



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: October 6, 2022

TO: Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez/James Anders
Development Services and Capital Projects, Site Plan Review, Attn: Gabriel Samano
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Dan Mather
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: Wendy Nakagawa/Nadia Lopez
Design Division, Transportation Planning, Attn: Augustine Ramirez/Hector Luna
Water and Natural Resources Division, Attn: Augustine Ramirez/Roy Jimenez
Department of Public Health, Environmental Health Division, Attn: Deep Sidhu/ Kevin Tsuda
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Matthew Nelson
CA Regional Water Quality Control Board, Attn: centralvalleyfresno@waterboards.ca.gov
CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
Alta Irrigation District; Attn: Chad Wegley
Kings River East GSA; Attn: cw@altaid.org
State Water Resources Control Board, Division of Drinking Water, Fresno District, Attn: Jose Robledo/Cinthia Reyes
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman, Director/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor
Fresno County Fire Protection District, Attn: fku.prevention-planning@fire.ca.gov

FROM: Ejaz Ahmad, Planner 
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 8313, Classified Conditional Use Permit Application No. 3752

APPLICANT: Jesus Vargas

DUE DATE: October 20, 2022

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow an Agricultural Commercial Center consisting of a convenience and a gas station with related improvements on an approximately 2.34 acres portion of a 49.08 acres parcel zoned AE-20 (Exclusive Agriculture; 20-acre minimum parcel size). The subject parcel is located on the northwest corner of S. Alta Avenue and E. Manning Avenue approximately 1.25 miles east of the City of Reedley (21868 E. Manning Ave., Reedley)

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **October 20, 2022**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email eahmad@fresnocountyca.gov

EA

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Activity Code (Internal Review):2432

Enclosures



Fresno County Department of Public Works and Planning

Date Received:

CUP3752

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

Allow an agricultural comm. ctr. in the AE-20 Zone District

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: North side of Manning Ave
between S Alta Ave and S Englehart Ave
Street address: 21868 E Manning Ave, Reedley CA 93654

APN: 373-350-18 Parcel size: 49.08 acres Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

I, Cecilio Arredondo (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Cecilio Arredondo 24348 Sumner Ave Reedley CA 93654
Owner (Print or Type) Address City Zip Phone

Eric Arredondo 445 S MAPLE DR REEDLEY, CA 93654 (559) 859-1931
Applicant (Print or Type) Address City Zip Phone

Eric Arredondo 9359 S. Pederson Ave Reedley CA 93654 559-318-6385
Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: CUP 3752 Fee: \$ 4,569.00
Application Type / No.: Pre-app. credit Fee: \$ -247.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: IS 8313 Fee: \$ 3,901.00
Ag Department Review: Fee: \$ 93.00
Health Department Review: Fee: \$ 992.00
Received By: EJAZ Invoice No.: TOTAL: \$ 9,308.00

UTILITIES AVAILABLE:

WATER: Yes [] / No []
Agency:
SEWER: Yes [] / No []
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: - T S/R E

Related Application(s): None

APN # - - -

Zone District: AE-20

APN # - - -

Parcel Size: 49.08 acres.

APN # - - -

APN # - - -



Development Services
and
Capital Projects
Division

Mail to:
Jesus Vargas
445 S. Maple Dr
Reedley, Ca 93654

Pre-Application Review

Department of Public Works and Planning

NUMBER: 21-097334
APPLICANT: Jesus Vargas
PHONE: (559) 859-1931

PROPERTY LOCATION: 21868 E Manning Ave
APN(s): 373-350-18 ALCC: No Yes #AP 3947 VIOLATION NO. N/A
CNEL: No Yes (level): LOW WATER: No Yes WITHIN 1/4 MILE OF CITY: No Yes
ZONE DISTRICT: AE-20; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)

Merger: May be subject to merger: No Yes ZM# Initiated In process

Map Act: () Lot of Rec. Map; On '72 rolls; () Other ; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes DISTRICT: Kings Canyon Unified PERMIT JACKET: No Yes

FMFCD FEE AREA: Outside () District No.: FLOOD PRONE: No Yes

PROPOSAL C.U.P. to allow an Ag Commercial Center consisting of a convenience store and gas station within the AE-20 zone district.

COMMENTS:

ORD. SECTION(S): 816.3-V; 867.1-DD BY: R. Sanchez DATE: 07/16/2021

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: AGRICULTURE () GPA: () MINOR VA:
COMMUNITY PLAN: () JAA: () HD: \$ 997.00
REGIONAL PLAN: () CUP: \$ 4,569.00 () JAG COMM: \$ 93.00
SPECIFIC PLAN: () JRA: () ALCC:
SPECIAL POLICIES: () JVA: () IS/PER*: \$ 3,901.00
SPHERE OF INFLUENCE: () JAT: () Viol. (35%):
ANNEX REFERRAL (LU-G17/MOU): () JTT: () Other:

PROCEDURES AND FEES:

Filing Fee: \$ 9,555.00

Pre-Application Fee: - \$247.00

Total County Filing Fee: \$ 9,308.00

COMMENTS:

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- Statement of Variance Findings
- Statement of Intended Use (ALCC)
- Dependency Relationship Statement
- Resolution/Letter of Release from City of

OTHER FILING FEES:

- Archaeological Inventory Fee: \$75 at time of filing
(Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,480.25)
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

BY: Jesus Vargas Referral Letter # EJAZ AHMAD DATE: 09/29/21
PHONE NUMBER: (559) 688-4204

PLU# 113 Fee: \$247.00

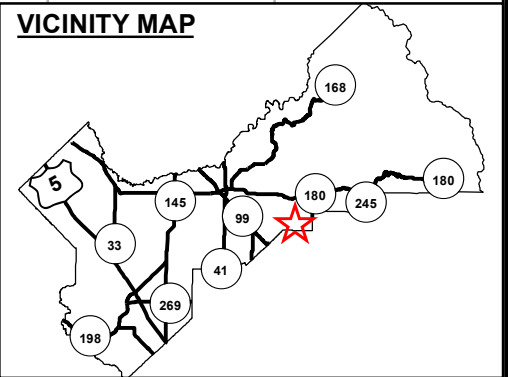
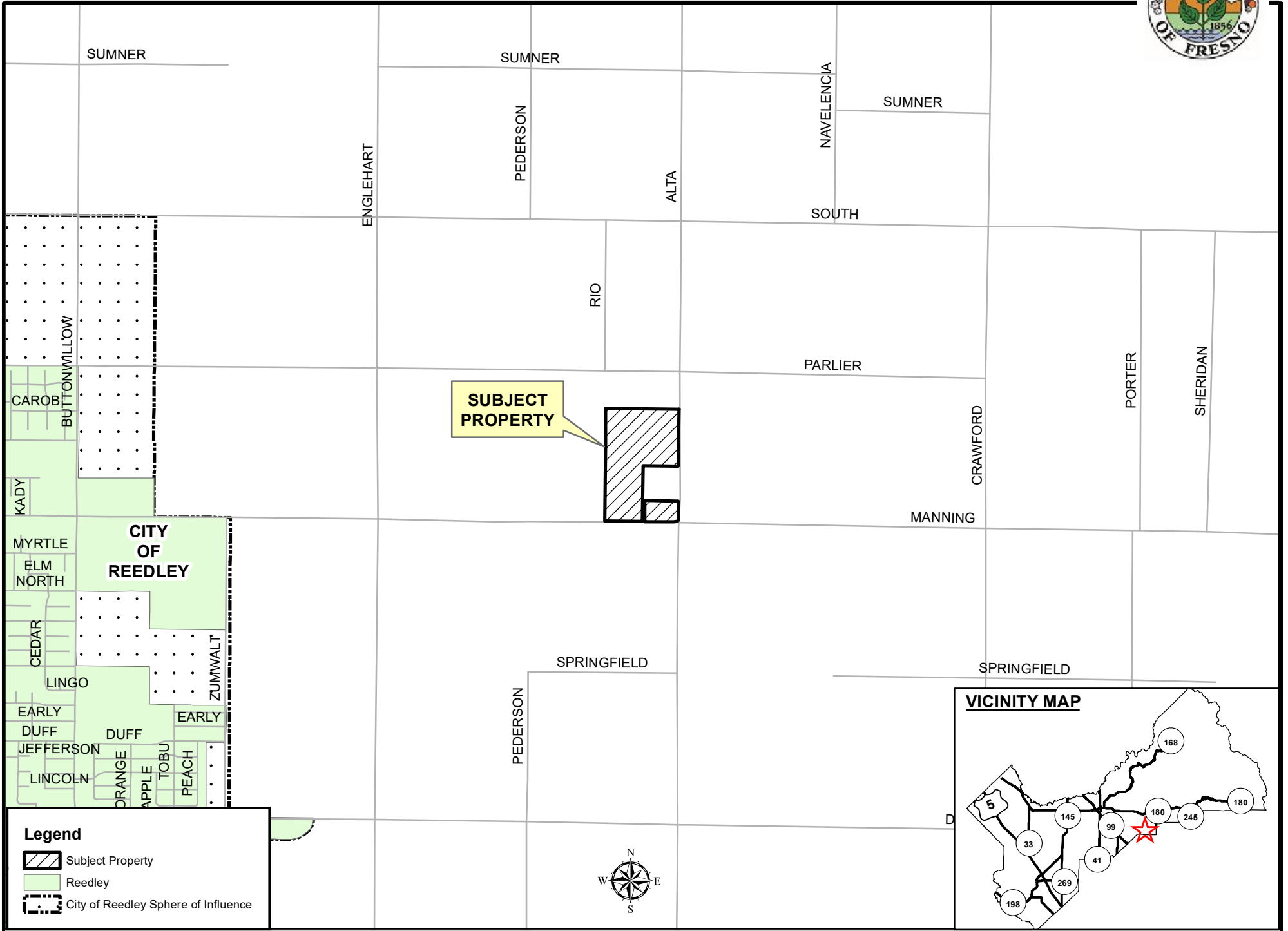
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

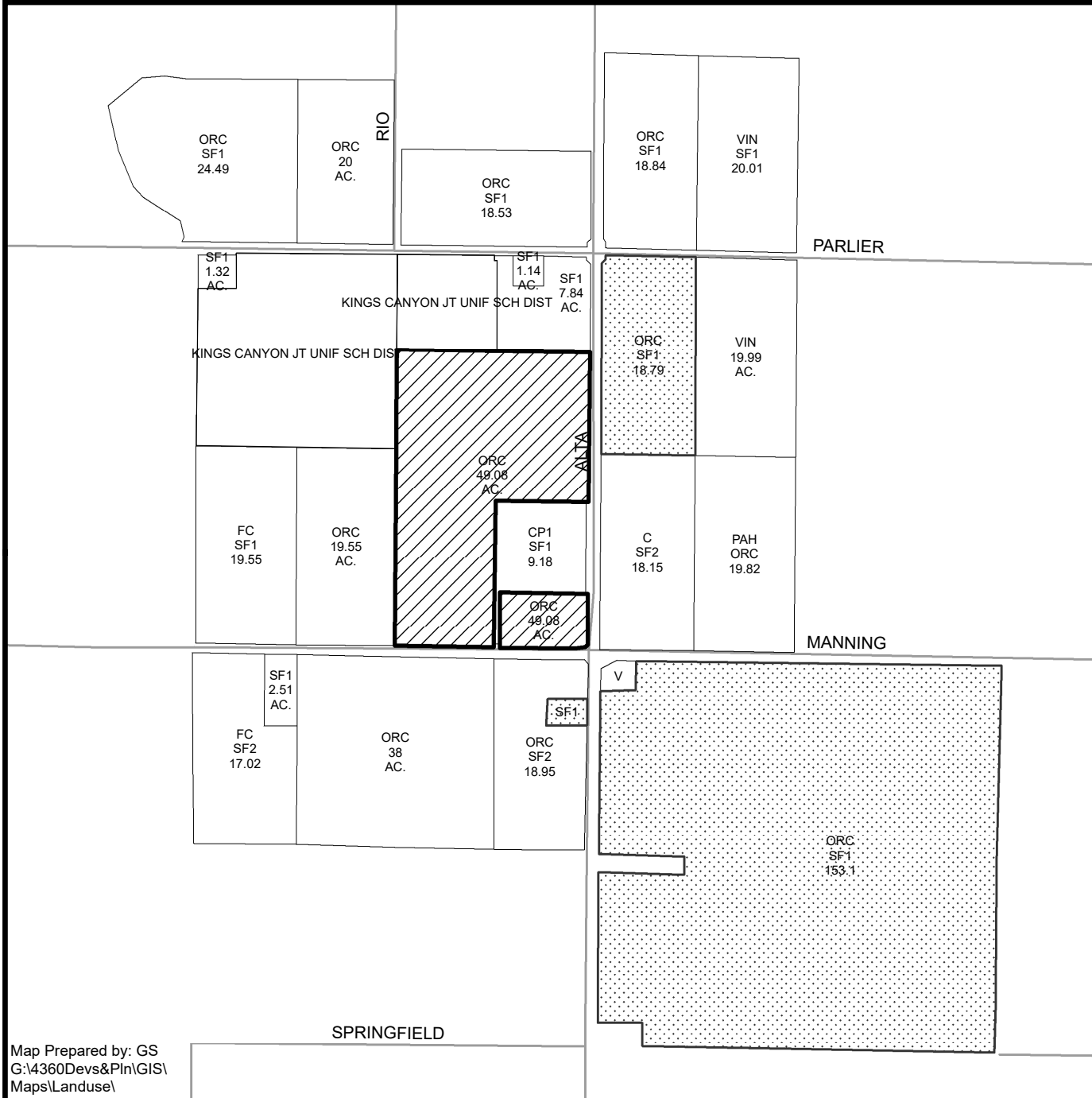
- COVENANT
- MAP CERTIFICATE
- PARCEL MAP
- FINAL MAP
- FMFCD FEES
- ALUC or ALCC
- SITE PLAN REVIEW
- BUILDING PLANS
- BUILDING PERMITS
- WASTE FACILITIES PERMIT
- SCHOOL FEES
- OTHER (see reverse side)

OVER.....

LOCATION MAP





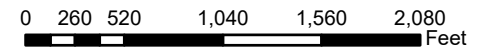
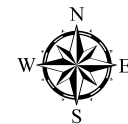
EXISTING LAND USE MAP



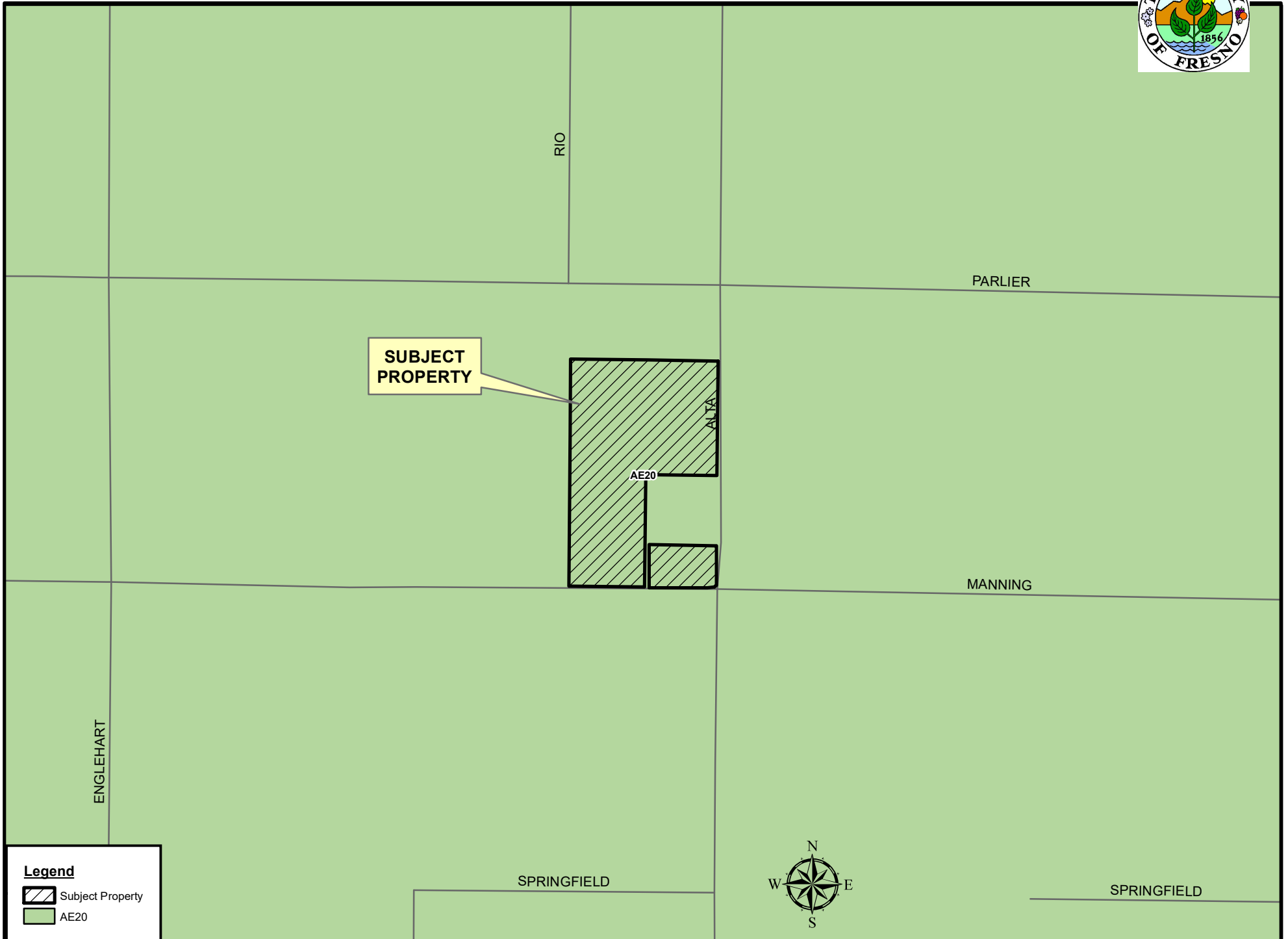
LEGEND
C - COMMERCIAL
CP# - OFFICE COMM./PROF
FC - FIELD CROP
ORC - ORCHARD
PAH - PACKING HOUSE
SF#- SINGLE FAMILY RESIDENCE
V - VACANT
VIN - VINEYARD

LEGEND:



-  Subject Property
-  Ag Contract Land



EXISTING ZONING MAP



Legend

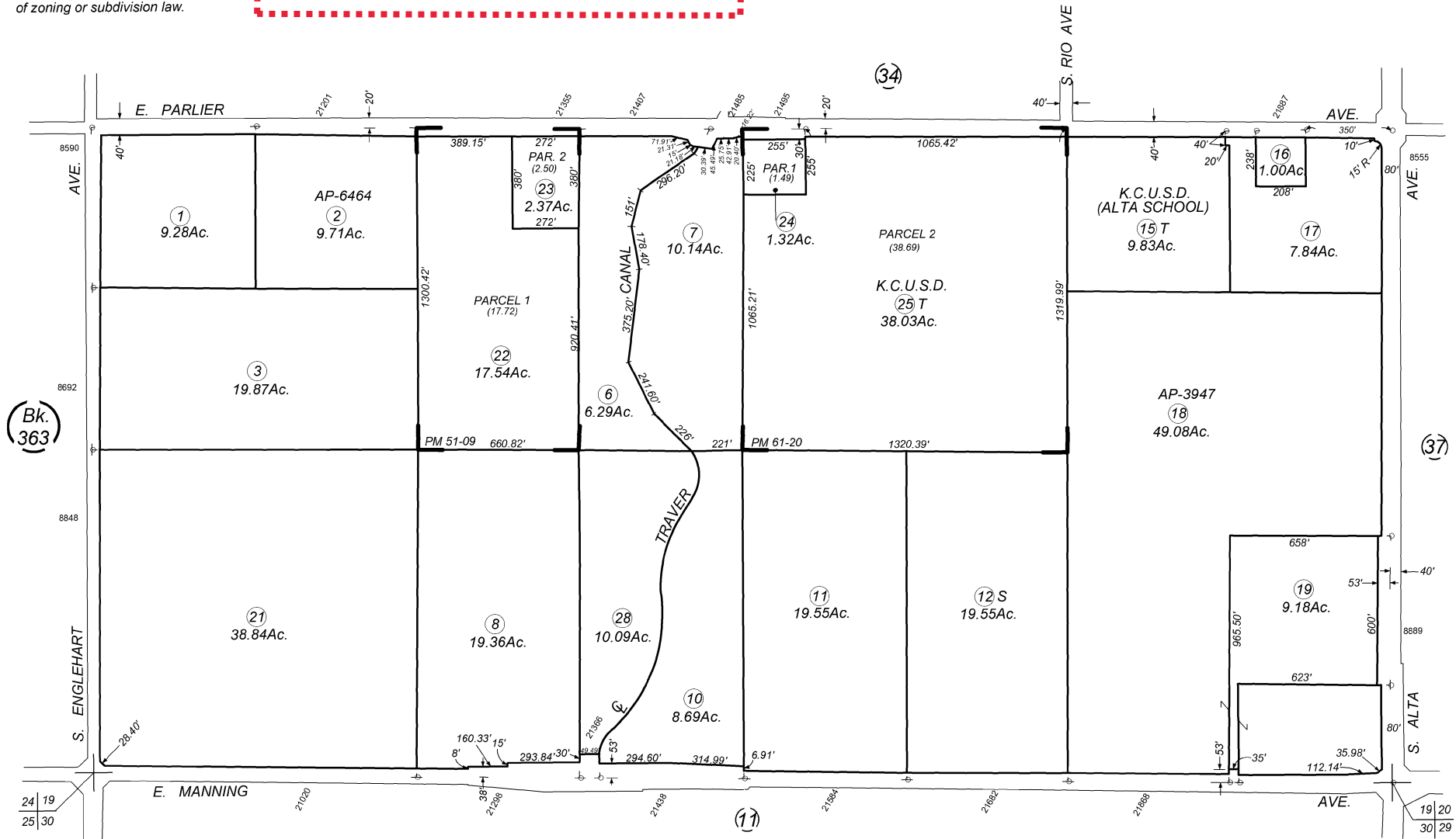
-  Subject Property
-  AE20

-NOTE-
 This map is for Assessment purposes only.
 It is not to be construed as portraying legal
 ownership or divisions of land for purposes
 of zoning or subdivision law.

SUBDIVIDED IN POR. SEC. 19, T.15S., R.24E., M.D.B. & M.

Tax Rate Area
 169-001

373-35



Agricultural Preserve
 Parcel Map No 7330 - Bk.51, Pg.9
 Parcel Map No 7810 - Bk.61, Pg.20

Assessor's Map Bk.373 - Pg.35
 County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses
 Assessor's Parcel Numbers Shown in Circles

OPERATIONAL STATEMENT
FOR
CAT FOOD & GAS MART CONDITIONAL USE PERMIT
AT
CORNER OF MANNING & ALTA AVEUNES REEDLEY CALIFNORIA 93654
SEPTEMBER 5, 2022

I. PROJECT DESCRIPTION:

Allow an agricultural commercial center consisting of a Food mart, fuel sales, sandwiches, and hot food to go or to be consumed outside at a few tables located at portal area.

Onsite structures and facilities constructed or installed in conjunction with the use area as follows and are shown on the Site plan:

1. 3,486 SQ. FT. stucco store building
2. 664 SQ. FT. stucco front portal
3. 2,517 SQ. FT. 4 gasoline pumps
4. 1,530 SQ. FT. 2 diesel pumps
5. 3 Underground gasoline tanks totaling 20,000 gallons of gasoline with approved containment facilities
6. 1 underground diesel tank totaling 5,000 gallons of diesel for cars & trucks with approved containment facilities
7. 1 underground diesel tank totaling 10,000 gallons of diesel for trucks with approved containment facilities
8. Existing
9. 37 asphalt parking spaces with paved circulation lanes
10. 2 asphalt parking spaces for semi-trucks

6
CUP 3752
IS 8313

The proposed Food & Gas Mart will be located on a 658' by 325', 2.34 acres, site that is part of a 49.08 gross acre parcel (APN 373-350-018) at the northwest corner of the intersection of Manning & Alta Avenues.

The remaining of the parcel is planted by mandarins. An existing shop is to remain.

The mandarin field is to continue production and is to remain unaltered besides cleaning/ clearing of the area proposed for the Food & Gas Mart.

II. NATURE OF OPERATION:

The proposed operation is located at the intersection of Manning & Alta avenues in the general vicinity of Orange Cove, Reedley, and Dinuba. This facility will provide much needed services to surrounding agricultural areas in this large area including farm, homes, agricultural employees, and suppliers of agricultural products to the vicinity.

III. OPERATIONAL PERAMETERES:

1. Open year round, 7 days a week, 2 shifts per day, from 5 AM (05:00) to 12 AM (00:00).
2. Number of customers per day is predicted to be 300 a day on average. 400 is to be the predicted maximum on busy holidays and can drop at any time, mostly during the early morning and afternoon.
3. Number of employees is predicted to be 3 persons per shift with a predicted of 6 persons in total per day.
4. Service and delivery is predicted to be 2 small trucks daily.
5. Site access is to be 2 per Alta Avenue and 1 per Manning Avenue, both from public roads.
6. Number of parking spaces is to be 37 for cars and 2 for semi-trucks.

7. Goods sold on site include Fuel, Food, groceries, soda, beer, and other bottled products, check cashing, ATM.
8. Equipment used include walk in refrigerator and Freezer, Range, Grill, Fryers, deli cases, soda machines, cash registers and other office equipment.
9. Supplies include various packed food & dairy products, fruits & vegetables, beer, soda, & other cold drinks, deli supplies, and preparatory foods for onsite preparation.
10. Unsightly appearance of use to be none other than a few tables located at portal for food consumption.
11. Security precautions include outside security lighting at locations to prevent dark areas on premises, 24-hour video camera for recording site activity, store windows for visibility, and strategically placed cash registers for continuous outside visibility.

IV. SITE LOCATION AND ACCESS:

The subject parcel has approximately 658 feet of frontage along Manning Avenue and 325 feet of frontage along Alta Avenue.

Manning avenue is a two-lane county road and Alta is also a two-lane county road.

Access to the proposed development will be 2 driveways located on Alta Avenue and 1 driveway located on Manning Avenue per Site Plan.

Encroachment permits for the driveways and any other required work within the right of ways will be obtained from Fresno County.

Visibility is excellent to and from the property and the traffic at the intersection of Manning Avenue and Alta Avenue. Traffic is controlled by traffic signals that employ controlled left turns on Manning Avenue onto Alta Avenue & Alta Avenue onto Manning Avenue.

V. SURROUNDING EXISTING LAND USES:

The area surrounding the site in all directions is agricultural with mandarin trees, orchards, and other agricultural uses. Many of the parcels have farm homes and others used by agricultural workers that are employed by the farmers both years around and seasonal.

A gas/ mini mart at the Northeast corner of Manning & Alta Avenues (right across the street eastward) is present.

A shop at the Southwest corner of Manning & Alta Avenues is present.

A gas/ mini mart at the Southwest corner of Dinuba & Alta Avenues is present at approximately 1 Mile Southward.

VI. EXISTING DEVELOPMENT:

North: Agricultural mandarins with occasional farm homes. A closed down drive through theater is also present but inactive. Offices for the CAT Agriculture also present.

West: Agricultural vegetables and farm homes.

South: Peach and mandarins with existing shop and farm homes.

East: Existing gas/ mini mart

VII. WATER SERVICE:

The site has an existing water well. Either this well or a new one depending on whether current water requirements can be met will provide water service for the project. The applicant will be required to obtain a public water supply permit from the state department of public health regardless of which well is used. Peak

domestic flow requirements are estimated at 2400 gallons per day or approximately 2 gallons per minute. VIII. SEWER SERVICE:

Sewer service for the project will be provided with a 3,500-gallon standard septic leach field system with a 1500 grease interceptor as required by the health department to collect grease from cooking facilities installed for preparation fast food service included as part of the project.

The site of the proposed septic-leach field system together with a 100 percent replacement area required by current regulations is shown on the site plan.

VX. STORM DRAINAGE:

The site will be developed with its own storm drainage system. The site access roads will be graded.

X. FIRE STATION AND EMERGENCY MEDICAL SUPPORT:

Fresno County Fire Protection District presently provides fire protection and emergency support to the area inclusive of the subject property. The station can provide service to this site. Water storage facilities required to provide adequate fire protection will be provided if deemed necessary.

XI. SITE DEVELOPMENT THEME:

All facilities within the development will be constructed consistent with a Mediterranean theme with dark trim details. A free-standing sign not exceeding 20 feet in height will be provided at the intersection in accordance with the Fresno County sign ordinance. Signage on the project will use a common theme consistent with the project architecture.

XIII. BUILDING SETBACKS:

All structures on the site will conform to the maximum height of 35 feet allowed in the zone district.

Building setbacks shall all comply with dimensions shown on the Site Plan, all of which meet or exceed the required setbacks of the zoning districts.

XIII. SITE LANDSCAPING:

Landscaping shall be placed at locations shown on the Site Plan. Planting materials will be consistent with the Mediterranean architectural theme and will be coordinated with County staff as part of the Site Plan review.

XIV. SITE LIGHTING:

Site lighting will be provided at locations shown on the Site Plan to provide for adequate night visibility and customer/ employ safety. The lighting shall be placed so that there are no dark spots on the site where visibility is obscured.

The lighting shall be placed at heights and locations that are not obstructive to adjacent properties and shall be hooded to shine away from adjacent properties.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. _____

Project No(s). _____

Application Rec'd.: _____

GENERAL INFORMATION

- Property Owner: Cecilio Arredondo Phone/Fax: 559 638 7380 / 643 8636
Mailing Address: P.O. Box 3 Reedley CA 93654
Street City State/Zip
- Applicant: Jenny Vargas Phone/Fax: 559-859-1931
Mailing Address: 445 S. MAPLE DR REEDLEY, CA-93654
Street City State/Zip
- Representative: Eric Arredondo Phone/Fax: 559 318 6385
Mailing Address: P.O. Box 3 Reedley CA 93654
Street City State/Zip
- Proposed Project: Gas station with store
- Project Location: 21868 E Manning Ave Reedley CA 93654
- Project Address: 21868 E Manning Ave
- Section/Township/Range: / / 8. Parcel Size: 49.08 acres
- Assessor's Parcel No. 373-350-18 OVER.....

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

- | | | |
|--|-------------------------------------|---|
| <input type="checkbox"/> LAFCo (annexation or extension of services) | <input checked="" type="checkbox"/> | SJVUAPCD (Air Pollution Control District) |
| <input type="checkbox"/> CALTRANS | <input type="checkbox"/> | Reclamation Board |
| <input type="checkbox"/> Division of Aeronautics | <input type="checkbox"/> | Department of Energy |
| <input checked="" type="checkbox"/> Water Quality Control Board | <input type="checkbox"/> | Airport Land Use Commission |
| <input type="checkbox"/> Other _____ | | |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: AE-20

14. Existing General Plan Land Use Designation¹: _____

ENVIRONMENTAL INFORMATION

15. Present land use: The projected space is an open lot
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

Describe the major vegetative cover: Weeds

Any perennial or intermittent water courses? If so, show on map: _____

Is property in a flood-prone area? Describe:

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Old drive in movie theatre / agricultural

South: Old trucking company

East: gas station

West: agricultural land

17. What land use(s) in the area may be impacted by your Project?: NONE

18. What land use(s) in the area may impact your project?: NONE

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes X No

B. Daily traffic generation:

I. Residential - Number of Units _____
Lot Size _____
Single Family _____
Apartments _____

II. Commercial - Number of Employees _____
Number of Salesmen _____
Number of Delivery Trucks 1-2
Total Square Footage of Building 4150

III. Describe and quantify other traffic generation activities: _____

20. Describe any source(s) of noise from your project that may affect the surrounding area: NONE

21. Describe any source(s) of noise in the area that may affect your project: NONE

22. Describe the probable source(s) of air pollution from your project: NONE

23. Proposed source of water:
 private well
 community system³—name: _____ OVER.....

24. Anticipated volume of water to be used (gallons per day)²: 2400 GALLONS PER DAY
25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name NOTE
26. Estimated volume of liquid waste (gallons per day)²: _____
27. Anticipated type(s) of liquid waste: 2,250 gallons/day
28. Anticipated type(s) of hazardous wastes²: NOTE
29. Anticipated volume of hazardous wastes²: NOTE
30. Proposed method of hazardous waste disposal²: NOTE
31. Anticipated type(s) of solid waste: 150 lbs/day
32. Anticipated amount of solid waste (tons or cubic yards per day): _____
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): NOT KNOW
34. Proposed method of solid waste disposal: Waste management company
35. Fire protection district(s) serving this area: _____
36. Has a previous application been processed on this site? If so, list title and date: _____
37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No X
38. If yes, are they currently in use? Yes _____ No _____

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

Eric Adade
 SIGNATURE

2-22-22
 DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2020: \$3,445.25 for an EIR; \$2,480.25 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.

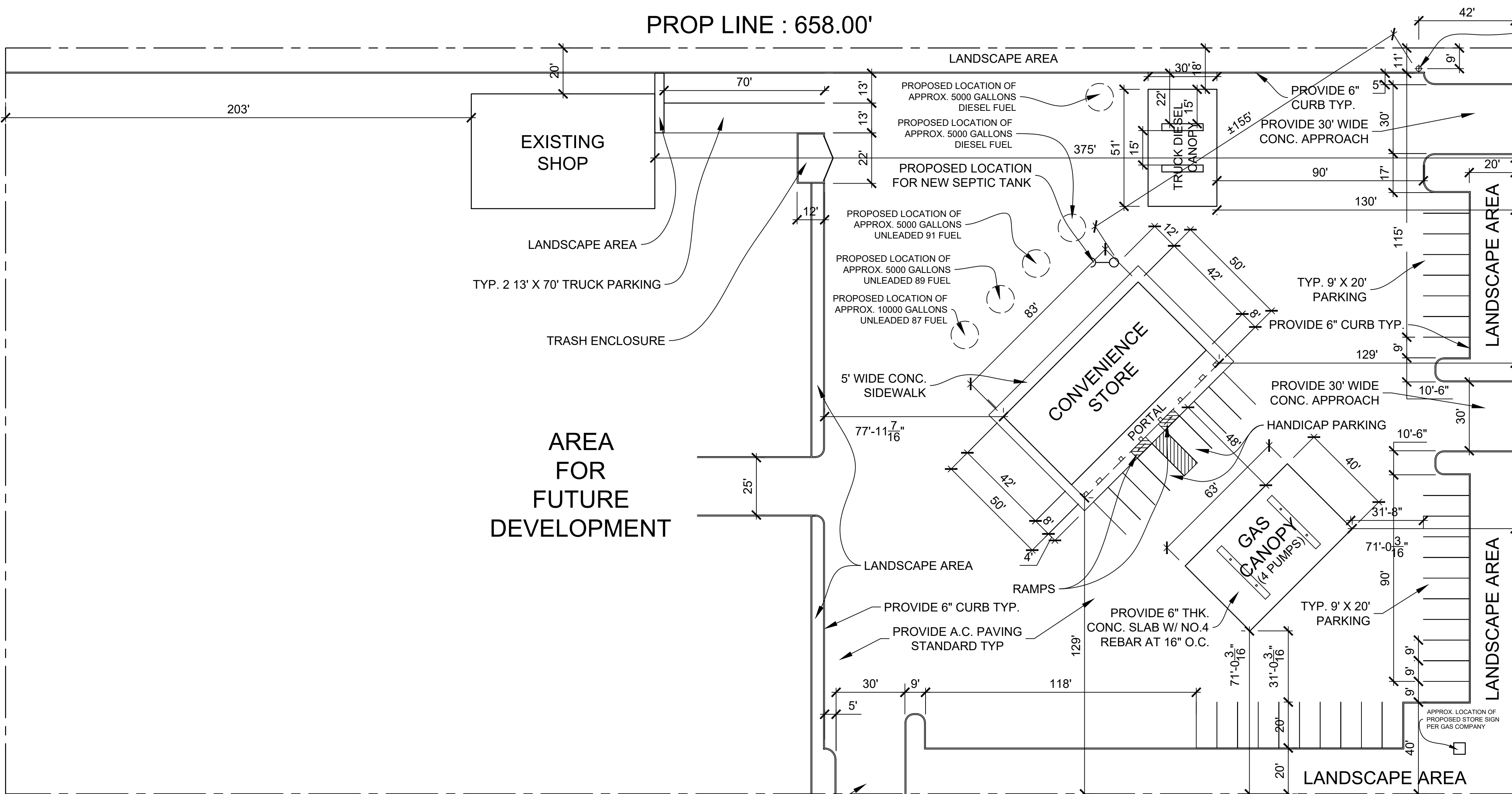


Applicant's Signature

2-22-22

Date

PROP LINE : 325.00'



APPROX. LOCATION OF EXISTING WELL

NORTH

SOUTH ALTA AVE

PROP LINE : 325.00'

CODE & DESIGN LOADS :

CODE:
ALL CONSTRUCTION SHALL CONFORM TO THE 2019 CBC, 2019 CRC, & THE 2018 IBC

DESIGN LOADS:	SNOW DATA	
ROOF :	21.0 P.S.F. DEAD LOAD	GROUND SNOW LOAD
	16.0 P.S.F. LIVE LOAD	SNOW EXPOSURE FACTOR, C _e
FLOOR :	12.0 P.S.F. DEAD LOAD	THERMAL FACTOR, C _t
	40.0 P.S.F. LIVE LOAD	SNOW LOAD IMPORTANCE FACTOR, I
DECK :	12.0 P.S.F. DEAD LOAD	SLIPPERY ROOF
	40.0 P.S.F. LIVE LOAD	SNOW DENSITY
EXT. WALLS :	15.0 P.S.F. DEAD LOAD	FLAT ROOF SNOW LOAD, P _f

CONSTRUCTION TYPE: SIMPLE
SEISMIC: SOIL SITE CLASS: D
SEISMIC DESIGN CATEGORY: D
OCCUPANCY - STANDARD
CONFIGURATION - REGULAR
DESIGN CATEGORY CONSIDERATION - FLEXIBLE DIAPHRAGM
STRUCTURAL SYSTEM - BEARING WALL: SHEAR PANELS

WIND FORCES:
ASCE 7-10
C.B.C. 1609.6
ALTERNATE ALL HEIGHTS METHOD
BASIC WIND = 110 M.P.H. STRENGTH 85 MPH AWS
EXPOSURE = C

- GENERAL NOTES :**
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL NOTIFY THE OWNER AND THE DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY WORK AND OR CONSTRUCTION. ALL BUILDING SUBCONTRACTORS SHALL PERFORM THERE APPROPRIATE WORK TO CODES AND, REGULATIONS AND INDUSTRY STANDARDS.
 - DO NOT SCALE DRAWINGS / ALL DIMENSIONS SHALL HAVE PRECEDENCE AT ALL TIMES.
 - JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
 - A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION. CBC 3305.1
 - FINISH FLOOR ELEVATION IS TO BE 8" ABOVE THE CROWN OF THE STREET.
 - A CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED FOR THIS PROJECT. THE PLAN IS TO BE FINALIZED PRIOR TO OCCUPANCY.
 - PROVIDE CONSTRUCTION SITE ADDRESS : APPROVED NUMBERS OR ADDRESS SIGNS SHALL BE PROVIDED FOR ALL CONSTRUCTION SITES . THEY SHALL BE PAINTED ON THE FACE OF THE CURB ON THE FRONT SIDE OF THE LOT PRIOR TO THE FIRST INSPECTION . CURB NUMBERS SHALL BE MIN. OF 3" INCHES IN HEIGHT AND HAVE CONTRASTING OR REFLECTING BACKGROUND AND PERMANENTLY PAINTED ON THE CURB FACE . TEMPORARY STREET NAMES SHALL BE PAINTED ON THE CURBS OF ALL STREETS AND THE STREET INTERSECTIONS . IN THE EVENT THAT NO CURB EXISTS, TEMPORARY CONSTRUCTION SITE ADDRESS SIGNS AND TEMPORARY STREET NAME SIGNS SHALL BE POSTED AT A HEIGHT OF BETWEEN 48" AND 72" . SUCH TEMPORARY SIGNS SHALL BE WEATHER RESISTANT ON APPROVED MATERIAL. ALL NUMBERS AND NAME SIGNS SHALL BE MAINTAINED TO THE SATISFACTION OF THE FIRE MARSHAL AND BUILDING OFFICIAL .
 - APPROVED ADDRESS NUMBERS SHALL COMPLY WITH THE ADDRESS STANDARD APPROVED BY THE FIRE MARSHAL AND THE BUILDING OFFICIAL . INSTALL STREET ADDRESS NUMERALS, AT LEAST 4 INCHES HIGH WITH MINIMUM 1/2 INCH STROKE, MOUNTED ON A CONTRASTING BACKGROUND COLOR CLEARLY VISIBLE FROM THE STREET AND IS REFLECTIVE . (VISIBLE TO TRAFFIC IN BOTH DIRECTIONS)
 - ADDRESS NUMBERS SHALL BE DISPLAYED ON A BUILDING OR LAND IN SUCH A MANNER AS TO BE VISIBLE FROM THE STREET OR ROAD ON WHICH THE BUILDING OR LAND FRONTS. WHERE THE BUILDING IS LOCATED MORE THAN 50 FEET FROM THE MAIN ROADWAY, THE NUMBER SHALL BE DISPLAYED AT THE ENTRANCE OF THE DRIVEWAY AND BE READABLE FROM BOTH DIRECTIONS. ADDRESSES MOUNTED TO BUILDINGS SHALL USE SAME SIZE CONFIGURATION. ALL NUMBERS OR SIGNS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER SO AS TO REMAIN READABLE.
 - CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL. CRC R106.4. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN :
 - CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE .
 - INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN .
 - A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM .
 - INTERIOR NON STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED , A NEW PLAN CHECK (FOR A NEW FLOOR PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS .
 - ANY VERTICAL CUT OR FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL . WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL . THE GRADE DIFFERENTIAL BETWEEN ADJACENT PROPERTIES MAY BE RELIEVED BY A SLOPED NOT TO EXCEED TWO HORIZONTAL TO ONE VERTICAL ON THE LOW PROPERTY IF APPROVED BY THE OWNER OF SAID LOW PROPERTY IN A FORM OF A RECORDED EASEMENT OR COVENANT RUNNING WITH THE LAND AS APPROVED BY THE CITY ATTORNEY .
 - BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS AND CONSERVATION OF SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY .
 - AFTER OCTOBER 1, 2010, ANY LOW RISE RESIDENTIAL HOMES REQUIRING HERS VERIFICATION WILL BE REQUIRED TO SUBMIT A REGISTERED CF-1R.
 - ALL NEW PIPING FOR WATER AND SEWER TO BE PVC SCH. 40 OR BETTER.
 - INSTALL NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL HOSE BIBBS.
 - THERE SHALL NOT BE ANY DEMOLITION TO EXISTING SHEAR WALLS, AND/OR STRUCTURAL FRAME, WITH OUT WRITTEN DIRECTION FROM ARCHITECT OR ENGINEER.

PROP LINE : 658.00'

21868 MANNING AVE

SITE NOTES :

- OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION. COMPACTION REPORT REQUIRED.
- SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING AT A 5% SLOPE FOR AT LEAST THE FIRST 10' FEET FROM THE BUILDING CONCRETE PAD OR EXTERIOR FOUNDATION FOOTING WITH A MIN. FALL OF 6". CRC R401.3, CALGREEN 4.106.3
- IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING.
- LOT SHALL BE DRAINED FROM REAR TO FRONT W/ A MINIMUM OF 1% AND TO AN APPROVED DRAINAGE SYSTEM. INSTALLATION OF OBSTRUCTIONS, I.E. BLOCK FENCES, WOOD FENCES, ROCKS, LANDSCAPING, MOUNDS, ETC., CAN NOT BLOCK FLOW .
- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAXIMUM SLOPE OF TWELVE PERCENT (12%) FOR A MINIMUM DISTANCE OF TWENTY FEET (20') FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF EIGHTEEN PERCENT (18%).
- NO ON-SITE WATER RETENTION OR DRAINAGE INTO ADJACENT PROPERTIES / DRAIN TO THE STREET OR DESIGNED BASING.
- ANY VERTICAL CUT AND FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. RETAINING WALLS THAT ARE 2 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTINGS, POSTS, KEYS OR STRUCTURE TO THE TOP OF THE WALL AND THAT RETAINS 12 INCHES OR MORE OF SOIL. REQUIRES PERMITS AND INSPECTIONS. SUBMIT ENGINEERED DESIGN.
- REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-624-2444.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- MAXIMUM SLOPES OF ADJOINING CUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%) WITHIN 48" OF THE BOTTOM OF THE CURB RAMP.

GOVERNING CODES :

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ADMINISTRATIVE CODE
- 2019 CALIFORNIA ENERGY CODE & TITLE 24 AND 25, CALIFORNIA CODE OF REGULATIONS
- CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEEC) 2019
- SAFETY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFETY
- CITY OF REEDLEY ORDINANCES
- COUNTY OF FRESNO ORDINANCES
- APPLICABLE SEC. OF THE CA. ENERGY CONSERVATION STANDARDS
- 2018 INTERNATIONAL BUILDING CODE

NOTES :

- APPROVED PLANS AND RELATED DOCUMENTS MUST AVAILABLE AT THE JOB SITE DURING ANY INSPECTIONS.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENT ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA) CALL 1-800-642-2444.
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SEPARATE SUBMITTALS :

ALL SEPARATE SUBMITTALS SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. CBC 107.3.4.2 THE FOLLOWING ELEMENTS ARE TO BE CLASSIFIED AS DEFERRED:

- FIRE SPRINKLER SYSTEM

SEPARATE SUBMITTALS :

NAME OF FORM	STATE OF CALIFORNIA, 2016 RESIDENTIAL COMPLIANCE FORM
CF - 1R FORM :	RESIDENTIAL PERFORMANCE CERTIFICATE OF COMPLIANCE (PERFORMANCE COMPLIANCE METHOD) FOR NEWLY CONSTRUCTED BUILDINGS, ADDITIONS, AND ALTERATIONS
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CF - 3R FORM :	RESIDENTIAL CERTIFICATE OF VERIFICATION FOR EACH ITEM INSTALLED PER THE FILED TITLE 24 ENERGY DOCUMENTATION. THIS FORM IS TO BE PROVIDED AND FILED BY AN APPROVED HERS RATER.

BUILDING DATA :

BUILDING USE :	STORE
OCCUPANCY :	R-3/U
CONSTRUCTION TYPE :	V - B
ZONING / CLASSIFICATION :	R-1-B, RESIDENTIAL
OCCUPANT LOAD :	LESS THAN 10
NUMBER OF STORIES :	1
ALLOWABLE BLD'G HEIGHT :	35'-0"
STORE :	3486 SQ. FT.
PORTAL :	664 SQ. FT.
CARWASH :	816 SQ. FT.
TOTAL AREA :	4966 SQ. FT.

SHEET INDEX :

A-1	PARTIAL SITE PLAN
A-2	GENERAL SITE PLAN
A-3	TRAFFIC PLAN
A-4	FLOOR PLAN
A-5	ELEVATIONS
A-6	ELEVATIONS
A-7	FLOOR PLAN CANOPY
A-8	ELEVATION CANOPY

C.A.T. MARKET

21868 MANNING AVE
REEDLEY CA 93654

PARTIAL SITE PLAN

SCALE : 1"= 30'-0"
JESSE VARGAS

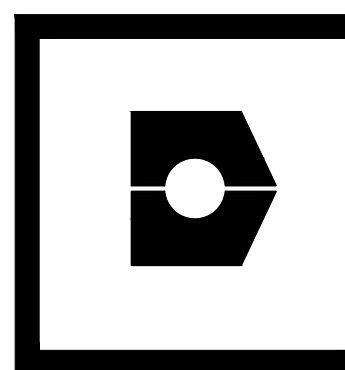
DATE : JANUARY 10 2022

JOB : CAT MARKET

DRAWN BY : JESSE VARGAS

CONTENTS : SITE PLAN

VARGAS DESIGN
REEDLEY, CA. 93654
445 S. MAPLE DR.
(559)-859-1931



SHEET NO.
1

SITE NOTES :

- OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION. COMPACTION REPORT REQUIRED.
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NOTES :

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- FIRE SPRINKLER SYSTEM

GOVERNING CODES :

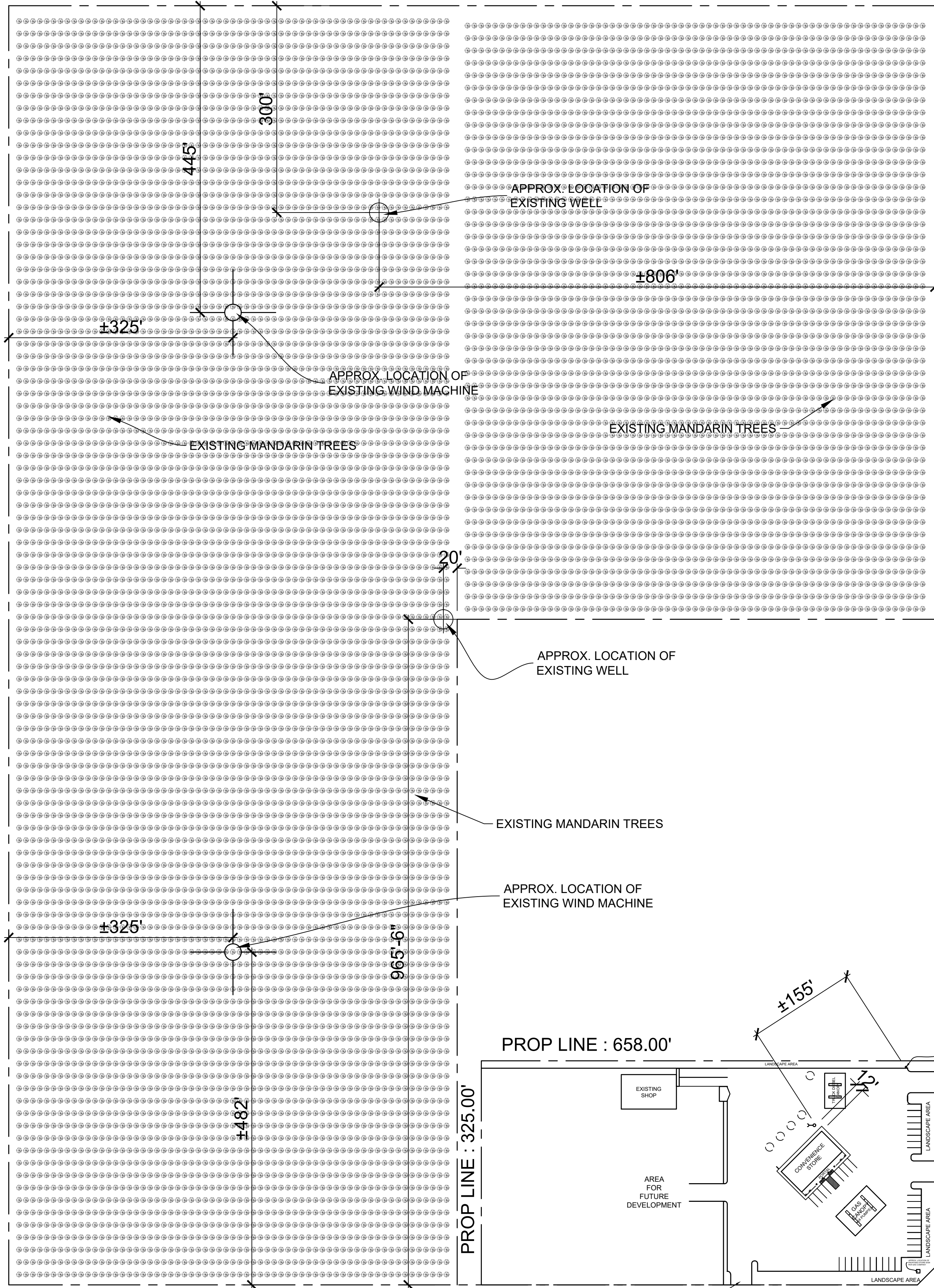
ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ADMINISTRATIVE CODE
- 2019 CALIFORNIA ENERGY CODE & TITLE 24 AND 25, CALIFORNIA CODE OF REGULATIONS
- CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEECE) 2019
- SAFETY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFETY
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- COUNTY OF FRESNO ORDINANCES
- APPLICABLE SEC. OF THE CA. ENERGY CONSERVATION STANDARDS
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SEPARATE SUBMITTALS :

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PROP. LINE 1316.00'



PROP. LINE 1830.50'



SOUTH ALTA AVE.

PROP. LINE 1318.00'

PROP. LINE : 658.00'

21868 MANNING AVE

GENERAL NOTES :

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- DO NOT SCALE DRAWINGS / ALL DIMENSIONS SHALL HAVE PRECEDENCE AT ALL TIMES.
- JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
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OWNER ADDRESS : LEGAL :

CECILIO ARREDONDO 21868 MANNING AVE REEDLEY CA (559)-352-9534 APN : 373-350-18

BUILDING DATA :

BUILDING USE :	STORE
OCCUPANCY :	R-3/U
CONSTRUCTION TYPE :	V - B
ZONING / CLASSIFICATION :	R-1-B, RESIDENTIAL
OCCUPANT LOAD :	LESS THAN 10
NUMBER OF STORIES :	1
ALLOWABLE BLD'G HEIGHT :	35'-0"
STORE :	3486 SQ. FT.
PORTAL :	664 SQ. FT.
CARWASH :	816 SQ. FT.
TOTAL AREA :	4966 SQ. FT.

SHEET INDEX :

A-1	PARTIAL SITE PLAN
A-2	GENERAL SITE PLAN
A-3	TRAFFIC PLAN
A-4	FLOOR PLAN
A-5	ELEVATIONS

CODE & DESIGN LOADS :

CODE: ALL CONSTRUCTION SHALL CONFORM TO THE 2019 CBC, 2019 CRC, & THE 2018 IBC

DESIGN LOADS:	SNOW DATA	
ROOF :	21.0 P.S.F. DEAD LOAD	GROUND SNOW LOAD
	16.0 P.S.F. LIVE LOAD	SNOW EXPOSURE FACTOR, C _e
		THERMAL FACTOR, C _t
FLOOR :	12.0 P.S.F. DEAD LOAD	SNOW LOAD IMPORTANCE FACTOR, I
	40.0 P.S.F. LIVE LOAD	SLIPPERY ROOF
DECK :	12.0 P.S.F. DEAD LOAD	SNOW DENSITY,
	40.0 P.S.F. LIVE LOAD	FLAT ROOF SNOW LOAD, P _f
EXT. WALLS :	15.0 P.S.F. DEAD LOAD	
CONSTRUCTION TYPE: SIMPLE		WIND FORCES:
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SEISMIC DESIGN CATEGORY: D		BASIC WIND = 110 M.P.H. STRENGTH 85 MPH AWS
OCCUPANCY - STANDARD		EXPOSURE = C
CONFIGURATION - REGULAR		
DESIGN CATEGORY CONSIDERATION - FLEXIBLE DIAPHRAGM		
STRUCTURAL SYSTEM - BEARING WALL: SHEAR PANELS		

CAT MARKET

21868 MANNING AVE REEDLEY CA 93654

GENERAL SITE
SCALE : 1" = 100'-0"
JESSE VARGAS

DATE : MONTH DAY YEAR

JOB : PROJECT NAME

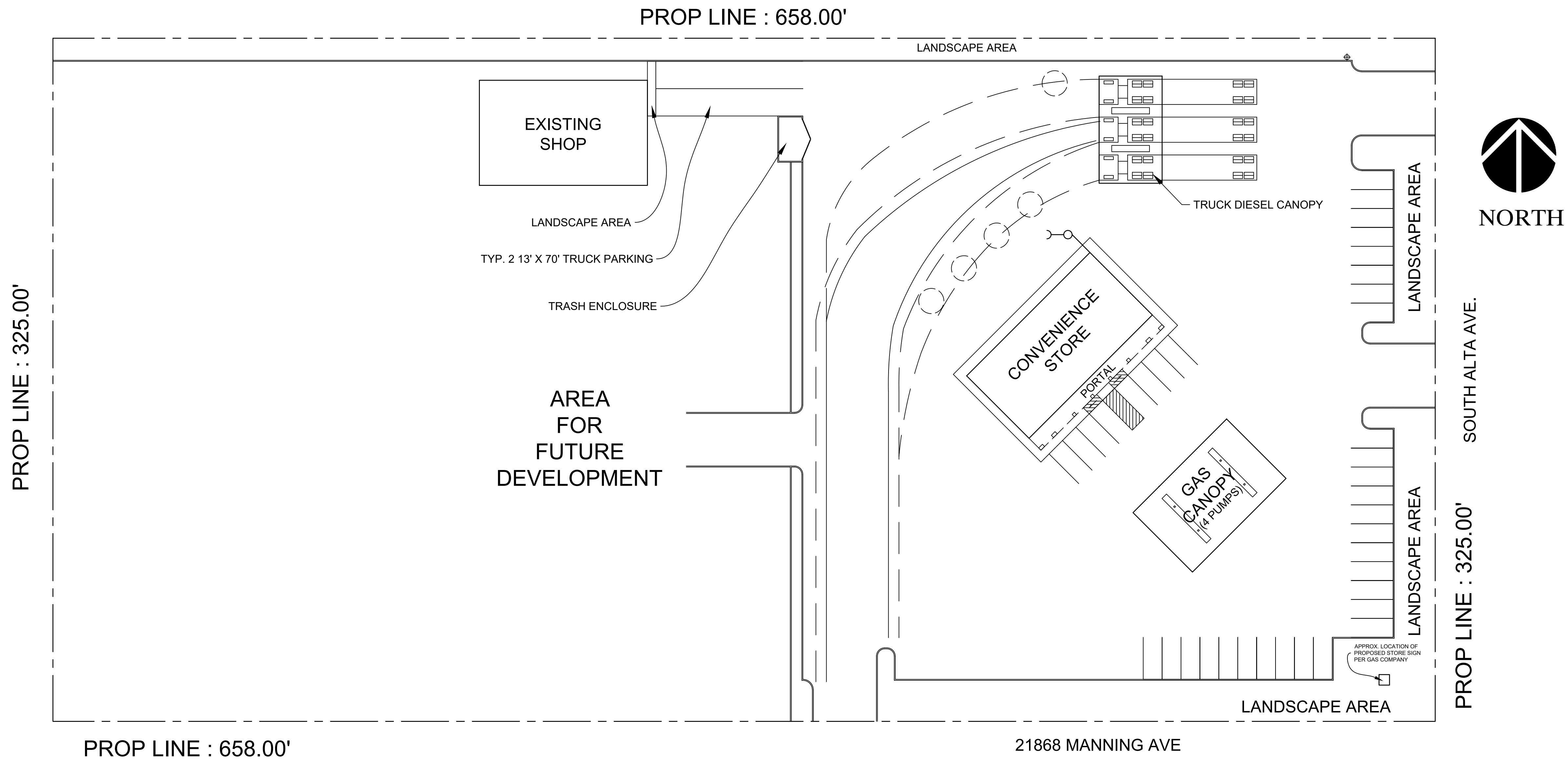
DRAWN BY : JESSE VARGAS

CONTENTS : SITE PLAN

VARGAS DESIGN
445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931

SHEET NO.

2



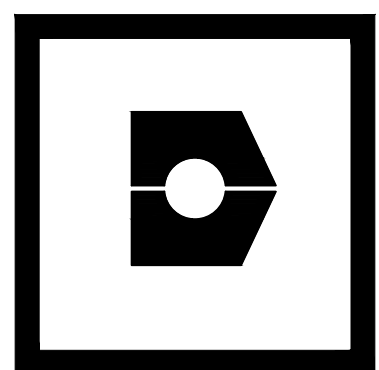
DATE : JANUARY 10 2022

JOB : CAT MARKET

DRAWN BY : JESSE VARGAS

CONTENTS : TRAFFIC PLAN

VARGAS DESIGN
 REEDLEY, CA. 93654 (559)-859-1931
 445 S. MAPLE DR.

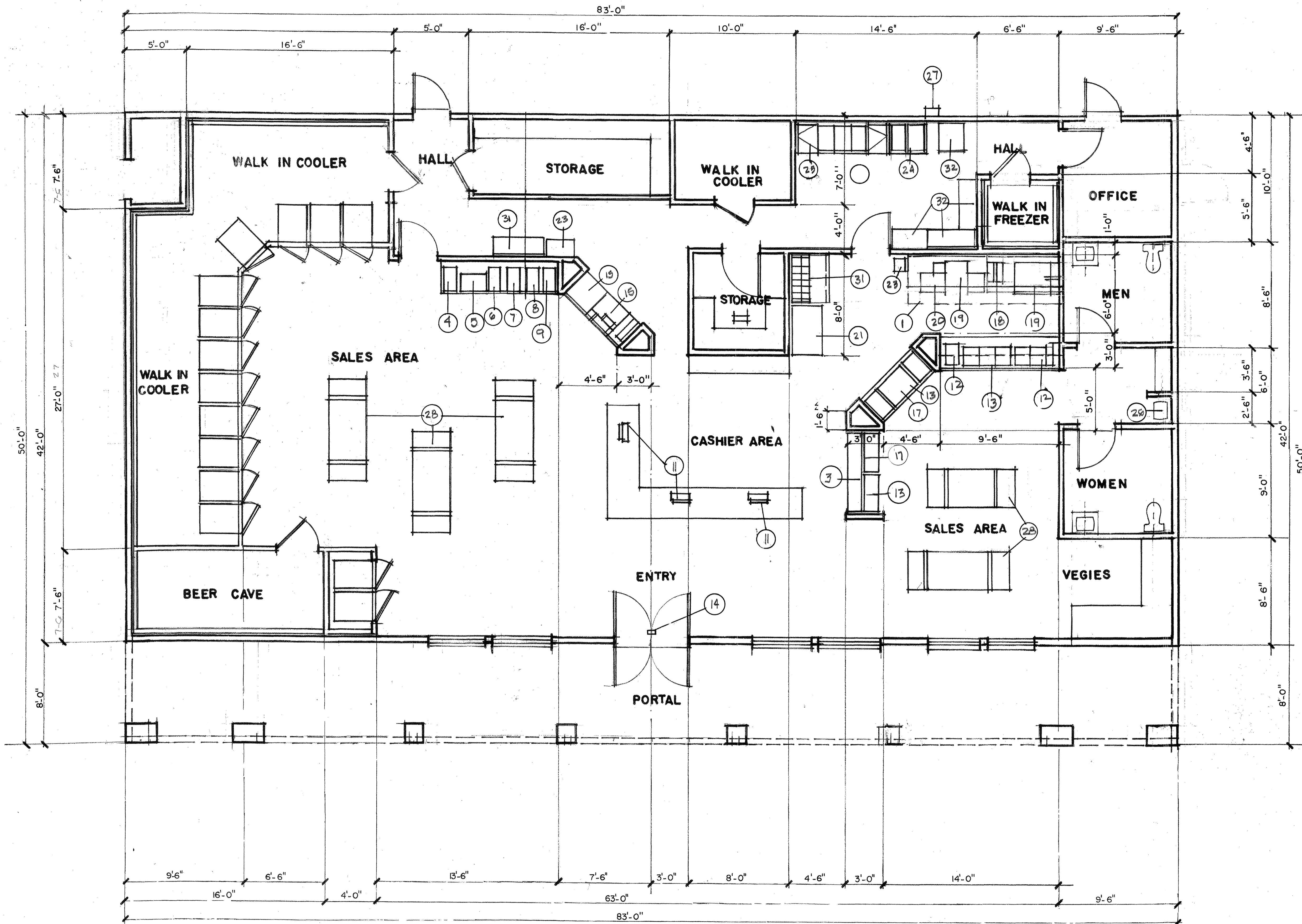


C.A.T. MARKET

21868 MANNING AVE
 REEDLEY CA 93654

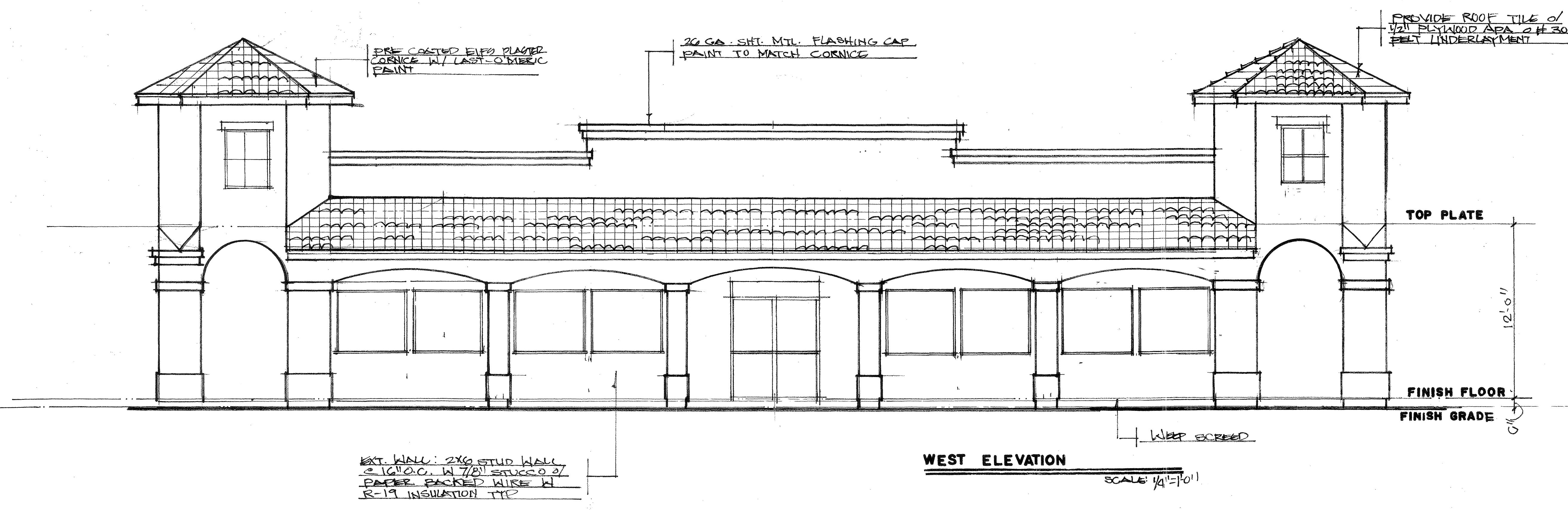
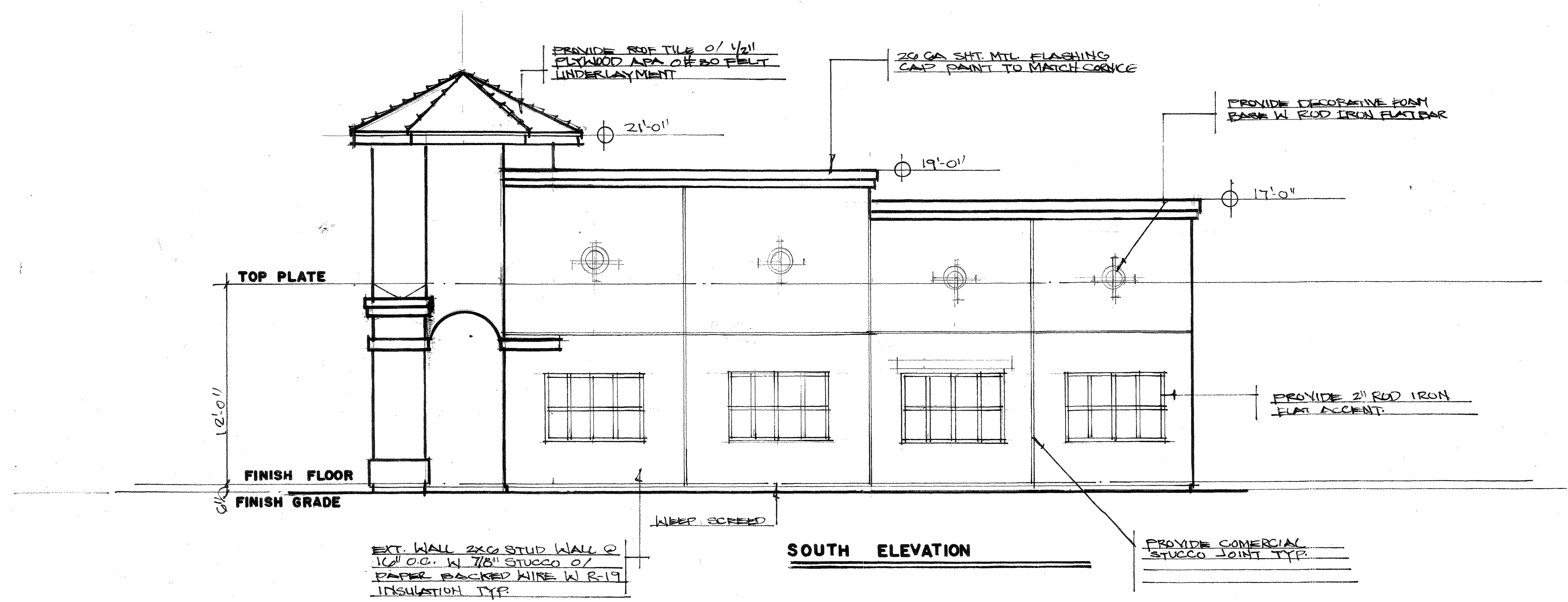
TRAFFIC PLAN
 SCALE : 1" = 30'-0"
JESSE VARGAS

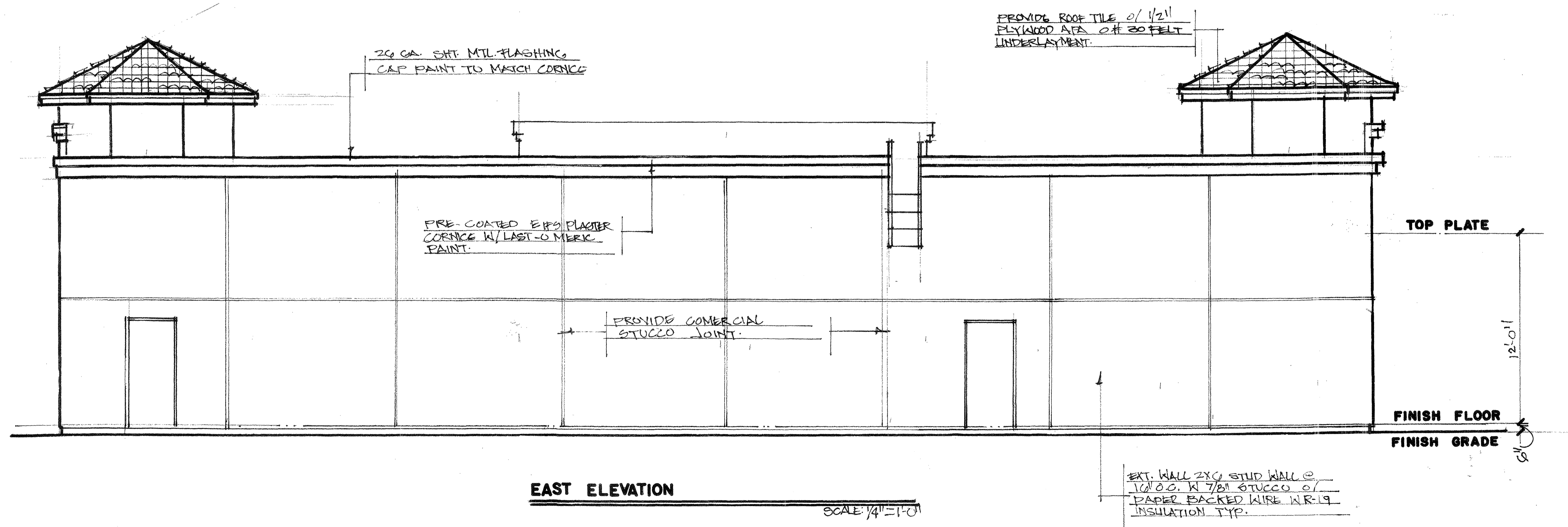
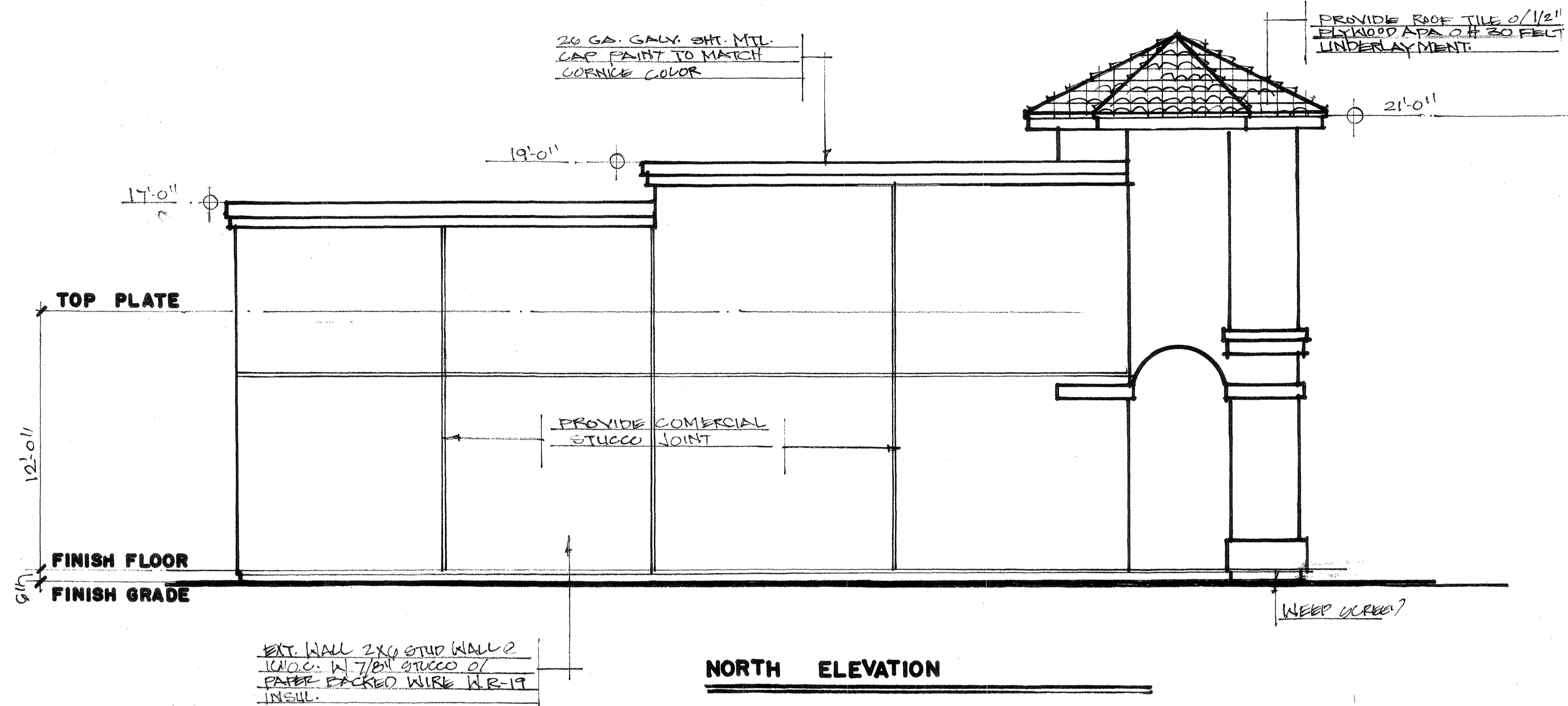
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3

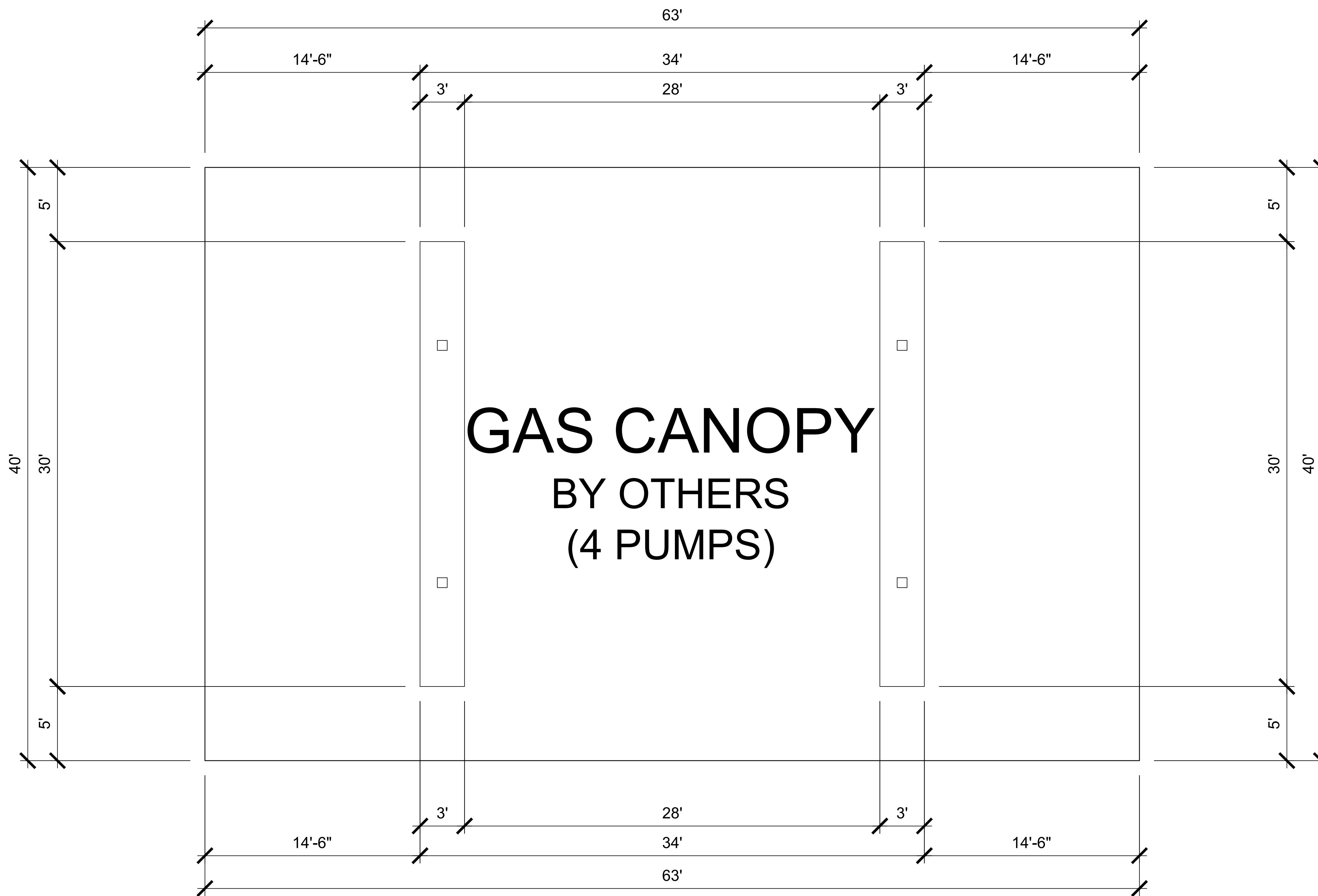


ITEM	MODEL	VOLTS	AMPS	BTU
1	WALK IN COOLER			
2	WALK IN COOLER			
3	DELI CASE	ALTO-SHAAM #HN2 72	208	19
4	LID DISPENSER			
5	DRINK DISPENSER	ED300	115	2.6
6	CAPPUCCINO MACHINE	SCPCTSF	120	15
7	CREAMER	INTERATON	110	2.8
8	COFFEE BREWER	DBVSA430	120/240	2.8
9	COFFEE GRINDER	BUNN	120/240	20
10	FLAV'D COFFEE BREWER	DBVSA430	120/240	2.8
11	REGISTER			
12	HOT UNITS			
13	SNEEZE GUARD			
14	PROPOSED O.H. SIGN			
15	COLD UNITS 1/5 HP		120	412
16	CHIP WARMER		1080	20
17	MERCHANDISER 36" WARMER			
18	FRYER	AMERICAN RANGE AF-45		120,000
19	CONVENTIONAL OVEN	AMERICAN RANGE AR36G-2B		178,000
20	CONVEYOR OVEN	MIDDLEBY MARSHALL PS520G	208/240	1.5 40,000
21	PREP TABLE 4'x30"			
22	PIZZA PREP TABLE	TRUE TIP-44	115/60/1	8.6
23	HAND SINK			
24	VEGETABLE SINK			
25	3 COMPARTMENT SINK			
26	MOP SINK			
27	HOT WATER TANK			
28	CLEANING PRODUCT RACK			
29	STORAGE UNITS			
30	ICE MACHINE ABV SODA	MANITOWOL SY-05R4		
31	WALK IN FREEZER			
32	TABLE FRUIT			
33	SODA STORAGE		115	
34	COKE DISP			

FLOOR PLAN 3486 SQ. FT. SCALE: 1/4" = 1'-0"







**GAS CANOPY
BY OTHERS
(4 PUMPS)**

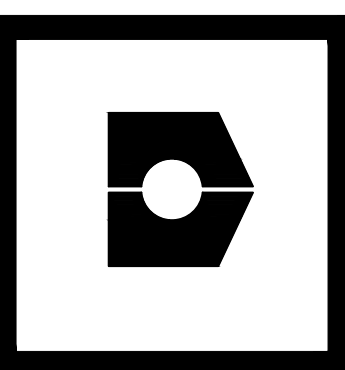
FLOOR PLAN
SCALE : 1/4" = 1'-0"
JESSE VARGAS

DATE : CURRENT DATE

JOB : PROJECT NAME

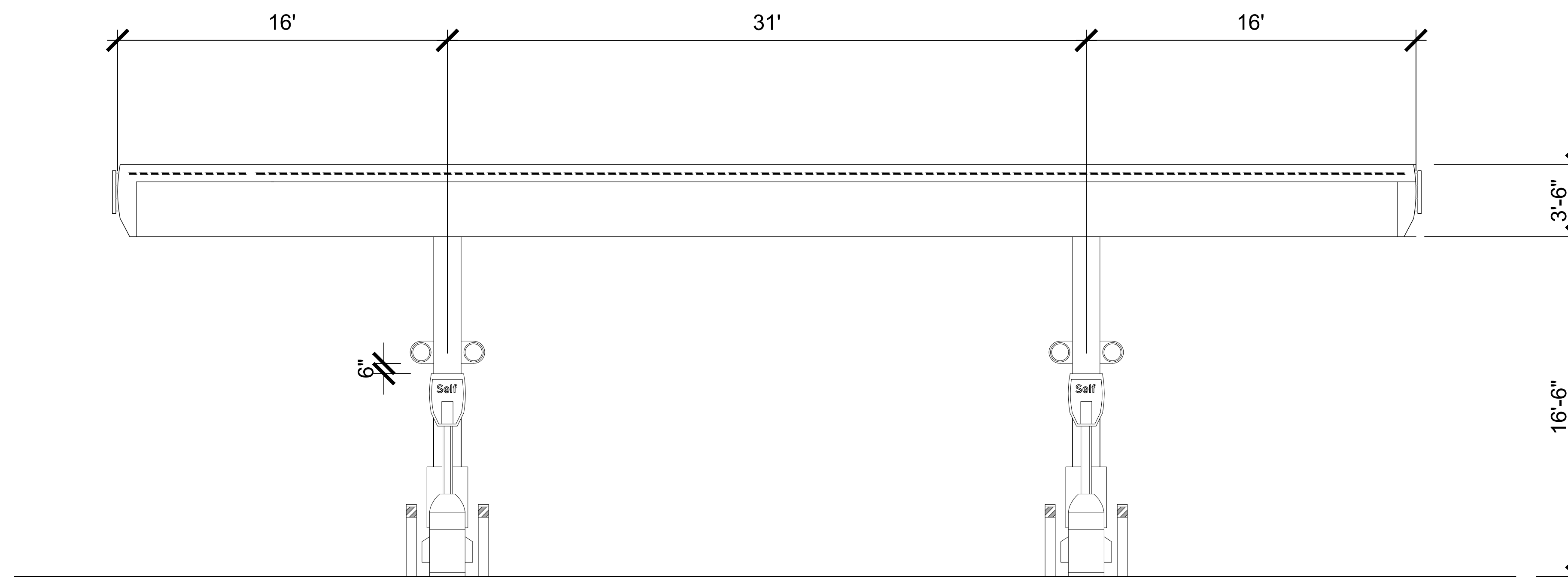
DRAWN BY : JESSE VARGAS

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445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931

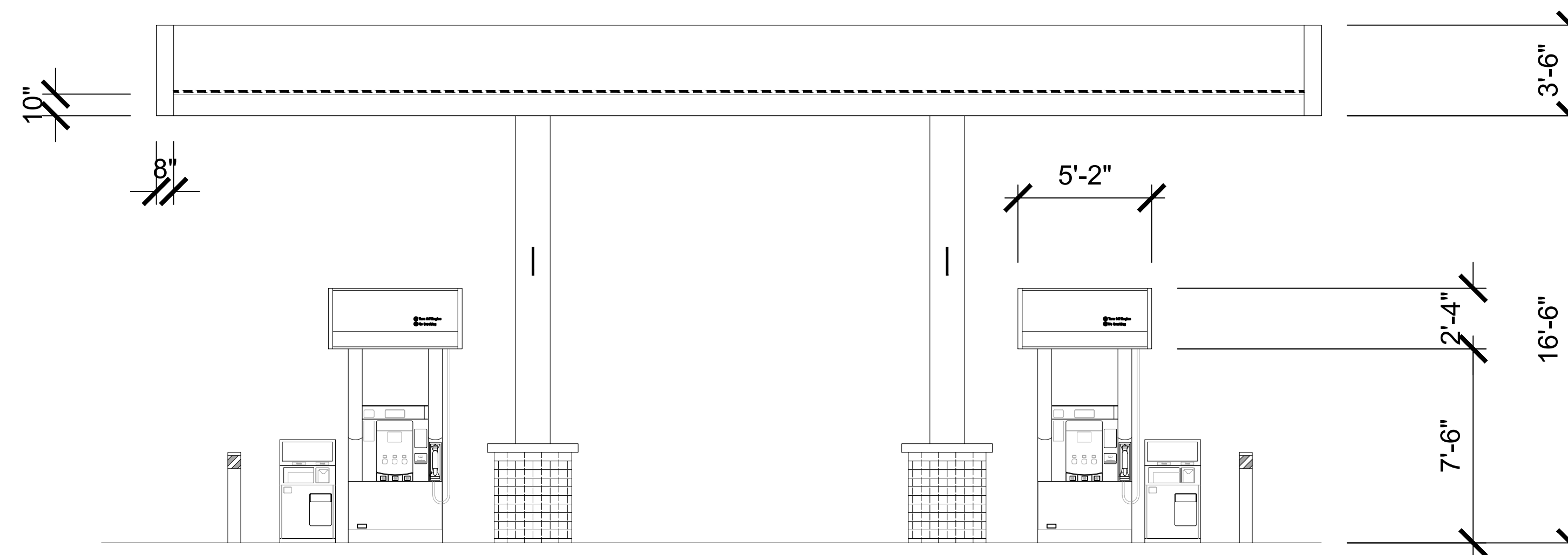


SHEET NO.
7

CONTENTS : FLOOR PLAN



FRONT ELEVATION



SIDE ELEVATION

ELEVATION PLAN

SCALE : 1/4" = 1'-0"

JESSE VARGAS

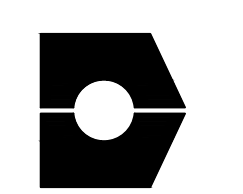
DATE : CURRENT DATE

JOB : PROJECT NAME

DRAWN BY : JESSE VARGAS

CONTENTS : ELEVATION PLAN

VARGAS DESIGN
 REEDLEY, CA - 93654
 445 S. MAPLE DR. (559)-859-1931



SHEET NO.

08