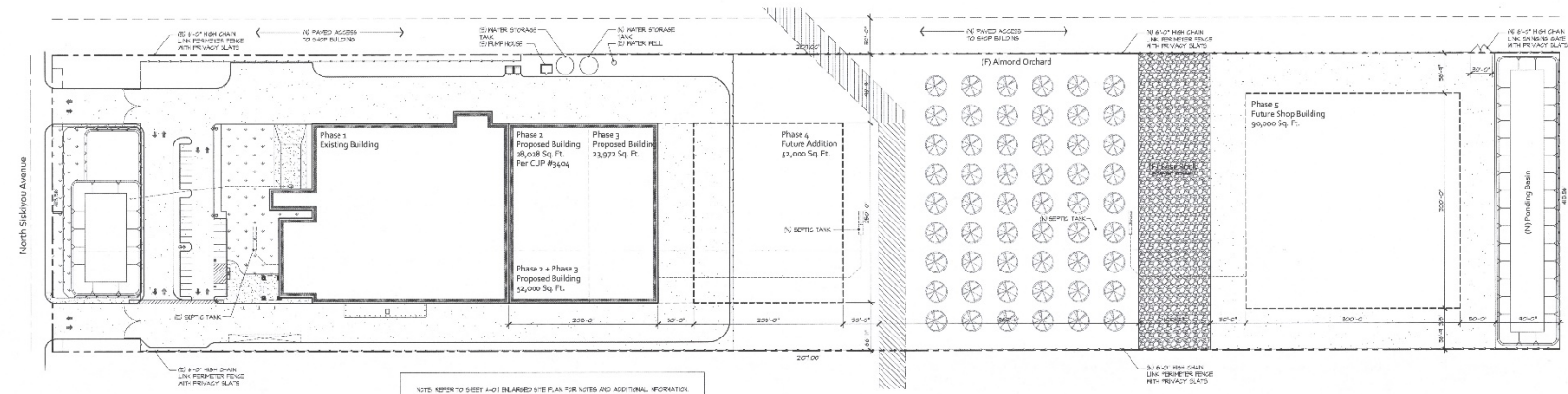


Findings	Description	Findings Met
1	Size and shape of parcel is adequate.	YES
2	Streets and highways are adequate for use.	YES
3	No adverse effect on neighborhood.	YES
4	General Plan consistency.	YES
5	Conditions necessary for public health, safety, and general welfare.	YES



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DEVELOPMENT SERVICES DIVISION





NOTE REFER TO SHEET A-01 ENLARGED SITE PLAN FOR NOTES AND ADDITIONAL INFORMATION

General Site Notes

1. SITE DRAINAGE: GENERAL INTENT IS TO MAINTAIN EXISTING DRAINAGE PAVING TO ROAD OR DRAINAGE BASIN.
2. PROPERTY LINES: THE LINES SHOWN ARE BASED ON AVAILABLE INFORMATION FROM ASSESSORS' PLAT MAP AND SURVEY RECORDS.
3. PROPERTY LINES: ADDRESS ON THE SIDE OF THE BUILDING FOR BUILDINGS GREATER THAN 50' FROM THE STREET AND MAINWAY OR ON THE SIDE OF THE BUILDING FOR BUILDINGS 50' OR LESS FROM THE STREET SHALL BE THE ADDRESS ON THE SIDE OF THE BUILDING.
4. SOME OTHER THAN PROFESSIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SIGNS, OTHER THAN PROFESSIONAL SIGNS, ARE AVAILABLE AT THE PLANNING DIVISIONS PUBLIC FRONT OFFICE.
5. ALL CONCRETE WORK ON THIS PROJECT IS SUBJECT TO INTERVIEW WITH THE ROAD DEPARTMENT BEHIND THE PROPERTY FOR PERMITS TO BE OBTAINED AND TO BE CONSIDERED AS PART OF THE CONSTRUCTION PROCESS. PERMITS TO BE OBTAINED FROM THE ROAD DEPARTMENT SHALL BE OBTAINED BEFORE CONSTRUCTION BEGINS.
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City Use Only



Project: Warehouse Addition for:
Diamond West Farming
17568 North Siskiyou Avenue
Kerman, CA 93630

Owner: Diamond West Farming
17568 North Siskiyou Avenue
Kerman, CA 93630

Public Hearing Status: Scheduled: Emergency Area Dept: Site Plan Review: Building: Plan Check:

Revisions:

Scale: 1"=40'-0"

Project Manager: Approved:

Preparer: Checked:

Sheet: A-0.0

Overall Site Plan



1415 KENNEDY BRASS AVENUE
DUBLIN, CA 94568-1171
925.441.4141 #107
925.441.1514

Project
Warehouse Addition for:
Diamond West Farming
3758 North Siskiyou Avenue
Kerman, CA 93630

Client
Diamond West Farming
3758 North Siskiyou Avenue
Kerman, CA 93630

Architect
i ARCHITECTURE
1415 Kennedy Brass Avenue
Dublin, CA 94568-1171
925.441.4141 #107
925.441.1514

Scale
1" = 40'-0"
Project North
Project South
Project East
Project West

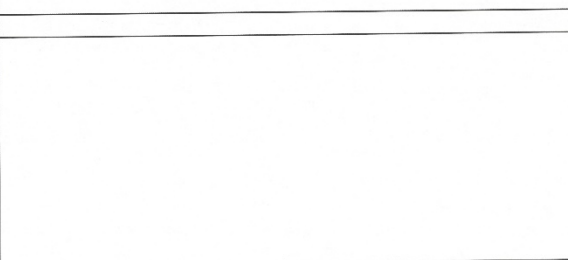
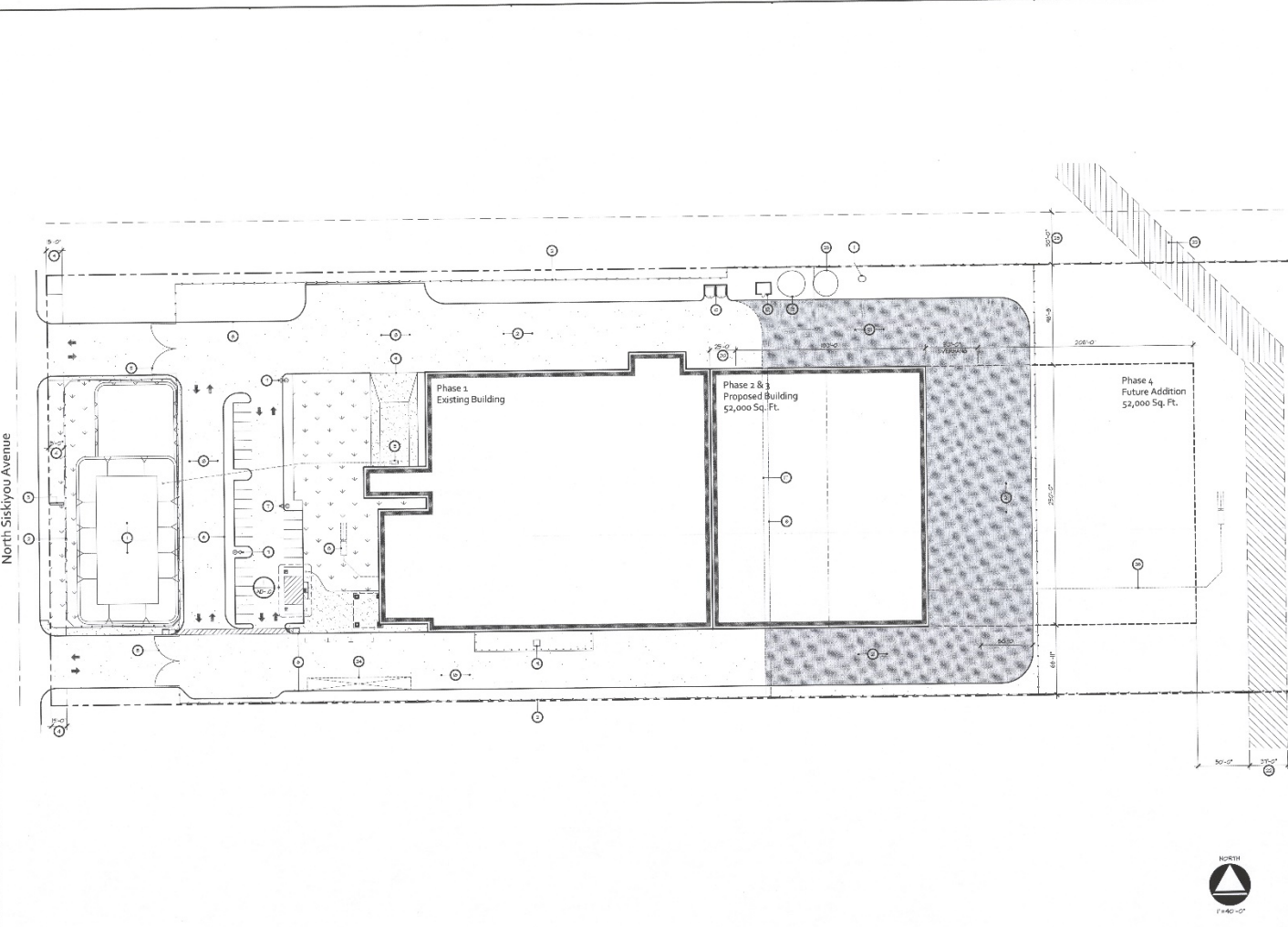
A-0.1

Keyed Site Plan Notes

- ⊙ INDICATES EXISTING PONDING BASIN.
- ⊖ INDICATES EXISTING 6'-0" HIGH CHAIN LINK FENCE.
- ⊕ INDICATES EXISTING MOULDED SKIN.
- ⊗ INDICATES EXISTING LANDSCAPING.
- ⊘ INDICATES EXISTING 2 1/2" HIGH X 29'-0" WIDE SHIMMERS PROTECT FROM GRANITE WITH PADLOCK VISIBLE 20000 SQ FT OR 2.00% OF TOTAL SITE AREA.
- ⊙ INDICATES EXISTING 4" HIGH CONCRETE CURB.
- ⊖ INDICATES EXISTING SITE LIGHTING.
- ⊗ INDICATES EXISTING 800' C SYSTEM.
- ⊘ INDICATES EXISTING TRUCK DOCK.
- ⊙ INDICATES EXISTING TRAILER ENCLOSURE.
- ⊖ INDICATES EXISTING WATER TOWER AND PUMP.
- ⊗ INDICATES EXISTING CHEMICAL HOUSE.
- ⊘ INDICATES EXISTING 10000 GALLON WATER STORAGE TANK.
- ⊙ NOT USED.
- ⊖ INDICATES EXISTING SUMP PUMP.
- ⊗ INDICATES EXISTING CHAIN LINK FENCE TO BE REMOVED.
- ⊘ INDICATES LINE OF EXISTING DRIVE TO BE REMOVED.
- ⊙ INDICATES EXISTING CONCRETE PAVING.
- ⊖ INDICATES EXISTING PAVED TRANSFER/STORAGE AREA.
- ⊗ INDICATES EXISTING ROOF OVERGROWTH FROM EXISTING BUILDINGS TO BE REMOVED.
- ⊘ INDICATES NEW CONCRETE PAVING TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- ⊙ INDICATES LOCATION OF RELOCATED IRRIGATION CASSETTE; REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- ⊖ INDICATES LOCATION OF NEW WATER STORAGE TANK.
- ⊗ INDICATES LOCATION OF EXISTING TRUCK SCALE.
- ⊘ INDICATES PROPOSED LOCATION OF PAVED DRIVE ACCESS ROAD TO FUTURE SHOP BUILDING.
- ⊙ INDICATES NEW SPRINKLER TANK AND LEACH FIELD.

General Notes

1. THE REGULATIONS OF LOCAL AUTHORITIES AND ORDINANCES SHALL BE STRICTLY ENFORCED. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KERMAN'S ZONING ORDINANCES AND THE KERN COUNTY HEALTH DEPARTMENT'S REGULATIONS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE KERN COUNTY HEALTH DEPARTMENT'S REGULATIONS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE KERN COUNTY HEALTH DEPARTMENT'S REGULATIONS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE KERN COUNTY HEALTH DEPARTMENT'S REGULATIONS.
2. SIGN COMPLETE WITH APPROVAL PLANS TO THE QUALITY OF MATERIALS AND FINISHES. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE KERN COUNTY HEALTH DEPARTMENT. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE KERN COUNTY HEALTH DEPARTMENT. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE KERN COUNTY HEALTH DEPARTMENT.
3. PROVIDE A 5'-0" BY 5'-0" SIGN SYMBOL OF ACCESSIBILITY AT ALL PRIMARY BUILDING ENTRANCES.
4. PROVIDE PORTABLE AND DETACHABLE TOILETS AS PER PERMITS. ONE FOR EACH 5000 SQ FT OR PORTABLE TOILET FOR FLOOR SPACE AND TRAVEL DISTANCE NOT TO EXCEED 100 FEET FROM LOCATION.
5. A PROFESSIONAL "ON-SITE" INSPECTION PREPARED BY THE SPECIAL INSPECTION AGENCY OR INSPECTOR IN ACCORDANCE WITH THE 2009 IBC MUST BE SUBMITTED PRIOR TO OBTAINING BUILDING PERMITS. THE SPECIAL INSPECTION AGENCY MUST BE LICENSED BY THE KERN COUNTY HEALTH DEPARTMENT. THE SPECIAL INSPECTION AGENCY MUST BE LICENSED BY THE KERN COUNTY HEALTH DEPARTMENT. THE SPECIAL INSPECTION AGENCY MUST BE LICENSED BY THE KERN COUNTY HEALTH DEPARTMENT.
6. ALL FIELD INSPECTIONS SHALL BE PERFORMED BY AN APPROVED TESTING AGENCY IN ACCORDANCE WITH THE 2009 IBC PRIOR TO OBTAINING BUILDING PERMITS. THE SPECIAL INSPECTION AGENCY MUST BE LICENSED BY THE KERN COUNTY HEALTH DEPARTMENT. THE SPECIAL INSPECTION AGENCY MUST BE LICENSED BY THE KERN COUNTY HEALTH DEPARTMENT.
7. ALL HIGH-PRESSURE BOLLERS SHALL BE INSPECTED BY AN APPROVED TESTING AGENCY IN ACCORDANCE WITH THE 2009 IBC. ALL INSPECTIONS MUST BE PERFORMED BY A PERSON QUALIFIED TO PERFORM SUCH INSPECTIONS IN ACCORDANCE WITH THE 2009 IBC PRIOR TO OBTAINING BUILDING PERMITS. THE SPECIAL INSPECTION AGENCY MUST BE LICENSED BY THE KERN COUNTY HEALTH DEPARTMENT. THE SPECIAL INSPECTION AGENCY MUST BE LICENSED BY THE KERN COUNTY HEALTH DEPARTMENT.
8. JOB COST IS REQUIRED TO BE AVAILABLE FOR SIGNATURE AT THE JOB SITE.
9. LOCATE AND EXPOSE ALL PROPERTY CORNERS AND SURVEY PROPERTY LINES PRIOR TO FOUNDATION EXCAVATION.
10. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2009 IBC. ALL CHANGES SHALL BE APPROVED BY THE KERN COUNTY HEALTH DEPARTMENT. ALL CHANGES SHALL BE APPROVED BY THE KERN COUNTY HEALTH DEPARTMENT.



Vicinity Map

PROJECT LOCATION

Overall Site Data

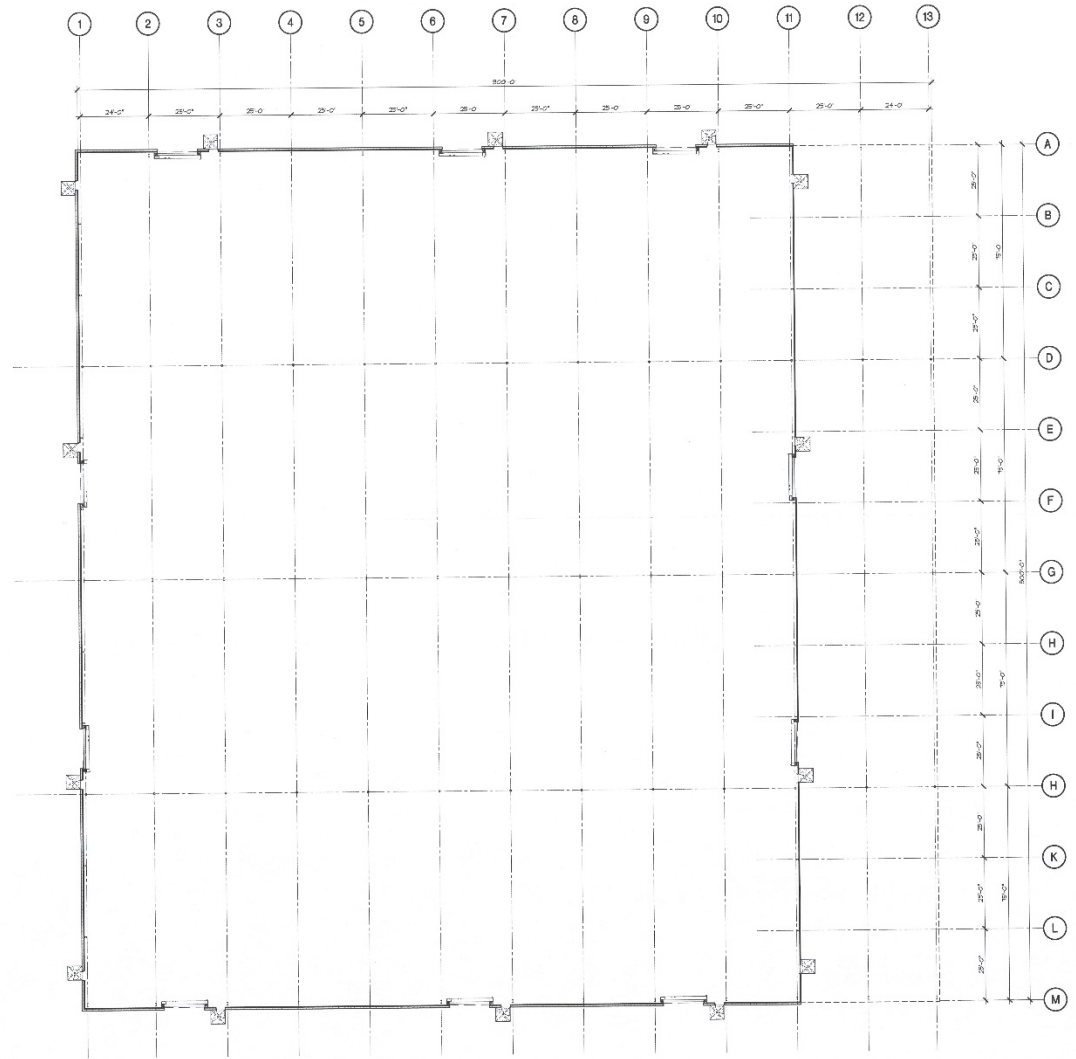
PROJECT DATA:	158 N. SISKIYOU AVE Kerman, CA 93630	TOTAL PARKING ON SITE:	22 STANDARD STALLS 2 ACCESSIBLE STALLS
APN NO.:	010-01-210	TOTAL EXISTING STALLS PROVIDED:	55 STALLS
TOWNSHIP:	4550		
CONTRIBUTION TYPE:	V-S (SPRINKLERED)		
DECKING TYPE:	S-1		
PARCEL DESCRIPTION:	147.2 ACRES - (666,000 SQ FT)		
SITE DATA:			
BUILDING AREA:	102,000 SF		
AREA OF COVERAGES:	12,000 SF		
TOTAL:	114,000 SF		

City Use Only

1. Variants
2. []
3. []
4. []
5. []
6. []
7. []
8. []
9. []
10. []

Enlarged Site Plan

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Keyed Floor Plan Notes

Wall Legend

- INDICATED NEW INTERIOR SYSTEM
- INDICATED NEW EXTERIOR SPL. TRAC OR SLIDEW.
- INDICATED NEW METAL BUILDING SYSTEM AND METAL SIDING - NOTES TO METAL BUILDING PLANS FOR AND TYPICAL INFORMATION.

General Notes

1. GENERAL CONTRACTOR SHALL INTERFERE WITH PLUMBING, MECHANICAL, AND ELECTRICAL PLANS TO CORRECT ANY DISCREPANCIES OF ALL FIXTURES/FURNISHINGS SHOWN ON PLANS.
2. GENERAL CONTRACTOR IS RESPONSIBLE TO CORRECTIVE ALL DISCREPANCIES AND DISCREPANCIES AS REQUIRED BY EQUIPMENT FURNISHINGS & FIXTURES SAMPLES.
3. THIS PROJECT DOES NOT INCLUDE ANY HIGH PILE STORAGE (PILE UP) OR RACK STORAGE OVER 8 FEET HIGH. ANY SUCH PROPOSED STORAGE WILL REQUIRE PLANS SUBMITTED FOR REVIEW AND APPROVAL AND ISSUANCE OF PERMITS.

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1461 North Van Ness Avenue
 Fresno, California 93701
 559.487.5825 (office)
 559.487.9888 (fax)

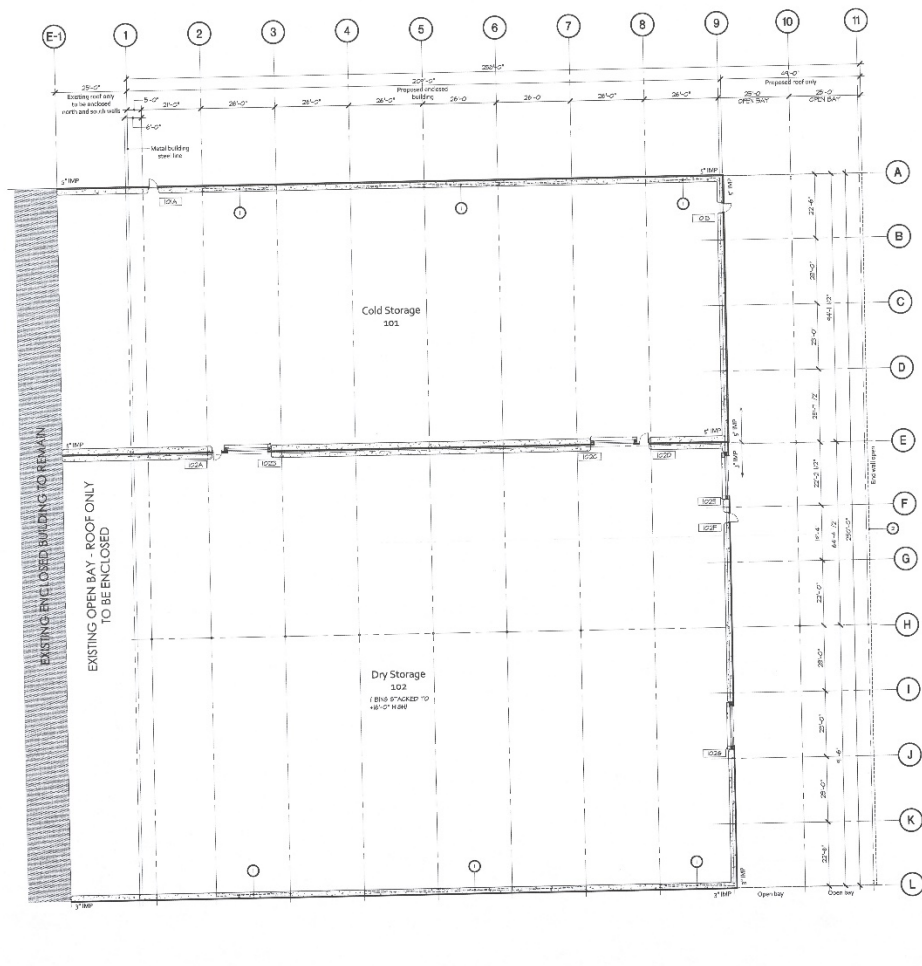
Project:
**New Ag Storage Building for:
 Diamond West Farming
 1758 North Siskiyou Avenue
 Kerman, CA 93630**

Owner:
**Diamond West Farming
 1758 North Siskiyou Avenue
 Kerman, CA 93630**

Planning Scales	
Schematic	
Design Development	
Site Plan Review	
Permitting	
Final Check	
Revisions	<ul style="list-style-type: none"> ▲ ▲ ▲ ▲ ▲
Scale	1/8" = 1'-0"
Project Manager:	AN ROBERTSON
Project Number:	21-080
Sheet:	A-1.0

Proposed Floor Plan

A-1.0



Keyed Floor Plan Notes

- ① NO GATES STRUCTURAL STRAPING REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- ② INDICATES OUTLINE OF OVERLAP ABOVE.

General Notes

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS AND SCHEDULING TO BE REQUIRED BY EQUIPMENT, BUILDINGS, & FUTURE SUPPLIES.
2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS MECHANICAL AND ELECTRICAL PLUMBING TO OBTAIN AN UNQUALIFIED INDEPENDENT OF ALL TYPES OF FINISHES SHOWING 1/4" TOLERANCE.
3. PLUMBING IS NOT TO BE SCHEDULED - INDICATED DIMENSIONS SHALL GOVERN.
4. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY ANOMALIES OR UNUSUAL CONDITIONS ARE DISCOVERED.
5. METAL ALL EQUIPMENT PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.

General Door Notes

1. DOOR HANDLES SHALL HAVE DIMENSIONS AND OTHER OPERATING DETAILS SHALL BE INSTALLED AS SHOWN AND AS NOTED MAX. ABOVE FINISH FLOOR AND SHALL NOT REQUIRE TRIP AND FALL. TRIP SHALL BE ON INSIDE OF THE DOOR TO OPERATE.
2. ALL DOORS SHALL HAVE A SMOOTH AND UNINTERFERED BOTTOM OF ALL DOORS TO BE OPENED BY A RELEASE HANDLE TO OPEN. HANDLE OPERATING A TRIP OR JACKKNIFE OPERATION, METAL LATCHES SHALL BE INSTALLED. THE 0" HIGH SMOOTH PAINT SHALL BE INSTALLED ON THE INSIDE OF THE DOOR.
3. HANGERS NEARBY TO OPERATE DOORS SHALL BE AS FOLLOWS:
A. HANGERS NEARBY TO OPERATE DOORS SHALL BE AS FOLLOWS
B. HANGERS NEARBY TO OPERATE DOORS SHALL BE AS FOLLOWS
C. THE DOORS SHALL BE AS FOLLOWS
D. HANGERS NEARBY TO OPERATE DOORS SHALL BE AS FOLLOWS
4. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS MECHANICAL AND ELECTRICAL PLUMBING TO OBTAIN AN UNQUALIFIED INDEPENDENT OF ALL TYPES OF FINISHES SHOWING 1/4" TOLERANCE.
5. EXCEPTION IS WHERE A DIVISION B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.



City Use Only

Door Hardware		Door Elevations		Door Schedule		Notes	
GROUP	DESCRIPTION	TYPE	TYPE HOLLOW METAL	DOOR	FRAME	FINISH	REMARKS
1	1/2" BUSH 1/2" W/ 1/4" LEVER 1/2" HINGE 1/2" HINGE 1/2" HINGE	2	1	1/2" x 4 1/2" 1/2" x 4 1/2" 1/2" x 4 1/2"	1/2" x 4 1/2" 1/2" x 4 1/2" 1/2" x 4 1/2"	1/2" x 4 1/2" 1/2" x 4 1/2" 1/2" x 4 1/2"	

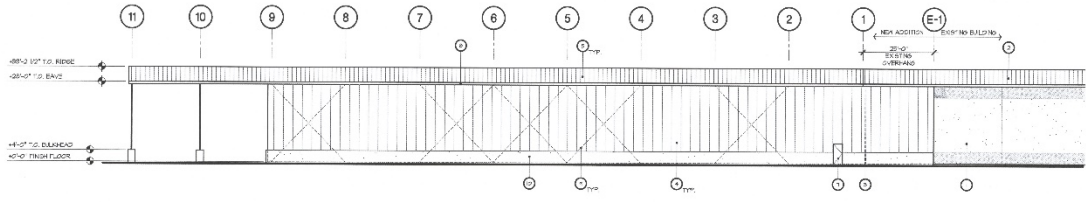
Abbreviations
 H.M. HOLLOW METAL
 P. PAINT
 S.I. STEEL
 F. FACTORY FINISH

PROJECT
 Warehouse Addition for:
 Diamond West Farming
 4758 North Siskiyou Avenue
 Kerman, CA 93630

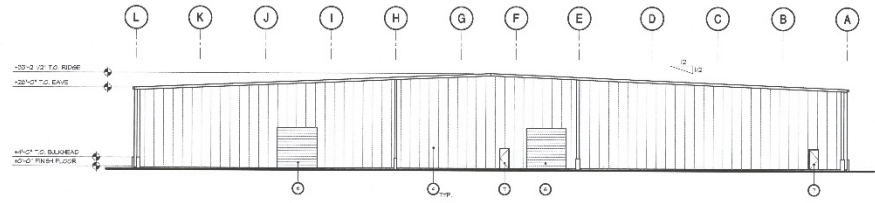
Client
 Diamond West Farming
 4758 North Siskiyou Avenue
 Kerman, CA 93630

1/2" x 1/2" Scale
 Schedule
 Design Development
 Site Plan Review
 Permit
 Final

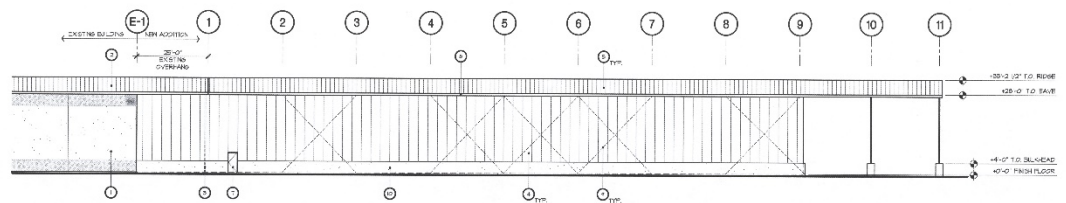
ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION OF THIS PROJECT OR FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING NEIGHBORS, ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREON.



North Elevation



West Elevation



South Elevation

Keyed Exterior Elevation Notes

- INDICATES EXISTING PRE-CAST CONCRETE TILT-UP PANELS
- INDICATES EXISTING INSULATED STANDING SEAM ROOF PANELS
- INDICATES EXISTING STEEL COLUMNS AT EXISTING OVERHANGS
- INDICATES NEW RELATED WALL PANEL, REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION
- INDICATES NEW STANDING SEAM ROOF PANELS, REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION
- INDICATES NEW 4'-0" X 14'-0" WALL JOINT
- INDICATES NEW 8'-0" WALL JOINT, REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION
- INDICATES NEW 6'-0" WALL JOINT, REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION
- INDICATES NEW 4'-0" X 14'-0" WALL JOINT
- INDICATES NEW 4'-0" X 14'-0" WALL JOINT

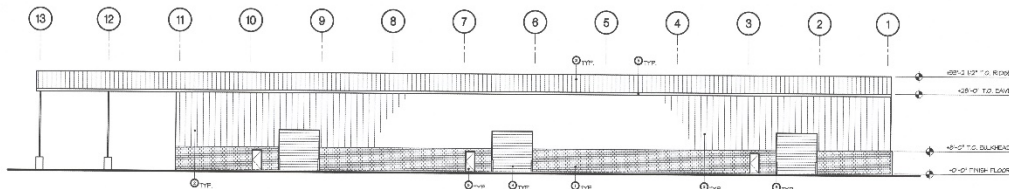


1415 RIVERVIEW BLVD
 SUITE 100
 SACRAMENTO, CA 95811

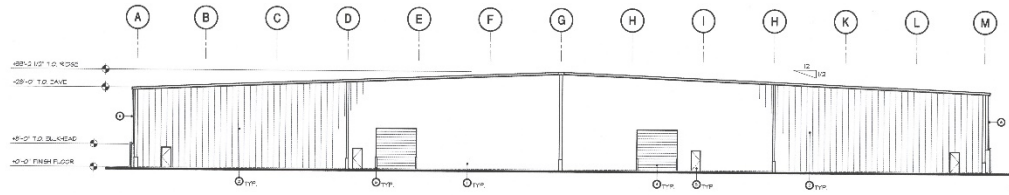
Project
 Warehouse Addition for
 Diamond West Farming
 3758 North Siskiyou Avenue
 Kerman, CA 93630

Client
 Diamond West Farming
 3758 North Siskiyou Avenue
 Kerman, CA 93630

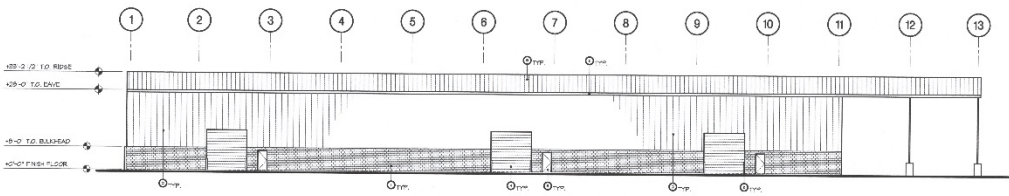
Architect Status	
Schematic	
Design Development	
Site Plan Review	
Bidding	
Post-Occupancy	
Resolution	
Scale	1/4" = 1'-0"
Project Number	24-00000000
Project Name	24-0000
Sheet	



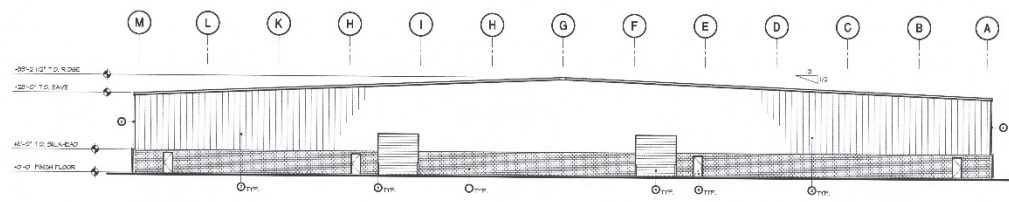
North Elevation



East Elevation



South Elevation



West Elevation

Keyed Exterior Elevation Notes

- ① INDICATES NON-EMERGENCY EXIT DOOR. REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- ② INDICATES NON-INSULATED WALL PANEL. REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- ③ INDICATES NON-SPANNING ROOF PANELS. REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- ④ INDICATES NON-H-20 x 40-0\"/>



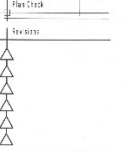
1445 BERTHOUD AVENUE
 SUITE 100, COLTON, CA 95310
 (531) 432-4343 FAX (531) 432-1814

Project
**New Ag Storage Building for:
 Diamond West Farming
 17458 North Siskiyou Avenue
 Kerman, CA 93630**

Client
**Diamond West Farming
 17458 North Siskiyou Avenue
 Kerman, CA 93630**

Publishing Status	
Schematic	
Energy Model Input	
Site Plan Review	
Modeling	
Plan Check	
Site Work	

City Use Only



Scale: 1/8" = 1'-0"
 Project Name: New Ag Storage Building
 Date: 08/20/2014
 Project Number: 14-0000
 Sheet: 1-000

Exterior Elevations