



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: September 14, 2026

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Department of Public Works and Planning, Attn: William M. Kettler,
Deputy Director of Planning
Development Services and Capital Projects, Attn: Chris Motta, Division Manager
Development Services and Capital Projects, Attn: James Anders,
Principal Planner
Development Services and Capital Projects, Current/Environmental
Planning, Attn: Ober Ramirez, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review,
Attn: Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Attn: Kevin Nehring, Deputy County
Surveyor
Development Services and Capital Projects, Attn: Mike Granat, Chief Building
Inspector
Development Services and Capital Projects, Development Engineering,
Attn: Laurie Kennedy, Office Assistant III
Water and Natural Resources Division, Attn: Augustine Ramirez; Adan Ortiz; Darren
Findley
Water and Natural Resources Division, Transportation Planning, Attn: Hector Luna,
Principal Planner; Brody Hines, Planner; Domonique Advincula, Planner
Water and Natural Resources Division, Community Development, Attn: Yvette
Quiroga, Principal Planner
Design Division, Attn: Joseph Harrell, Division Manager
Resources Division, Attn: Daniel Amann, Division Manager
Resources Division, Special Districts, Attn: Christopher Bump, Special Districts
Manager
Road Maintenance and Operations Division, Attn: Mohamoud Mohamed, Senior
Engineer
Department of Public Health, Environmental Health Division, Attn: Deep
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
Environmental Health Specialist
Agricultural Commissioner, Attn: Melissa Cregan
Sheriff's Office, Attn: Assistant Sheriffs Ryan Hushaw, Adam Esmay
Pacific Gas and Electric, Centralized Review Team, Attn: PGEPlanReview@pge.com
California Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
San Joaquin Valley Air Pollution Control District (PIC-CEQA Division), Attn:
CEQA@valleyair.org
CA Regional Water Quality Control Board, Attn:
centralvalleyfresno@waterboards.ca.gov
Fresno County Fire Districts, Attn: Diane Rodriguez, FKU.prevention@fresno.gov
Caltrans. Dist. 6, Attn: Dave Padilla, Branch Chief; LDR-D6@dot.ca.gov

City of Clovis, City Manager, Attn: Andrew Hausler
City of Clovis Public Utilities, Attn: Scott Redelfs, Director
City of Clovis Planning and Development Services Department, Attn: Renee Mathis,
Director; McKencie Perez, Senior Planner
Clovis Unified School District, Attn: Corrine Folmer, Ed. D., Superintendent, Michael
Johnston, Associate Superintendent, Administrative Services

FROM: Katie Bolton, Planner
Development Services and Capital Projects Division,
Current/Environmental Planning

SUBJECT: Amendment Application No. 3885, Conditional Use Permit No. 3859, and
Initial Study No. 8837

APPLICANT: WESCLO LP

DUE DATE: **September 29, 2026**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to rezone a 19.77-acre parcel from the AE-20 (Exclusive Agricultural, 20-acre minimum parcel) Zone District to AL (Limited Agricultural, 20-acre minimum parcel size) Zone District and allow a Classified Conditional Use Permit to construct and operate a Personal/RV Storage Facility on the subject parcel.

The subject parcel is located on the east side of N. Peach Avenue approximately 700 feet south of its intersection with E. Copper Avenue (APN: 580-050-63) (Sup. Dist. 5).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding the conditions to be imposed on the project, including necessary on-site and off-site improvements.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Katie Bolton, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4205, or email kbolton@fresnocountyca.gov.

KB

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Activity Code (Internal Review): 2381



Fresno County Department of Public Works and Planning

Date Received:

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- ☐ Pre-Application (Type) _____
- ☒ Amendment Application ☐ Director Review and Approval
- ☐ Amendment to Text ☐ for 2nd Residence
- ☐ Conditional Use Permit ☐ Determination of Merger
- ☐ Variance (Class)/Minor Variance ☐ Agreements
- ☐ Site Plan Review/Occupancy Permit ☐ ALCC/RLCC
- ☐ No Shoot/Dog Leash Law Boundary ☐ Other _____
- ☐ General Plan Amendment/Specific Plan/SP Amendment)
- ☐ Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

Amendment Application to allow the rezoning of a 19.77 acre parcel from the AE-20 zone to AL-20 zone

CEQA DOCUMENTATION: ☒ Initial Study ☐ PER ☐ N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: East _____ side of N Peach Ave

between East Copper Ave and East International Ave

Street address: TBD

APN: 580-050-63 Parcel size: +/- 19.77 ac Section(s)-Twp/Rg: S 18 - T 12 S/R 21 E

ADDITIONAL APN(s): None

I, Bill Robinson (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

WESCLO LP	3239 W Ashlan Ave	Fresno	93722	559-224-9900
Owner (Print or Type)	Address	City	Zip	Phone
Derrel's Mini Storage, Inc.	3239 W Ashlan Ave	Fresno	93722	559-224-9900
Applicant (Print or Type)	Address	City	Zip	Phone
Bill Robinson				
Representative (Print or Type)	Address	City	Zip	Phone

CONTACT EMAIL: robinsonwc@yahoo.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
PER/Initial Study No.:	Fee: \$
Ag Department Review:	Fee: \$
Health Department Review:	Fee: \$
Received By: _____ Invoice No.:	TOTAL: \$

UTILITIES AVAILABLE:

WATER: Yes ☐ / No ☒

Agency: _____

SEWER: Yes ☐ / No ☒

Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: _____ - T _____ S/R _____ E

Related Application(s): _____

APN # _____ - _____ - _____

APN # _____ - _____ - _____

Zone District: _____

APN # _____ - _____ - _____

Parcel Size: _____

APN # _____ - _____ - _____



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. _____

Project
No(s). _____

Application Rec'd.:

GENERAL INFORMATION

1. Property Owner: WESCLO LP Phone/Fax: 559-224-9900
Mailing Address: 3239 W. ASHLAN AVE, FRESNO, CA 93722
Street City State/Zip
2. Applicant: DERREL'S MINI STORAGE Phone/Fax: 559-224-9900
Mailing Address: 3239 W. ASHLAN AVE, FRESNO, CA 93722
Street City State/Zip
3. Representative: BILL ROBINSON Phone/Fax: [REDACTED]
Mailing Address: [REDACTED]
Street City State/Zip
4. Proposed Project: DERREL'S MINI STORAGE FACILITY
FOR PERSONAL STORAGE AND RV
PARKING.
5. Project Location: EASTSIDE OF N. PEACH AVE BETWEEN
E. COPPER AVE AND E. INTERNATIONAL AVE
6. Project Address: TBD
7. Section/Township/Range: 18 / 12 / 21 8. Parcel Size: +/- 19.7700
9. Assessor's Parcel No. 580-050-83 OVER.....

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

☐ LAFCo (annexation or extension of services)	☒	SJVUAPCD (Air Pollution Control District)
☐ CALTRANS	☐	Reclamation Board
☐ Division of Aeronautics	☐	Department of Energy
☐ Water Quality Control Board	☐	Airport Land Use Commission
☐ Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? _____ Yes ☒ No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: AE-20 AGRICULTURE EXCLUSIVE

14. Existing General Plan Land Use Designation¹: AG

ENVIRONMENTAL INFORMATION

15. Present land use: VACANT

Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

NONE

Describe the major vegetative cover: NONE

Any perennial or intermittent water courses? If so, show on map: NONE

Is property in a flood-prone area? Describe:

N/A

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: FMFCD RETENTION BASIN

South: VACANT AG

East: VACANT AG, RURAL RESIDENTIAL PARCEL

West: VACANT AG, RURAL RESIDENTIAL PARCEL

17. What land use(s) in the area may be impacted by your Project?: NONE KNOWN

18. What land use(s) in the area may impact your project?: NONE KNOWN

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
☒ Yes ☐ No

B. Daily traffic generation:

I. Residential - Number of Units 1
Lot Size _____
Single Family _____
Apartments _____

II. Commercial - Number of Employees 2
Number of Salesmen 0
Number of Delivery Trucks 0
Total Square Footage of Building 336,735

III. Describe and quantify other traffic generation activities: _____

LESSEES OF STORAGE UNITS AND
RV PARKING SPACES +/- 25 PER DAY

20. Describe any source(s) of noise from your project that may affect the surrounding area: _____
SMALL VEHICLE TRAFFIC

21. Describe any source(s) of noise in the area that may affect your project: _____
NONE KNOWN

22. Describe the probable source(s) of air pollution from your project: _____
NONE KNOWN

23. Proposed source of water:
☒ private well
☐ community system³--name: _____ OVER.....

24. Anticipated volume of water to be used (gallons per day)²: ± 200 gal
25. Proposed method of liquid waste disposal:
☒ septic system/individual
☐ community system³-name _____
26. Estimated volume of liquid waste (gallons per day)²: ± 100 gal
27. Anticipated type(s) of liquid waste: SANITARY SEWER
28. Anticipated type(s) of hazardous wastes²: NONE
29. Anticipated volume of hazardous wastes²: N/A
30. Proposed method of hazardous waste disposal²: N/A
31. Anticipated type(s) of solid waste: PACKING MATERIALS
32. Anticipated amount of solid waste (tons or cubic yards per day): ± 1
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): TBD
34. Proposed method of solid waste disposal: PRIVATE HAULER
35. Fire protection district(s) serving this area: FRESNO COUNTY FIRE PROTECTION
36. Has a previous application been processed on this site? If so, list title and date:
REZONE APPLICATION SUBMITTED
37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No X
38. If yes, are they currently in use? Yes — No —

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

W. S. Robinson

SIGNATURE

06-28-26

DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

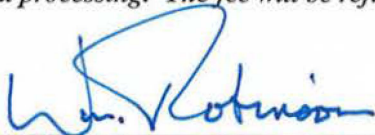
State law requires that specified fees (effective January 1, 2026: \$4,227.50 for an EIR; \$3,043.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

06-25-26

Date

Fresno County

Department of Public Works and Planning

Amendment Application: APN 580-050-63

OPERATIONAL STATEMENT

Derrel's Mini Storage, Inc., proposes to install a self-storage and RV vehicle parking facility on a +/- 19.77-acre parcel that is currently zoned AE-20 Agriculture Exclusive. An Amendment Application is being submitted to change the zoning to AL-20 Agriculture Limited in which a personal-storage use is allowed with a CUP. If the Amendment Application is approved a CUP application will be submitted.

The facility is planned to be installed in several phases within a perimeter of storage buildings that will completely enclose the facility from start up date. (see draft Site Plan)

Facility will contain enclosed single-story storage buildings on concrete foundations and gravel-over-compacted soil for RV parking. As market demands additional buildings may be added in subsequent phases and RV parking possibly reduced. RV parking may be open, under metal canopies or enclosed as desired by the user.

The potential enclosed storage building square footage is Phase I: 154,250 sf, Phase II: 50,900 sf, Phase III: 131,275 sf. RV parking is projected to be Enclosed: 33,810 sf and Carports: 44,210 sf. A 320 sf Kiosk will be at the entrance to the facility.

Please see the attached Operations Statement form for details.



**Development
Services
Division**

Operational Statement Checklist

Department of Public Works and Planning

It is important that the Operational Statement provides for a complete understanding of your proposal. The Operational Statement that you submit **must** address all of the following that apply to your proposal. **Your Operational Statement must be typed or written in a legible manner on a separate sheet(s) of paper. Do not submit this checklist as your Operational Statement.** It should serve only as a guide for preparing a complete Statement.

___ 1. **Nature of the operation--what do you propose to do? Describe in detail.**

Personal storage and RV parking facility. Site to be a satellite to existing facility located on the north side of East Copper operated by resident managers.

___ 2. **Operational time limits:**

Months (if seasonal): 12 months/year

Hours (from ___7 am___ to ___7 pm___)

Special activities: None Frequency: N/A Hours: N/A

Days per week: Seven

Total hours per day: 12

Are these indoors or outdoors?

___ 3. **Number of customers or visitors:**

Average number per day: 20 Maximum number per day: 40

Hours (when they will be there): 7 am to 7 pm

___ 4. **Number of employees:**

Current: 0

Future: 0

Hours they work: N/A

Do any live on-site as a caretaker? No

___ 5. **Service and delivery vehicles:**

Number: 0 Type: N/A Frequency: N/A

Vehicles are owned and operated by users delivering and retrieving stored property and RV vehicles.

___ 6. **Access to the site:**

Public Road: Yes Private Road: N/A

Surface: Concrete between storage buildings

Unpaved (dirt/gravel) in RV storage areas. Paved: Yes

___ 7. **Number of parking spaces for employees, customers, and service/delivery vehicles. 6**

Type of surfacing on parking area. Concrete

___ 8. **Are any goods to be sold on-site? No**

If so, are these goods grown or produced on-site or at some other location?

Explain. N/A

___ 9. **What equipment is used?** If appropriate, provide pictures or brochure. None

___ 10. **What supplies or materials are used and how are they stored?** None

___ 11. **Does the use cause an unsightly appearance?**

Noise? No Glare? No Dust? No Odor? No

If so, explain how this will be reduced or eliminated.

___ 12. **List any solid or liquid wastes to be produced.**

Estimated volume of wastes: Solid waste TBD

How and where is it stored? Refuse bins

How is it hauled, commercial hauler

Where is it disposed? Land fill

How often? Weekly

___ 13. **Estimated volume of water to be used (gallons per day).** +/- 500 gal

Landscape irrigation and restroom for users.

Source of water? Well

___ 14. **Describe any proposed advertising including size, appearance, and placement.**

Monument sign per code at entrance.

___ 15. **Will existing buildings be used or will new buildings be constructed?** New buildings

Describe type of construction materials, height, color, etc. Wood and metal framed storage buildings.
Stucco on perimeter exterior, metal siding on interior.

Provide Floor Plan and elevations, if appropriate. To be provided with CUP application.

___ 16. **Explain which buildings or what portion of buildings will be used in the operation.**

All storage buildings to be entirely utilized for personal storage use

___ 17. **Will any outdoor lighting or an outdoor sound amplification system be used?** Yes

Describe and indicate when used. Outdoor security lighting but no sound.

___ 18. **Landscaping or fencing proposed?** Describe type and location.

Perimeter buildings walls provide fencing on entire site.

Entrance gates to be controlled electronically.

Landscaping to be provided on west and east street frontages.

- _____ 19. **Any other information that will provide a clear understanding of the project or operation.**

Operation will be typical of a self-storage and RV parking facility.

- _____ 20. **Identify all Owners, Officers and/or Board Members for each application submitted; this may be accomplished by submitting a cover letter in addition to the information provided on the signed application forms.**

See attached.

DERREL'S MINI STORAGE, Inc.

E side of North Peach Ave

between the E International Ave and E Copper Ave

CUP Application Required Findings

1. **That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood.**

The proposed +/- 19.77 acre facility will be located between the N Peach frontage and a future street right-of-way on the eastern side of the parcel. The site is well suited for this type of facility which will have single-story storage buildings on the perimeter and a single-story office/residence building for the on-site managers on the Peach frontage which is the adjacent roadway. The site has ample area for all new installations, traffic ingress/egress and circulation on site.

2. **That the site for proposed use relates to the streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.**

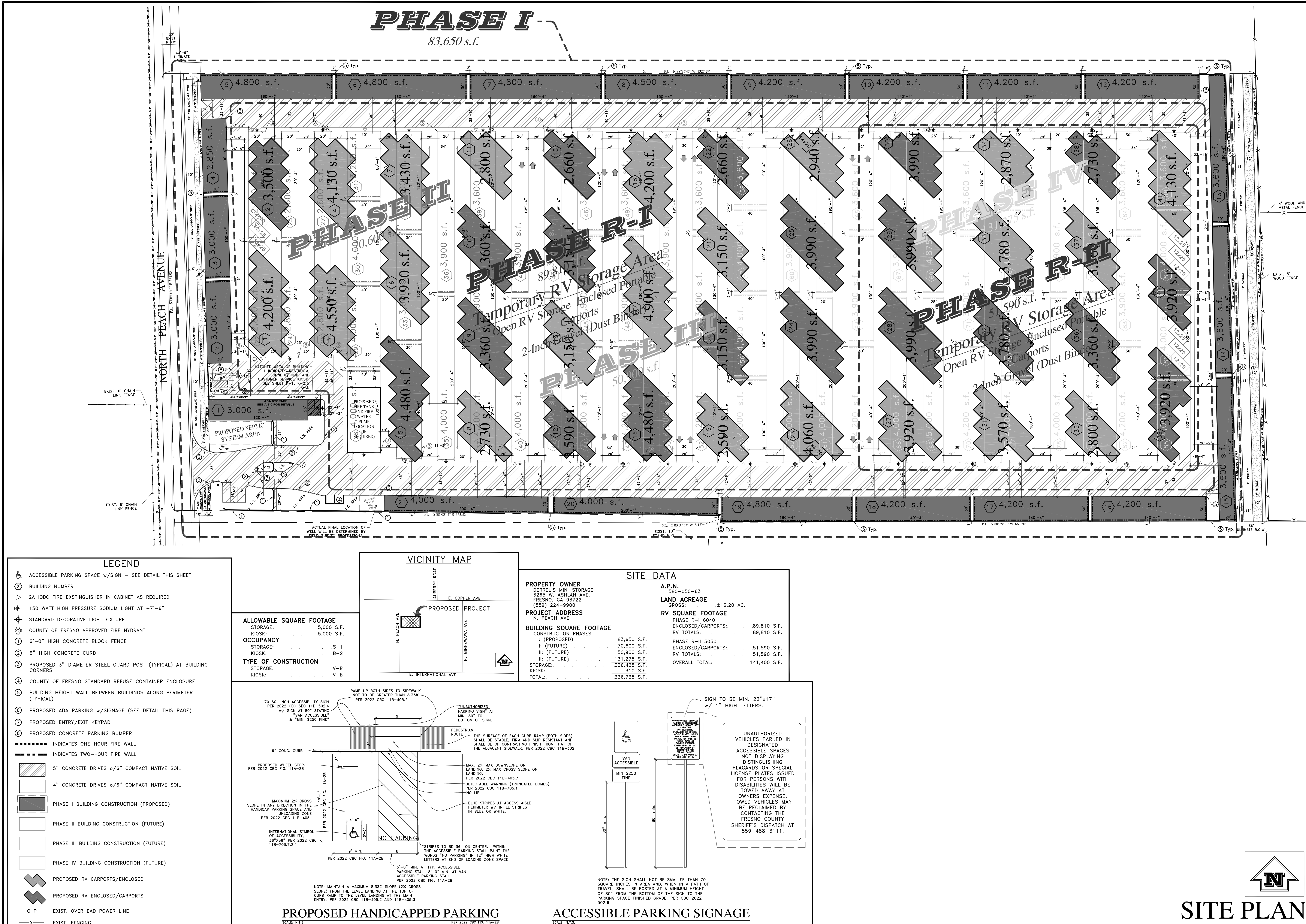
The proposed facility will utilize the N Peach Ave frontage as the primary ingress/egress for the facility's customers and a second access will be installed for the required emergency vehicle entrance. Traffic volume for this type of facility is considered as being light and primarily is not during peak hours. The existing N Peach Ave right-of-way should be adequate to serve facility operations and carry its traffic.

3. **That proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.**

The proposed facility will be located in a general area with mixed uses including rural agricultural and future urban residential subdivisions. The proposed zoning allows the proposed use with a CUP and the proximity to the more urban areas is where a majority of customers will be located thus limiting travel times. The proposed facility is compatible with the surrounding uses and operations will have to comply with public agency regulations for noise, glare, dust, odor, etc.

4. **That the proposed development is consistent with the General Plan.**

With the proposed rezone to the AL Agriculture Limited Zone District the use will be allowed with a CUP therefore, the facility will be consistent with the General Plan and the CUP will provide mitigation measures and monitoring requirements to limit impacts to the surrounding area from operations.





REVISIONS:

DERRELS

3265 W ASHLAN AVE

Mini STORAGE

FRESNO CA 93722 (559) 224-9900

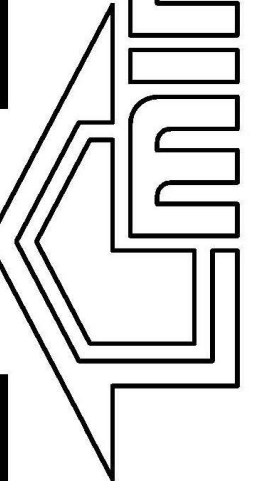
224-9900

APPROVALS

C:\My Documents\CADfiles\Projects\92Peach\K3.dwg
Date: September 9, 2026
Scale: AS NOTED
Drawn By: DB
Project: Kiosk/Storage Elevations Fresno Co N. Peach Ave
Sheet:

REVISIONS:

DERRELS

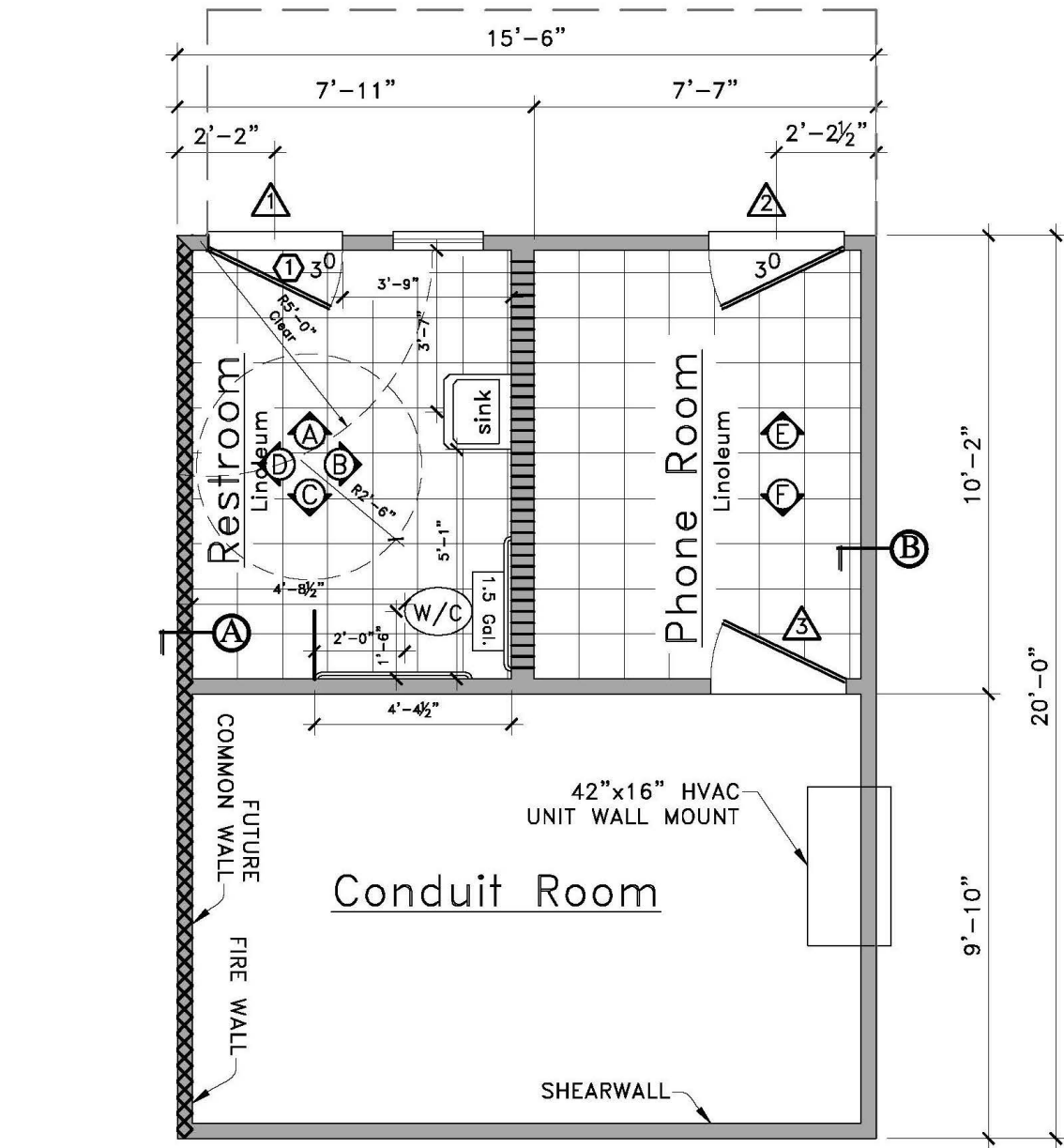


Mini STORAGE

3265 W ASHLAN AVE
FRESNO CA 93722 (559) 224-9900

APPROVALS

C:\My Documents\CADfiles\Projects\32222ash\K1.dwg
Date: September 9, 2026
Scale: AS NOTED
Drawn By: DB
Project: Kiosk Floor Plan Fresno Co. N. Peach Ave
Sheet: K-1



FLOOR PLAN

SCALE: 1/4"=1'-0"

WINDOW SCHEDULE

No.	LOCATION	SIZE	GLASS	FRAME	GLAZING	SHGC	U-Value
1	REST ROOM	200 x 0	LOW E	WHITE	OBSCURE	0.750	0.870

* WINDOWS ARE SLIDERS

DOOR SCHEDULE

No.	Location	Size	Type	Remarks	Hardware	Key Type	Jambs
1	Restroom	3'-0" x 5'-6"	Exterior	1 3/4" S.C. Metal Glad. Flush Door, 2 Self Closing Hinges, H.C. Threshold, Timely Metal Frame	D.B. Lockset / SCH H-110	Master / Office	4-8/16" Exterior
2	Telephone	3'-0" x 5'-6"	Exterior	1 3/4" S.C. 2-Panel Entry Door, 2 Self Closing Hinges, 24"x20" Safety Glass Insert, H.C. Threshold, Timely Metal Frame	D.B. Lockset / SCH H-110	Master / Office	4-8/16" Exterior
3	Conduits	3'-0" x 3'-0"	Interior	1 3/8" S.C. Hardboard, 2 Self Closing Hinges	Keyed entry	Master / Office	4-3/4" Interior

FLOOR PLAN NOTES:

1. WINDOWS AND WINDOWS IN DOORS REQUIRE SAFETY GLAZING PER 2022 CBC SEC. 2406.3.
2. NO THUMB LATCHES OR KEYED CYLINDER DEAD BOLTS ALLOWED ON ANY DOORS UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER FROM THE INSIDE OF THE AREA SERVED. 2022 CBC 1003.
3. REGARDLESS OF THE OCCUPANT LOAD SERVED EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
4. MANUALLY-OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTSAND SURFACE BOLTS OR ANY TYPE OF DEVICE THAT MAY BE USED TO CLOSE OR RESTRAIN THE DOOR OTHER THAN THE OPERATION OF THE LOCKING DEVICE SHALL NOT BE USED AND ARE PROHIBITED.
5. DOOR HANDLES, PULLS, LATCHES, LOOKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE FINISHED FLOOR AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
6. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR AND INTERIOR DOORS.
7. MAXIMUM OF 1/4" OFFSET AT ALL THRESHOLDS ALL DOORS IN THE KIOSK. OFFSETS GREATER THAN 1/4" REQUIRE A MAXIMUM BEVELED SLOPE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL.
8. RESTROOM COVED BASE TO BE SEALED AT THE FLOOR TO PREVENT MOISTURE FROM PENETRATING THE WALL.

Kiosk Floor Plan

E Copper Ave N Peach Ave & E Copper Ave

E Copper Ave

E Copper Ave

E Copper Ave

N Peach Ave

N Peach Ave

N Peach Ave

FMFCD

580-050-63

Google Earth

Image Landsat / Copernicus

600 ft

N

Legend



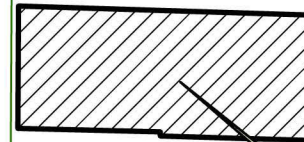
Subject Property



Clovis

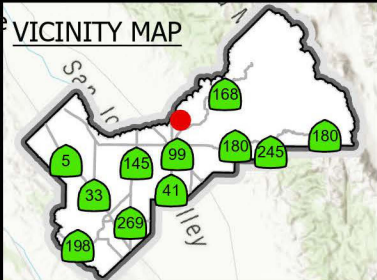
COPPER

AUBERRY



SUBJECT PROPERTY

VICINITY MAP



Clovis

INTERNATIONAL

ENTERPRISE CANAL

PEACH

MINNEWAWA



LOCATION MAP

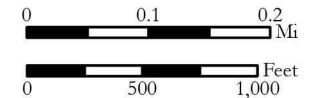
AA 3885

2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division

Person Prepared by : chuang

On Date : 11/21/2025



 Subject Property

 Ag Contract Land

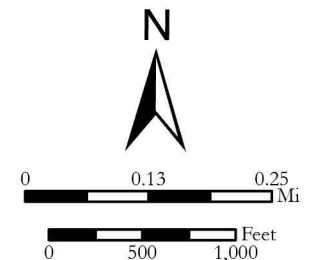
LEGEND
AP1 - APARTMENT
FC - FIELD CROP
I - INDUSTRIAL
ORC - ORCHARD
SF#- SINGLE FAMILY RESIDENCE
V - VACANT



AA 3885

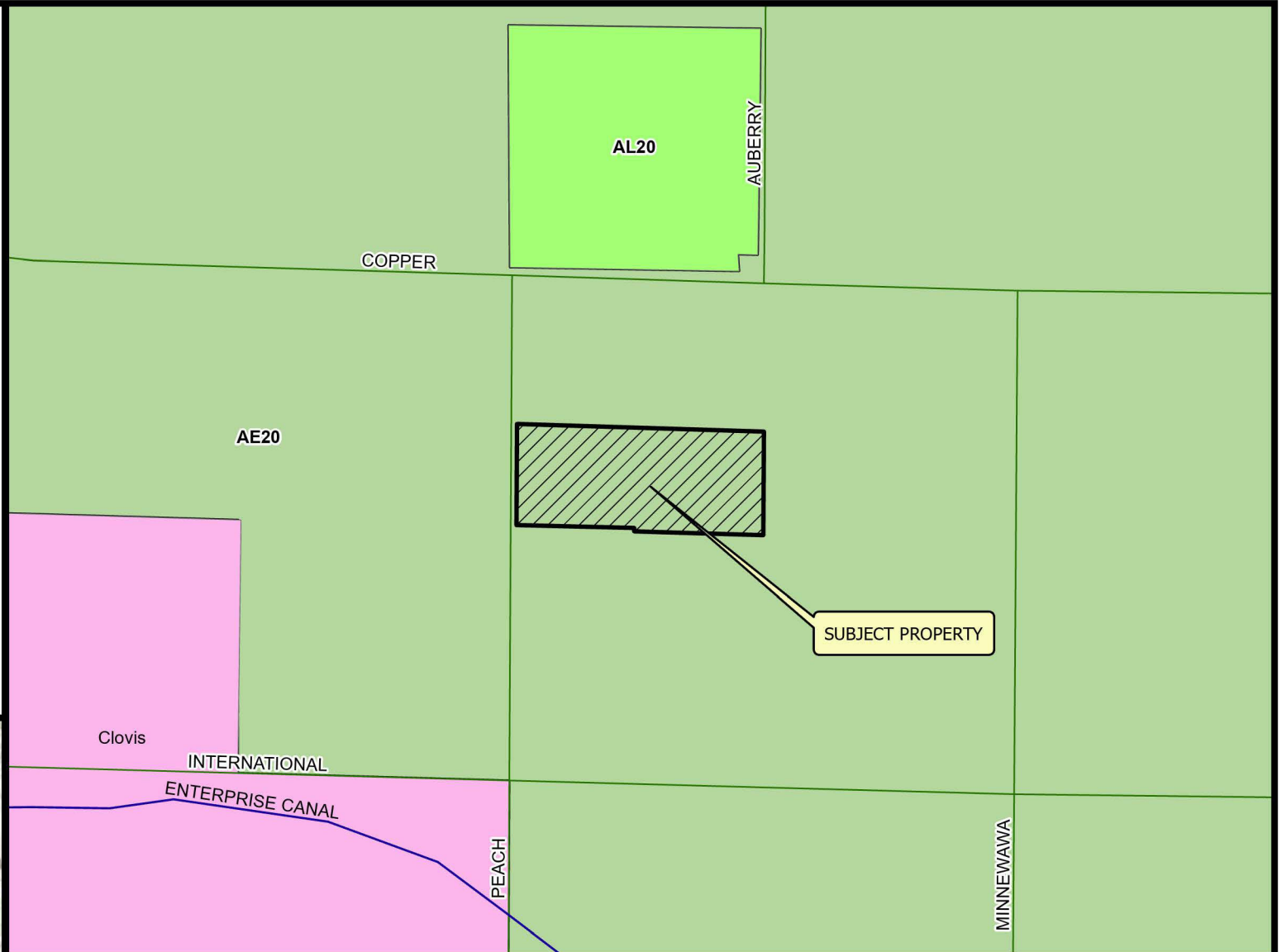
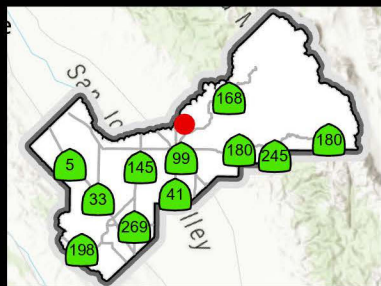
2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : chuang
 On Date : 11/21/2025



Legend

-  Subject Property
-  Clovis
-  AE20
-  AL20

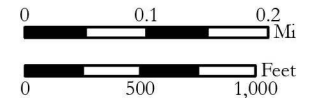


Existing Zoning Map

AA 3885
STR 18 - 12S / 21E

2025

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : chuang
On Date : 11/21/2025



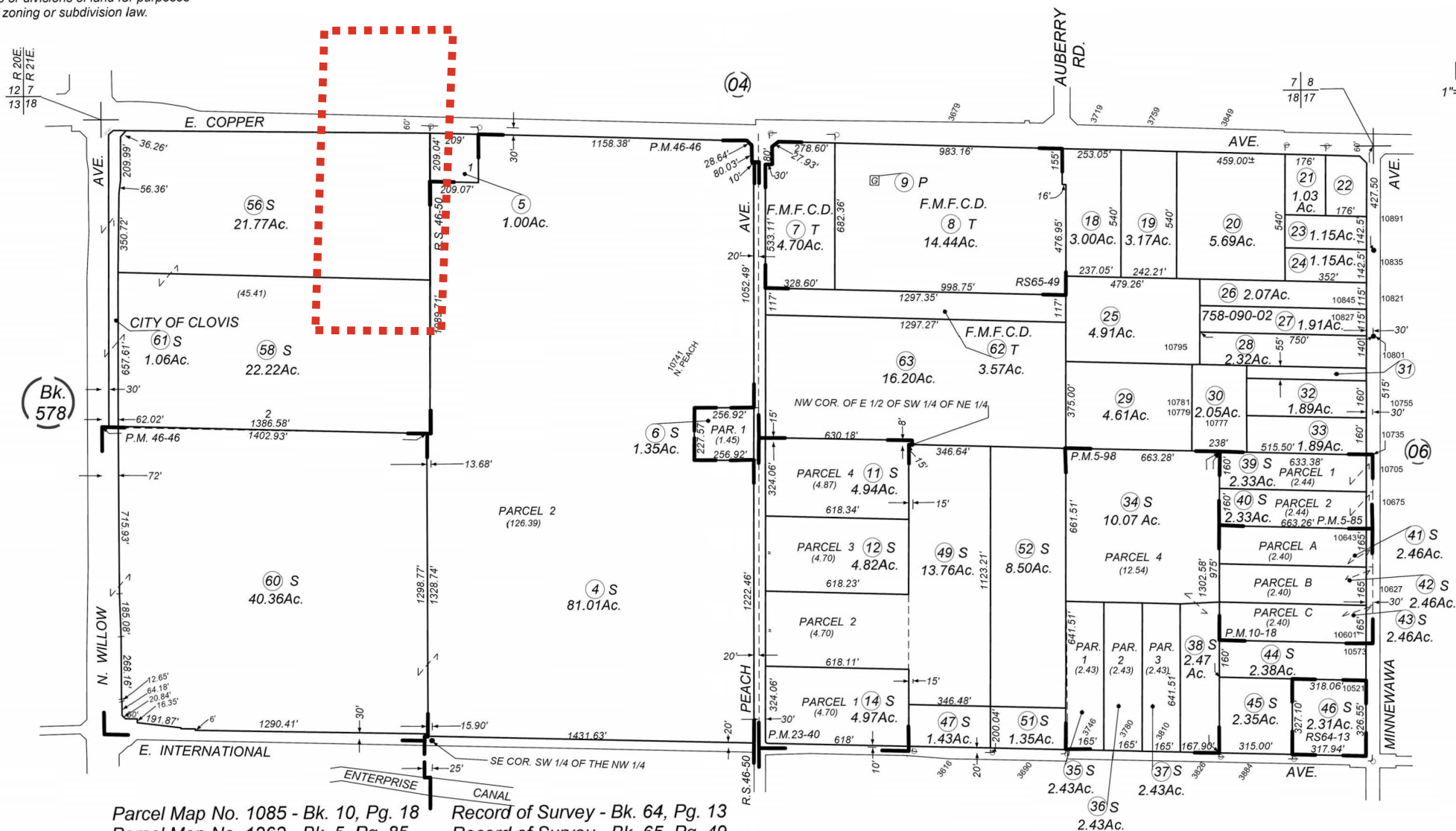
-NOTE-

This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC. 18, T. 12 S., R. 21 E., M.D.B. & M.

Tax Rate Area
76-045
1-186

580-05



Parcel Map No. 1085 - Bk. 10, Pg. 18
Parcel Map No. 1263 - Bk. 5, Pg. 85
Parcel Map No. 1266 - Bk. 5, Pg. 98
Parcel Map No. 2768 - Bk. 23, Pg. 40
Parcel Map No. 6882 - Bk. 46, Pg. 46-48
Record of Survey - Bk. 46, Pg. 50

Record of Survey - Bk. 64, Pg. 13
Record of Survey - Bk. 65, Pg. 49

Assessor's Map Bk. 580 - Pg. 05
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles